

AGENDA
COMMITTEE OF THE WHOLE
June 21, 2022
2200 Harnish Drive
Village Board Room
7:45 P.M.

Trustee Spella - Chairperson
Trustee Glogowski
Trustee Dianis
Trustee Smith
Trustee Brehmer
Trustee Auger
President Sosine

- AGENDA -

1. **Roll Call – Establish Quorum**
2. **Public Comment – Audience Participation**
(Persons wishing to address the Committee must register with the Chair prior to roll call.)
3. **Community Development**
 - A. Consider the Annexation, Preliminary PUD Plat, Preliminary PUD Plan, and Rezoning upon Annexation for Westview Crossings (located near Square Barn Road and Dr. John Burkey Drive)
 - B. Consider the Final PUD Plat, Final PUD Plan, and Rezoning for Riverview Townhomes (located near Algonquin Road and River Road).
4. **General Administration**
 - A. Consider the Purchase of Data Backup Appliance from CDW Government
5. **Public Works & Safety**
6. **Executive Session** (If needed)
7. **Other Business**
8. **Adjournment**



Village of Algonquin

2200 Harnish Drive, Algonquin, IL
(847) 658-2700 | www.algonquin.org

AGENDA ITEM

<u>MEETING TYPE:</u>	Committee of the Whole
<u>MEETING DATE:</u>	June 21, 2022
<u>SUBMITTED BY:</u>	Jason C. Shallcross, AICP Patrick M. Knapp, AICP
<u>DEPARTMENT:</u>	Community Development
<u>SUBJECT:</u>	Approval of Annexation, Preliminary PUD Plat, Preliminary PUD Plan, and Rezoning upon Annexation for Westview Crossings

ACTION REQUESTED:

CalAtlantic Group Inc, (a Lennar Corporation), applied for Annexation, Preliminary PUD Plat, Preliminary PUD Plan, and Rezoning upon Annexation for the 59.4 acre property located on the east side of Square Barn Road and across from Dr. John Burkey Drive

BOARD/COMMISSION REVIEW

The Planning and Zoning Commission reviewed the request and held a Public Hearing for Preliminary PUD Plat, Preliminary PUD Plan, and Rezoning upon Annexation at the May 9, 2022, Planning and Zoning Commission Meeting (See the attached P&Z staff report for Case No. PZ-2022-04). No one from the public made comment at the Public Hearing.

The Planning and Zoning Commission accepted (approved 7-0) staff's findings as the findings of the Planning and Zoning Commission and recommended approval of a Preliminary PUD Plat titled "Preliminary Subdivision Plat and P.U.D. for Westview Crossing", as prepared by Cemcon, Ltd, with the latest revision date of March 29, 2022, approved Rezoning upon annexation wherein the proposed subdivision will be zoned R-2 Residential, and approved a Preliminary Planned Development Plan for the Subject Property located on the east side of Square Barn Road and across from Dr. John Burkey Drive referred to as the "Westview Crossing," as outlined in the staff report for case PZ-2022-04, subject to the following conditions:

- a. That site construction, utility installation, and grading shall not commence until a Final Plat and Final PUD Plan have been approved by the Planning and Zoning Commission and the Village Board in substantial conformity to the Preliminary PUD Plan and Preliminary PUD Plat, a Site Development Permit has been issued by the Village, and water and sanitary sewer permits have been issued by the Illinois Environmental Protection Agency;

- b. The developer shall dedicate approximately 4.6 acres of their proposed open space areas – Outlot C in the center of the Subject Property - to the Village for maintenance and ownership as a naturalized area. The developer shall have an ecological firm prepare a design and perform the initial installation and establishment of the native areas for a minimum of three years, prior to turning the land over to the Village;
- c. The Home Floorplans and Elevations, as prepared by Lennar, with the latest revision date of February 28, 2022, shall be revised to remove Elevation “D” and include stone or cultured stone wainscot across the entire front elevation of the “E” Elevations from all home models;
- d. The Petitioner shall address the items in the attached Staff Memorandum dated April 18, 2022, reach out to the local Post Master to see if they prefer individual mailboxes or Cluster Box Units, and provide roadway photometrics in accordance with the Village public street light standards, prior to Final Plat and Final PUD submittal;
- e. The Petitioner shall use conservation design principles in the final design of the naturalized stormwater management area located in Outlot C;
- f. The Village will require the provision for a private Owners Association(s) to regulate and maintain the common elements of this development. The developer shall submit, with the Final Plat, a set of restrictive covenants and conditions for the entire development to address issues including, but not limited to, easements and access to common areas, common area property maintenance, stormwater detention, restrictions on the rental of dwellings, the parking of boats and RVs, anti-monotony provisions, and similar restrictions and joint responsibilities between the owners. The covenants shall be subject to review and approval by the Community Development Director prior to recording the Final Plat;
- g. Street names are subject to final review and approval by the Public Works Director and the Huntley Fire Department;
- h. A back-up Special Service Area shall be required for the stormwater detention facilities to be retained and maintained by the subdivision's HOA.

DISCUSSION:

CalAtlantic Group Inc, (a Lennar Corporation), the “Petitioner”, applied for Annexation, Preliminary PUD Plat, Preliminary PUD Plan, and Rezoning upon annexation for the 59.4 acre property located on the east side of Square Barn Road and across from Dr. John Burkey.

The property is currently unimproved, agricultural land that is zoned A1-Agricultural, and is located in unincorporated McHenry County. Their proposal includes 150 single family home lots, a public park with a playground, 3 stormwater management areas, and related improvements including public utilities, public roads, sidewalks, a multiuse path along Square Barn Road, and a traffic signal at Square Barn Road and Dr. John Burkey Drive.

Future Process Required – The Petitioner will be required to resubmit for Final PUD and Final Plat approval once the Annexation, Preliminary PUD, Preliminary Plat, and Rezoning are approved by the Village Board. The final submittal must be in substantial conformity to the

Preliminary PUD Plan and Preliminary PUD and address any concerns in the Staff Memorandum dated June 15, 2022.

Concept Plan Changes/History – Westview Crossing presented their concept site plan to the Committee of the Whole on December 14, 2021. Between that Committee of the Whole meeting and the Petitioner’s official submission, there were a few major changes. These changes include:

- The addition of a traffic signal on Square Barn Road due to existing needs.
- Moving the large stormwater management area located along the entire southern portion of the subdivision to the southeast corner. This stormwater management area needed to be relocated due to the slope of the property.
- Removal of the landscape buffer behind the north and east lots. The landscape buffer was removed because it interfered with public utilities and overflow stormwater. As a compromise, the developer enlarged these lots and is including two evergreen trees along the rear property lines.
- A revised street layout.



Figure 1: Former Westview Crossing Concept presented to the 12/14/2021 Committee of the Whole

Rezoning – All adjacent property surrounding the Westview Crossing subdivision is zoned R-1E which requires the largest minimum lot size and setbacks. However, there are adjacent lots that are zoned R-1E that do not meet the required lot size and setbacks of the R1-E Zoning District and some that do not even meet the bulk requirements of the R-2 Zoning District which allows for the smallest lot size. The lot sizes proposed in the Westview Crossing subdivision are proposed to be zoned R-2 and all lots in the subdivision would meet the setbacks and lot sizes minimum as shown in Tables 2 & 3 of the Staff Memo to the Planning and Zoning Commission. To enhance the compatibility with adjacent residential, the lots along the north and eastern periphery of Westview Crossing have been enlarged.

Engineering – Proposed public roadway improvements include the extension of Dr. John Burkey Drive and White Deer Drive into the proposed subdivision as well as three additional public roads which total approximately 1.5 miles of new public roadway. Square Barn Road will also be improved to an urban cross-section along the entire length of the subdivision. The existing multiuse path will be extended from Dr. John Burkey Drive to Reserve Drive along the east side of Square Barn Road.

The Petitioner is proposing three stormwater management facilities in the Westview Crossing subdivision which will total approximately 11 acres. The facility in the center of the subdivision

is proposed to be a naturalized wet bottom management area and will be dedicated to the Village of Algonquin for future ongoing maintenance.



Figure 2: Proposed Traffic Signal Layout

Through a Traffic Impact Study, the developer found that a traffic signal is currently warranted at Square Barn Road and Dr. John Burkey Drive even without the proposed development on the subject property because of the existing four-hour volumes of school traffic during the a.m. and p.m. peak hour periods. The construction of the traffic signal will improve the Level of Service of the intersection for vehicles

exiting the Huntley School District property on Dr. John Burkey Drive. Full intersection improvements will include 1) the striping of a southbound left turn lane in the exiting striped median on Square Barn Road, 2) converting the eastbound right turn lane on Dr. John Burkey Drive to a right turn/through lane, 3) including a right turn/through lane and left turn lane at the new westbound exit from the subdivision, and 4) providing a crosswalk with countdown timers across the north and east legs of the intersection to increase the safety of pedestrians and bicyclists using the multiuse path along Square Barn Road and also creates a safer street crossing to access the school property from neighborhoods to the south and east.

Landscaping - The Westview Crossing subdivision will include two stormwater management areas on the northwest and southeast corners of the development and one large naturalized stormwater management area in the center of the subdivision that will be dedicated to the Village after three years of successful upkeep. A 1-acre public park with amenities will also be included on the west side of the naturalized management area.

In addition, street trees will be planted along the roadways throughout the subdivision and additional trees will be planted on a berm along Square Barn Road to screen the adjacent homes from the roadway. Two evergreen trees are proposed in the backyards of lots 11-24 and 98-122 to increase the screening between the existing adjacent subdivisions and Westview Crossing. The developer is proposing to fully landscape the front and rear yards of each new home.

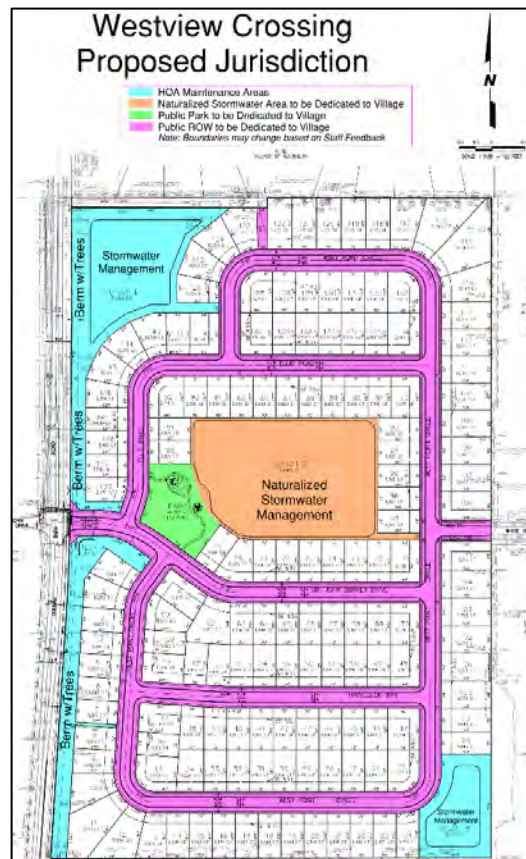


Figure 3: Proposed Jurisdiction of Parcels

Subdivision Identification – A 103.5 square foot monument sign is proposed to be constructed at the southeast corner of the intersection of Square Barn Road and Dr. John Burkey Drive. This sign exceeds the allowable square footage by 71.5 square feet and is 9” higher than the allowable height. However, enlarged subdivision signs of similar size and shape have been recently approved for the Glenloch and Grand Reserve Subdivisions. The appropriate amount of landscaping has been provided around the monument sign.

Home Elevations – The Westview Crossing proposal includes 6 different model homes – Adams, Biscayne, Bryce, Rainer, Santa Rosa, and Sequoia. The developer originally included 5 elevation, but they were willing to remove a proposed elevation as a compromise. The square footage of the homes range from 2,148 square feet (Adams Model) to 3,237 square feet (Sequoia Model) and will include 3 or 4 bedrooms depending on the home model. To achieve a variety of home types and avoid monotony, the Petitioner is proposing that a minimum of 20% of all homes in Westview Crossing have masonry on 40% or more of the front elevations and would include stone or cultured stone wainscot across the entire front of the “E” elevations.

All models will include

- 30-year architectural shingles
- Maintenance free aluminum soffit, fascia, and gutter
- .042 inch premium grade vinyl siding with double 5 exposure with multiple color options
- Full thickness face brick on front elevations
- Cast Stone on front elevations
- 4” window surrounds and/or shutters at front elevations
- Front elevations supplemented by dormers, porch columns, pillars, and decorative garage doors
- Corbeling, brackets, decorative gable vents, shakes, and battens
- In-glass window grills on front, side, and rear elevations

Fiscal Impact – According to a Fiscal Analysis (Exhibit I) performed by the Petitioner, the proposed 150 homes in the Westview Crossing subdivision are estimated to generate \$219,400 into the Village’s General Fund and \$1,265,700 in annual property tax revenue for Huntley Community School District 158.

The Village of Algonquin and the Petitioner are also in the process of negotiating an Annexation Agreement. The project will be subject to standard development fees as outlined in the Village’s Subdivision Regulations.

RECOMMENDATION:

Staff recommends approval the Preliminary PUD Plat, Rezoning upon annexation, and Preliminary Planned Unit Development Plan as outlined in the staff report for case PZ-2022-04, subject to the following conditions and attachments:

- a. The submittal for Final PUD Plat and Final PUD approval shall be in conformance with the attached Preliminary documents and plans. Prior to submitting for Final PUD Plat and Final PUD approval, all comments shall be addressed and satisfied in the Staff Review Memo dated June 15, 2022;
- b. That site construction, utility installation, and grading shall not commence until a Final Plat and Final PUD Plan have been approved by the Planning and Zoning Commission and the Village Board in substantial conformity to the Preliminary PUD Plan and Preliminary PUD Plat, a Site Development Permit has been issued by the Village, and necessary water and sanitary sewer permits have been issued by the Illinois Environmental Protection Agency;
- c. The developer shall dedicate approximately 4.6 acres of their proposed open space areas – Outlot C in the center of the Subject Property - to the Village for maintenance and ownership as a naturalized area. The developer shall have an ecological firm prepare a design and perform the initial installation and establishment of the native areas for a minimum of three years, prior to turning the land over to the Village;
- d. The Petitioner shall address the items in the attached Staff Memorandum dated April 18, 2022, reach out to the local Post Master to see if they prefer individual mailboxes or Cluster Box Units, and provide roadway photometrics in accordance with the Village public street light standards, prior to Final Plat and Final PUD submittal;
- e. The Petitioner shall use conservation design principles in the final design of the naturalized stormwater management area located in Outlot C;
- f. The Village will require the provision for a private Owners Association(s) to regulate and maintain the common elements of this development. The developer shall submit, with the Final Plat, a set of restrictive covenants and conditions for the entire development to address issues including, but not limited to, easements and access to common areas, common area property maintenance, stormwater detention, restrictions on the rental of dwellings, the parking of boats and RVs, anti-monotony provisions, and similar restrictions and joint responsibilities between the owners. The covenants shall be subject to review and approval by the Community Development Director prior to recording the Final Plat;
- g. Street names are subject to final review and approval by the Public Works Director and the Huntley Fire Department;
- h. A back-up Special Service Area shall be required for the stormwater detention facilities to be retained and maintained by the subdivision's HOA.

ATTACHMENTS:

- Exhibit A Legal Description
- Exhibit B Survey
- Exhibit C Annexation Plat titled, “Plat of Annexation” as prepared by TFW Surveying & Mapping, Inc. and last revised April 1, 2022
- Exhibit D Preliminary Plat titled, “Preliminary Subdivision Plat and P.U.D. for Westview Crossing” as prepared by Cemcon, Ltd. and last revised May 13, 2022

- Exhibit E Preliminary Engineering Plan titled, “Preliminary Engineering Plan for Westview Crossing” as prepared by Cemcon, Ltd. and last revised May 13, 2022
- Exhibit F Autoturn Exhibit titled, “Autoturn Exhibit for Westview Crossing” as prepared by Cemcon, Ltd. and last revised May 10, 2022
- Exhibit G Preliminary Landscape Plan titled, “Preliminary Landscape Plan Westview Crossing Algonquin, Illinois” as prepared by Gary R. Weber Associates, Inc. and last revised May 11, 2022
- Exhibit H Home Elevations titled, “Home Floorplans and Elevations” as prepared by Lennar and last revised May 1, 2022.
- Exhibit I Fiscal Analysis titled, “The Fiscal Tax Revenues Associated with the Proposed Westview Crossing Development” as prepared by Gruen Gruen + Associates and last revised March 2022
- Exhibit J Traffic Impact Study as prepared by KLOA, Inc. and last revised March 4, 2022
- Exhibit K Staff Review Memorandum dated June 15, 2022
- Exhibit L Planning & Zoning Commission Staff Report for Case No. PZ-2022-04
- Exhibit M Planning & Zoning Commission Minutes (May 9, 2022)

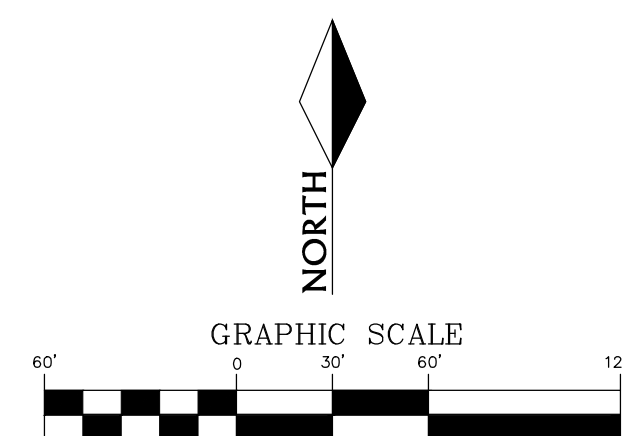
Legal Description
Algonquin – Westview Crossing
Lennar Corporation

PARCEL 1:

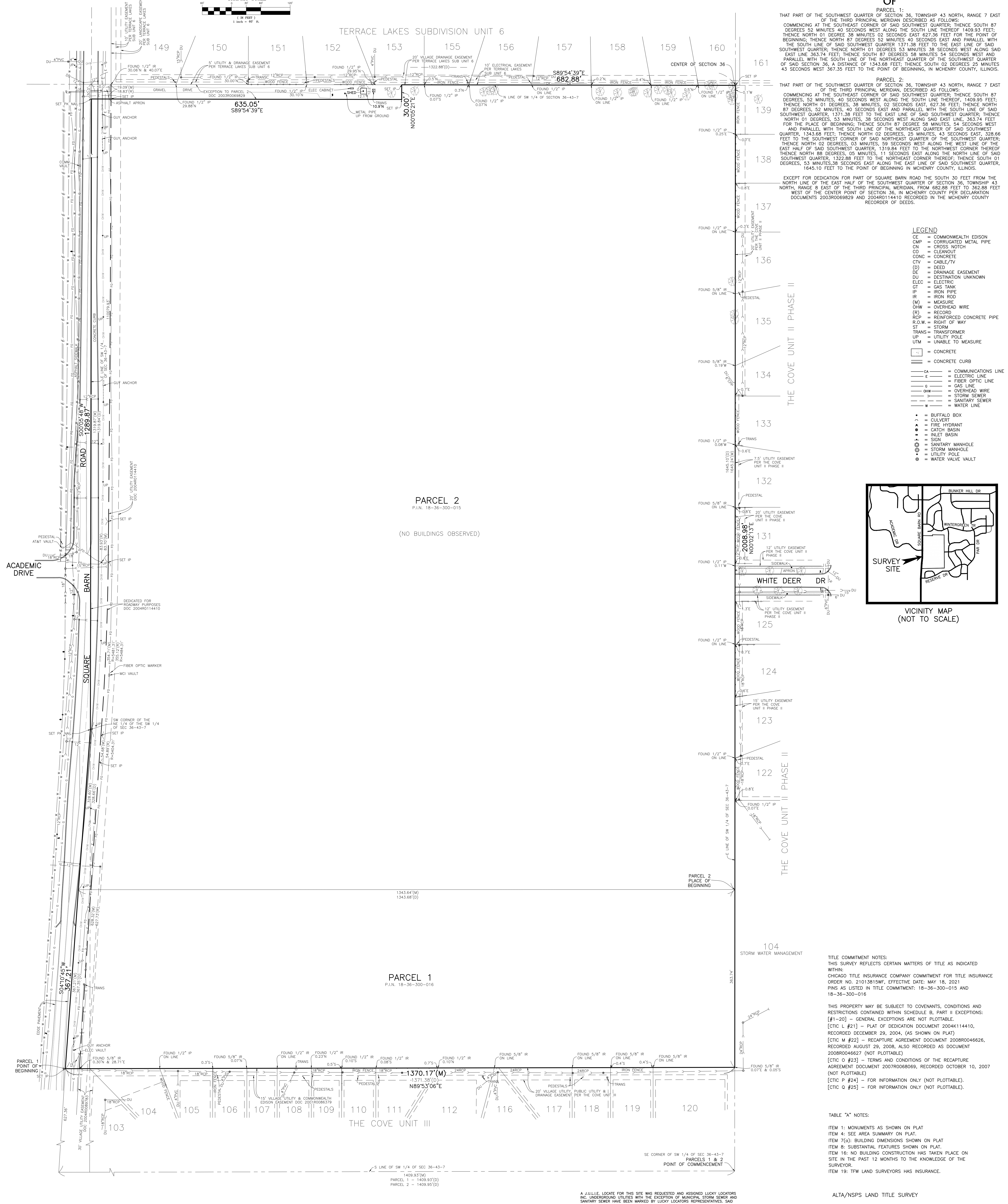
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 87 DEGREES 52 MINUTES 40 SECONDS WEST ALONG THE SOUTH LINE THEREOF 1409.93 FEET; THENCE NORTH 01 DEGREE 38 MINUTES 02 SECONDS EAST 627.36 FEET FOR THE POINT OF BEGINNING; THENCE NORTH 87 DEGREES 52 MINUTES 40 SECONDS EAST AND PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST QUARTER 1371.38 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH 01 DEGREES 53 MINUTES 38 SECONDS WEST ALONG SAID EAST LINE 363.74 FEET; THENCE SOUTH 87 DEGREES 58 MINUTES 54 SECONDS WEST AND PARALLEL WITH THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 36, A DISTANCE OF 1343.68 FEET; THENCE SOUTH 02 DEGREES 25 MINUTES 43 SECONDS WEST 367.35 FEET TO THE POINT OF BEGINNING, IN MCHENRY COUNTY, ILLINOIS.
EXCEPT THAT PART OF PARCEL 1 DEDICATED FOR PART OF SQUARE BARN ROAD BY DOCUMENT 2004R114410

PARCEL 2:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 87 DEGREES, 52 MINUTES, 40 SECONDS WEST ALONG THE SOUTH LINE THEREOF, 1409.95 FEET; THENCE NORTH 01 DEGREES, 38 MINUTES, 02 SECONDS EAST, 627.36 FEET; THENCE NORTH 87 DEGREES, 52 MINUTES, 40 SECONDS EAST AND PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST QUARTER, 1371.38 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH 01 DEGREES, 53 MINUTES, 38 SECONDS WEST ALONG SAID EAST LINE, 363.74 FEET FOR THE PLACE OF BEGINNING; THENCE SOUTH 87 DEGREE 58 MINUTES, 54 SECONDS WEST AND PARALLEL WITH THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHWEST QUARTER, 1343.68 FEET; THENCE NORTH 02 DEGREES, 25 MINUTES, 43 SECONDS EAST, 328.66 FEET TO THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE NORTH 02 DEGREES, 03 MINUTES, 59 SECONDS WEST ALONG THE WEST LINE OF THE EAST HALF OF SAID SOUTHWEST QUARTER, 1319.84 FEET TO THE NORTHWEST CORNER THEREOF THENCE NORTH 88 DEGREES, 05 MINUTES, 11 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER, 1322.88 FEET TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 01 DEGREES, 53 MINUTES, 38 SECONDS EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, 1645.10 FEET TO THE POINT OF BEGINNING IN MCHENRY COUNTY, ILLINOIS.
EXCEPT THAT PART OF PARCEL 2 DEDICATED FOR PART OF SQUARE BARN ROAD BY DOCUMENT 2004R114410 AND ALSO EXCEPT FROM PARCEL 2 THE SOUTH 30 FEET FROM THE NORTH LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, FROM 682.88 FEET TO 1362.88 FEET WEST OF THE CENTER POINT OF SECTION 36, IN MCHENRY COUNTY CONVEYED PER DEED DOCUMENT 2003R0069829.



TERRACE LAKES SUBDIVISION UNIT 6

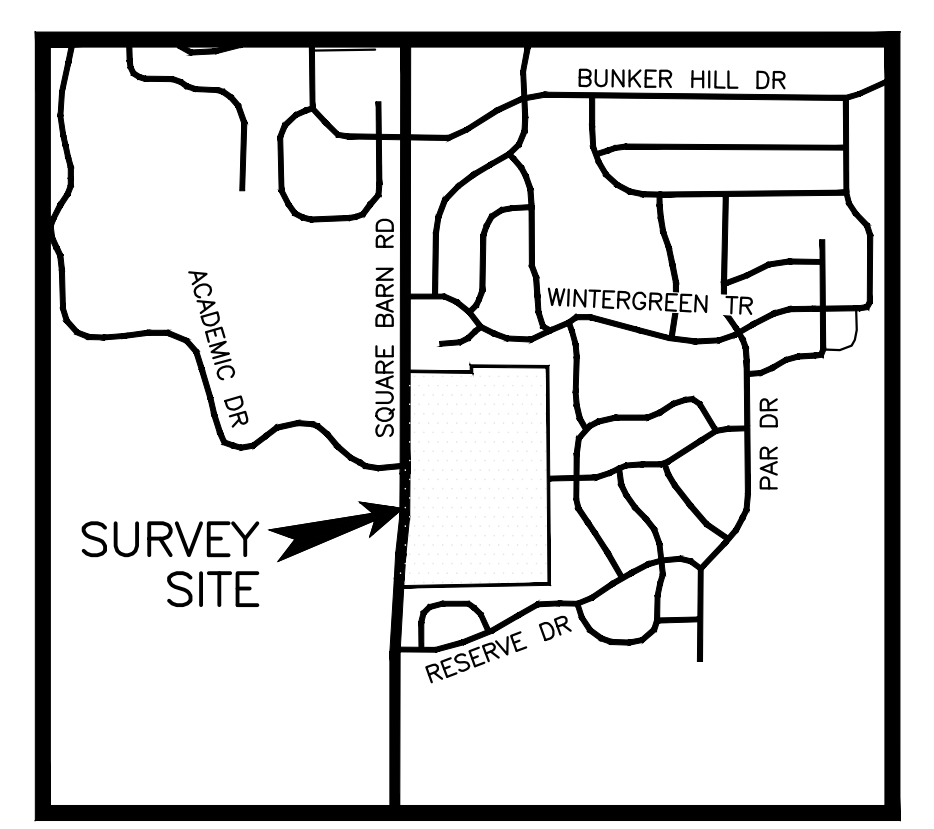


PARCEL 1:
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PARCEL 2:
 THAT PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
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EXCEPT FOR DEDICATION FOR PART OF SQUARE BARN ROAD THE SOUTH 30 FEET FROM THE NORTH LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, FROM 682.88 FEET TO 352.88 FEET WEST OF THE CENTER POINT OF SECTION 36, IN MCHEMERY COUNTY PER DECLARATION DOCUMENTS 2003R0069829 AND 2004R0114410 RECORDED IN THE MCHEMERY COUNTY RECORDER OF DEEDS.

- LEGEND**
- CE = COMMONWEALTH EDISON
 - CMP = CORRUGATED METAL PIPE
 - CN = CROSS NOTCH
 - CD = CLEANOUT
 - CONC = CONCRETE
 - CIV = CABLE/TV
 - (C) = CULVERT
 - DE = DRAINAGE EASEMENT
 - DU = DESTINATION UNKNOWN
 - ELEC = ELECTRIC
 - GT = GAS TANK
 - IP = IRON PIPE
 - IR = IRON ROD
 - (M) = MEASURE
 - OHW = OVERHEAD WIRE
 - (R) = RECORD
 - RCP = REINFORCED CONCRETE PIPE
 - R.O.W. = RIGHT OF WAY
 - ST = STORM
 - TRANS = TRANSFORMER
 - UP = UTILITY POLE
 - UTM = UNABLE TO MEASURE
- [Symbol] = CONCRETE
 - [Symbol] = CONCRETE CURB
 - [Symbol] = COMMUNICATIONS LINE
 - [Symbol] = ELECTRIC LINE
 - [Symbol] = FIBER OPTIC LINE
 - [Symbol] = GAS LINE
 - [Symbol] = OVERHEAD WIRE
 - [Symbol] = STORM SEWER
 - [Symbol] = SANITARY SEWER
 - [Symbol] = WATER LINE
- [Symbol] = BUFFALO BOX
 - [Symbol] = CULVERT
 - [Symbol] = FIRE HYDRANT
 - [Symbol] = CATCH BASIN
 - [Symbol] = INLET BASIN
 - [Symbol] = SIGN
 - [Symbol] = SANITARY MANHOLE
 - [Symbol] = STORM MANHOLE
 - [Symbol] = UTILITY POLE
 - [Symbol] = WATER VALVE VAULT



PARCEL 2
 P.L.N. 18-36-300-015
 (NO BUILDINGS OBSERVED)

PARCEL 1
 P.L.N. 18-36-300-016

TITLE COMMITMENT NOTES:
 THIS SURVEY REFLECTS CERTAIN MATTERS OF TITLE AS INDICATED WITHIN:
 CHICAGO TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE ORDER NO. 21013815WF, EFFECTIVE DATE: MAY 18, 2021
 PINS AS LISTED IN TITLE COMMITMENT: 18-36-300-015 AND 18-36-300-016

THIS PROPERTY MAY BE SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED WITHIN SCHEDULE B, PART II EXCEPTIONS:
 [P1-20] - GENERAL EXCEPTIONS ARE NOT PLOTTABLE.
 [C11-1 #21] - PLAT OF DEDICATION DOCUMENT 2004K114410, RECORDED DECEMBER 29, 2004, (AS SHOWN ON PLAT)
 [C12 #22] - RECAPTURE AGREEMENT DOCUMENT 2008R0046626, RECORDED AUGUST 29, 2008, ALSO RECORDED AS DOCUMENT 2008R0046627 (NOT PLOTTABLE)
 [C13 #23] - TERMS AND CONDITIONS OF THE RECAPTURE AGREEMENT DOCUMENT 2007R008069, RECORDED OCTOBER 10, 2007 (NOT PLOTTABLE)
 [C14 #24] - FOR INFORMATION ONLY (NOT PLOTTABLE).
 [C15 #25] - FOR INFORMATION ONLY (NOT PLOTTABLE).

TABLE "A" NOTES:

- ITEM 1: MONUMENTS AS SHOWN ON PLAT
- ITEM 4: SEE AREA SUMMARY ON PLAT
- ITEM 7(G): BUILDING DIMENSIONS SHOWN ON PLAT
- ITEM 8: SUBSTANTIAL FEATURES SHOWN ON PLAT
- ITEM 16: NO BUILDING CONSTRUCTION HAS TAKEN PLACE ON SITE IN THE PAST 12 MONTHS TO THE KNOWLEDGE OF THE SURVEYOR.
- ITEM 19: TFW LAND SURVEYORS HAS INSURANCE.

AREA EXCLUDING TAKING FOR RIGHT OF WAY = 2,587,033 SQUARE FEET OR 59.3901 ACRES
 AREA OF TAKING FOR RIGHT OF WAY = 64,313 SQUARE FEET OR 1.4764 ACRES
 TOTAL AREA OF TRACT SURVEYED = 2,651,346 SQUARE FEET OR 60.8665 ACRES

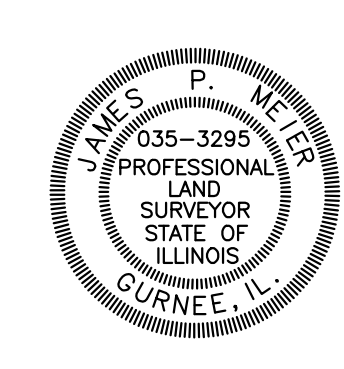
DATE: DECEMBER 28, 2021
 ORDER NO: 211018
 PROJ. NO: 3390
 FOR: LENNAR
 PROJ. NAME: SQUARE BARN ROAD, ALGONQUIN
 Copyright © TFW Surveying & Mapping, Inc. 2021. All rights reserved.
 Professional Design Firm Registration #184-002793.

NOTE ON DATUM:
 BEARINGS SHOWN HEREON ARE BASED ON STATE PLANE COORDINATES AND DO NOT MATCH RECORDED BEARINGS.

A JULIETTE LOCATE FOR THIS SITE WAS REQUESTED AND ASSIGNED LUCKY LOCATORS INC. UNDERGROUND UTILITIES WITH THE EXCEPTION OF MUNICIPAL STORM SEWER AND SANITARY SEWER HAVE BEEN MARKED BY LUCKY LOCATORS REPRESENTATIVES. SAID MARKINGS WERE FIELD LOCATED AND THIS PLAT/APP INTENDS TO SHOW ONLY THOSE UNDERGROUND UTILITIES THAT HAVE BEEN MARKED BY LUCKY LOCATORS. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST THAT DO NOT FALL UNDER THE JURISDICTION OF LUCKY LOCATORS OR UTILITIES MAY BE PRESENT THAT WERE NOT MARKED PRIOR TO DATE OF FIELD SURVEY. CALL JULIETTE 1-800-892-0133 PRIOR TO DIGGING, OR FOR ADDITIONAL INFORMATION.

UTILITY INFORMATION SHOWN IS BASED ONLY ON VISIBLE SURFACE EVIDENCE AND INFORMATION SUPPLIED BY OTHERS.
 BUILDING MEASUREMENTS AND PROPERTY LINE TIES, AS SHOWN HEREON ARE REFERENCED TO OUTSIDE OF CONCRETE FOUNDATION WALLS.
 FENCE TIES ARE REFERENCED TO CENTER OF FENCE POST.
 NO DIMENSIONS TO BE ASSUMED FROM SCALING

EASEMENTS AND BUILDING LINES AS SHOWN HEREON (OR THE VACATION OF THE SAME) ARE DERIVED FROM RECORD PLATS OF SUBDIVISION AND OTHER PUBLIC DOCUMENTS MADE AVAILABLE TO THIS SURVEYOR. ADDITIONAL EASEMENTS, BUILDING SETBACKS AND OTHER RESTRICTIONS MAY EXIST OVER THE SUBJECT PROPERTY AND WOULD BE IDENTIFIED BY A TITLE SEARCH. ZONING DISTRICT HAS NOT BEEN DETERMINED. FOR CURRENT ZONING RESTRICTIONS CONTACT LOCAL MUNICIPALITY.
 COMPARE YOUR LEGAL DESCRIPTION AND BOUNDARY MONUMENTATION WITH THIS PLAT AND AT ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.

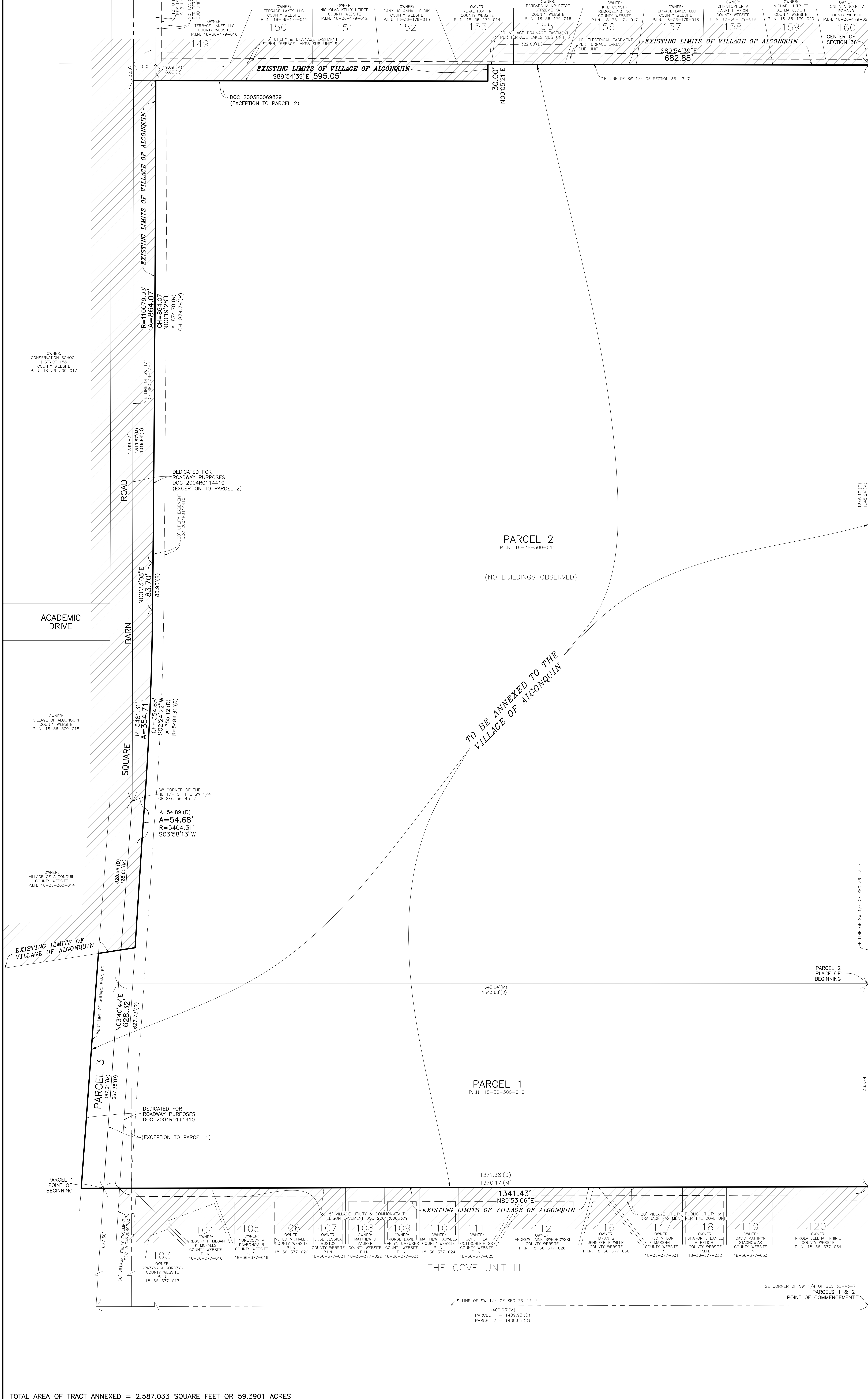
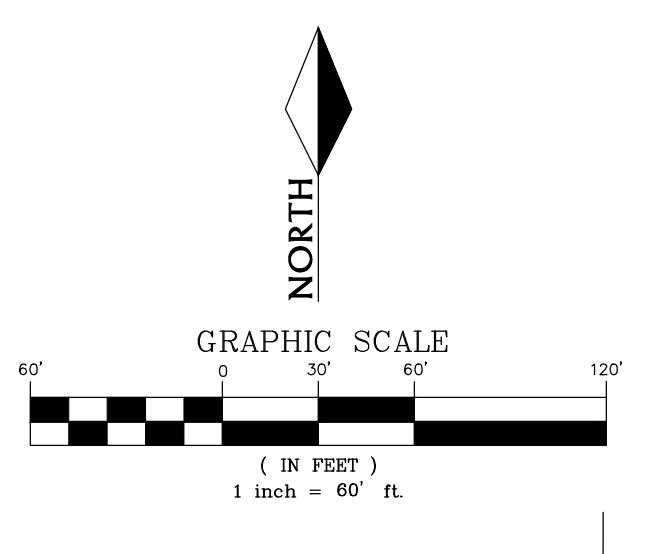


ALTA/NSPS LAND TITLE SURVEY
 STATE OF ILLINOIS
 COUNTY OF LAKE
 I, JAMES P. MEIER, ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY
 CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2017 MEASUREMENTS REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 4, 7(G), 8, 16, AND 19 OF TABLE A HEREOF. THE FIELDWORK WAS COMPLETED ON DECEMBER 21, 2021.

CERTIFIED AT GURNEE, ILLINOIS THIS 28th DAY OF DECEMBER, 2021.
 [Signature]
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 355-3259
 LICENSE EXPIRES NOVEMBER 30, 2022

**PLAT OF ANNEXATION
 TO THE VILLAGE OF ALGONQUIN
 MCHENRY COUNTY, ILLINOIS**



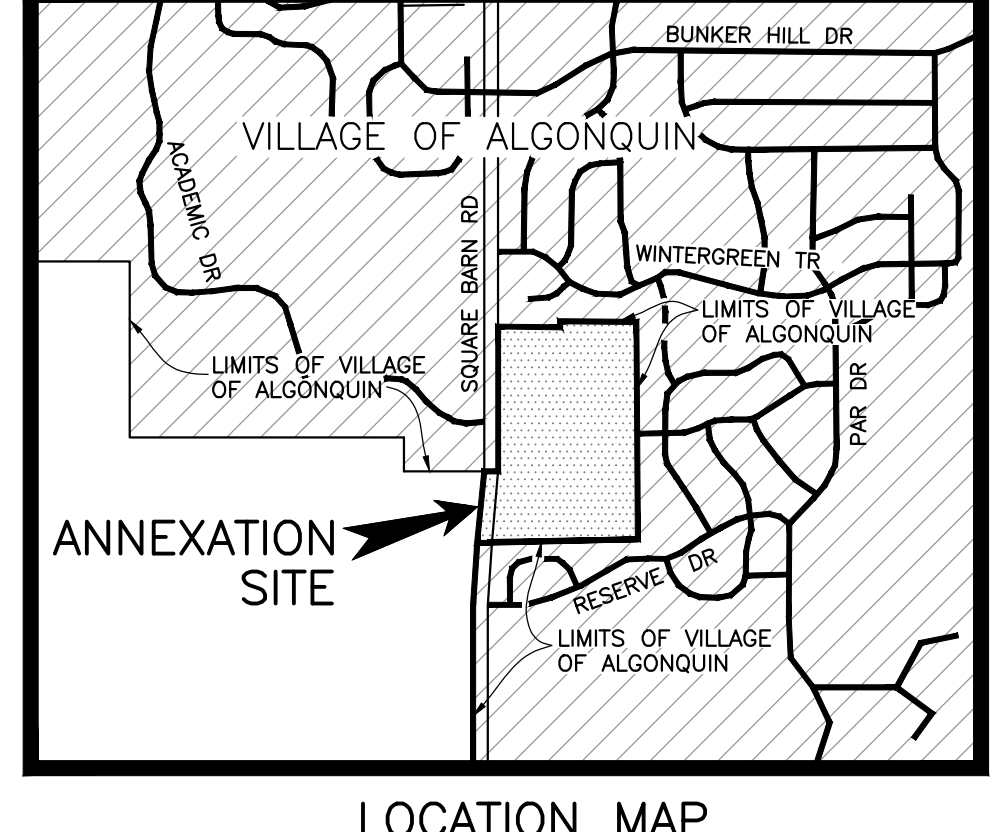
PARCEL 1:
 THAT PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER, THENCE SOUTH 87 DEGREES 52 MINUTES 49 SECONDS WEST ALONG THE SOUTH LINE THEREOF 1409.93 FEET; THENCE NORTH 01 DEGREE 38 MINUTES 02 SECONDS EAST 627.36 FEET FOR THE POINT OF BEGINNING; THENCE NORTH 87 DEGREES 52 MINUTES 40 SECONDS EAST AND PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST QUARTER, THENCE NORTH 01 DEGREE 53 MINUTES 38 SECONDS WEST ALONG SAID EAST LINE 363.74 FEET; THENCE SOUTH 87 DEGREES 58 MINUTES 54 SECONDS WEST AND PARALLEL WITH THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 36, A DISTANCE OF 1343.68 FEET; THENCE SOUTH 02 DEGREES 25 MINUTES 43 SECONDS WEST 368.66 FEET TO THE POINT OF BEGINNING, IN MCHENRY COUNTY, ILLINOIS.

EXCEPT THAT PART OF PARCEL 1 DEDICATED FOR PART OF SQUARE BARN ROAD BY DOCUMENT 2004R114410.

PARCEL 2:
 THAT PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER, THENCE SOUTH 87 DEGREES 52 MINUTES 49 SECONDS WEST ALONG THE SOUTH LINE THEREOF, 1409.93 FEET; THENCE NORTH 01 DEGREE 38 MINUTES 02 SECONDS EAST, 627.36 FEET; THENCE NORTH 87 DEGREES 52 MINUTES 40 SECONDS EAST AND PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST QUARTER, 1371.38 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER, THENCE NORTH 01 DEGREE 53 MINUTES 38 SECONDS WEST ALONG SAID EAST LINE, 363.74 FEET FOR THE PLACE OF BEGINNING; THENCE SOUTH 87 DEGREE 58 MINUTES 54 SECONDS WEST AND PARALLEL WITH THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHWEST QUARTER, 1343.68 FEET; THENCE NORTH 02 DEGREES 25 MINUTES 43 SECONDS EAST, 368.66 FEET TO THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE NORTH 02 DEGREES 03 MINUTES 59 SECONDS WEST ALONG THE WEST LINE OF THE EAST HALF OF SAID SOUTHWEST QUARTER, 1319.84 FEET TO THE NORTHWEST CORNER THEREOF; THENCE NORTH 88 DEGREES 05 MINUTES 11 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER, 1322.88 FEET TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 01 DEGREE 53 MINUTES 38 SECONDS EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, 1645.10 FEET TO THE POINT OF BEGINNING IN MCHENRY COUNTY, ILLINOIS.

EXCEPT FROM PARCEL 2 THE SOUTH 30 FEET FROM THE NORTH LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, FROM 882.88 FEET TO 1362.88 FEET WEST OF THE CENTER POINT OF SECTION 36, IN MCHENRY COUNTY CONVEYED PER DEED DOCUMENT 2003R0069829.

PARCEL 3:
 THAT PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN MCHENRY COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:
 ALL OF THAT PART OF SQUARE BARN ROAD DEDICATED BY DOCUMENT 2004R114410, LYING NORTHERLY OF THE WESTERLY PROLONGATION OF THE SOUTH LINE OF PARCEL 1 DESCRIBED HERewith, AND SOUTHERLY OF THE EASTERLY PROLONGATION OF THE SOUTH LINE THAT PROPERTY DESCRIBED IN A WARRANTY DEED RECORDED AS DOCUMENT NUMBER 2004R0021406 IN SAID COUNTY.



STATE OF ILLINOIS ISS
 COUNTY OF LAKE

APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF ALGONQUIN, COUNTY, ILLINOIS.

THIS DAY OF 20 .

BY: PRESIDENT

ATTEST: CITY CLERK

STATE OF ILLINOIS ISS
 COUNTY OF LAKE

I, JAMES P. MEIER, ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY AS DESCRIBED ABOVE AND THAT THE PLAT OF ANNEXATION HEREON DRAWN IS A REPRESENTATION OF SAID SURVEY. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

CERTIFIED AT GURNEE, ILLINOIS THIS 28th DAY OF FEBRUARY, 2022.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY OF COUNTY, ILLINOIS.

THIS DAY OF 20 .

BY: VILLAGE CLERK

STATE OF ILLINOIS ISS
 COUNTY OF LAKE

I, JAMES P. MEIER, ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY AS DESCRIBED ABOVE AND THAT THE PLAT OF ANNEXATION HEREON DRAWN IS A REPRESENTATION OF SAID SURVEY. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

CERTIFIED AT GURNEE, ILLINOIS THIS 28th DAY OF FEBRUARY, 2022.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY OF COUNTY, ILLINOIS.

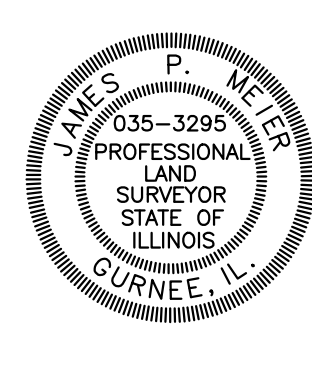
THIS DAY OF 20 .

BY: VILLAGE CLERK

TOTAL AREA OF TRACT ANNEXED = 2,587,033 SQUARE FEET OR 59.3901 ACRES

REVISED: APRIL 1, 2022 (VILLAGE COMMENTS)
 DATE: FEBRUARY 28, 2022
 ORDER NO.: 220127
 PROJ. NO.: 3390
 FOR: LENNAR
 PROJ. NAME: SQUARE BARN ROAD, ALGONQUIN
 Copyright © LTR Surveying & Mapping, Inc., 2022. All rights reserved.
 Professional Design Firm Registration #184-002793.

LEGEND
 = EXISTING LIMITS OF CITY OF ALGONQUIN



PRELIMINARY SUBDIVISION PLAT AND P.U.D. FOR WESTVIEW CROSSING

PARCEL INDEX NUMBERS

18-36-300-016
18-36-300-015
ALGONQUIN, ILLINOIS

100 50 0 100
SCALE: 1 INCH = 100 FEET

LOCATION MAP

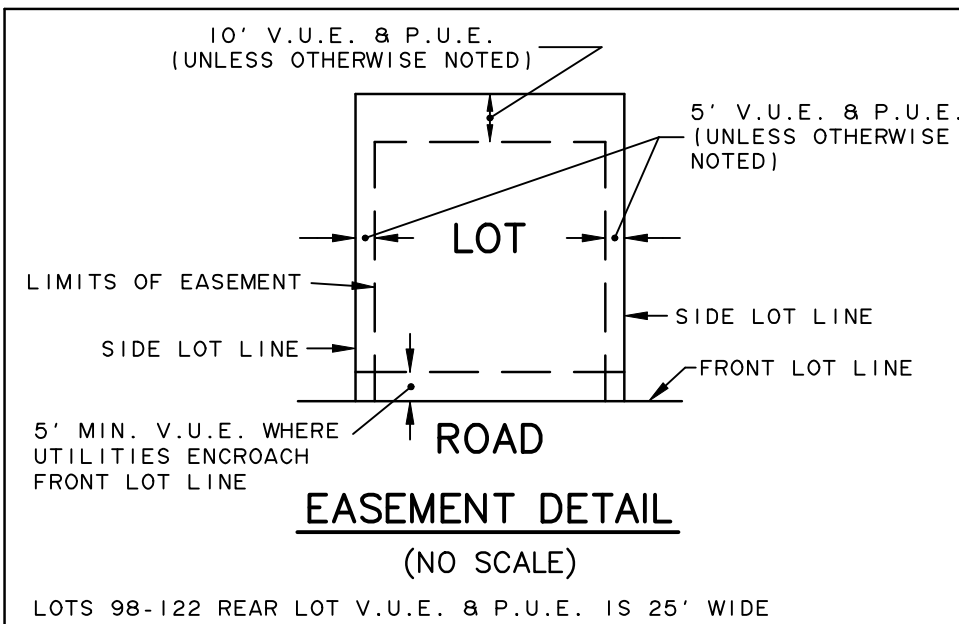


ABBREVIATIONS

N.	- NORTH
S.	- SOUTH
E.	- EAST
W.	- WEST
N.W.	- NORTHWEST
DOC.	- DOCUMENT
REC.	- RECORD
ARC	- ARC LENGTH
R	- RADIUS
R.O.W.	- RIGHT OF WAY
Ac.	- ACRE
S.F.	- SQUARE FEET
B.S.L.	- BUILDING SETBACK LINE
D.U./AC	- DWELLING UNITS PER ACRE
B/C	- BACK OF CURB
B	- BACK TO BACK
SWMF	- STORMWATER MANAGEMENT FACILITY
H.O.A.	- HOME OWNERS ASSOCIATION
O.S.	- OPEN SPACE
P.U.D.	- PLANNED UNIT DEVELOPMENT
V.U.E.	- VILLAGE UTILITY EASEMENT
P.U.E.	- PUBLIC UTILITY EASEMENT

LINE LEGEND

	- SUBDIVISION BOUNDARY LINE (Heavy Solid Line)
	- LOT LINE/PROPERTY LINE (Solid Line)
	- BUILDING LINE (Long Dashed Lines)
	- EASEMENT LINE/LIMITS OF EASEMENT (Short Dashed Lines)
	- CENTERLINE (Single Dashed Lines)
	- QUARTER SECTION LINE (Double Dashed Lines)
	- SECTION LINE (Triple Dashed Lines)



SITE DATA

A. TOTAL AREA	60.87 AC. ±	100.00%
B. EXISTING ZONING	N/A	
C. PROPOSED ZONING	R-2	
D. EXTERNAL R.O.W. (SQUARE BARN ROAD)	1.49 AC. ±	2.45%
E. INTERNAL R.O.W.	11.45 AC. ±	18.81%
F. COMMON OPEN SPACE (PARK SPACE - 1.02 AC. ±)	12.16 AC. ±	19.98%
G. NET RESIDENTIAL	35.71 AC. ±	58.67%
H. PROPOSED UNITS	150	
I. MINIMUM LOT SIZE	70' x 127'	
J. MIN. FRONT YARD SETBACK	30	
K. MIN. CORNER SIDE YARD SETBACK	30	
L. MIN. SIDE YARD SETBACK	7	
M. MIN. REAR YARD SETBACK	30	

NOTES

- ADDITIONAL V.U.E. & P.U.E. EASEMENTS MAY BE REQUIRED ON FINAL PLATS BASED ON UTILITY SIZE AND LOCATIONS FROM FINAL ENGINEERING.
- DIMENSIONS SHOWN ALONG CURVED LINES ARE ARC DISTANCES.
- ALL RIGHT-OF-WAYS ARE TO BE PUBLIC DEDICATIONS.
- ALL STREETS, UTILITY PIPES AND MAINS SHALL BE PUBLICLY OWNED AND MAINTAINED.
- ALL EASEMENTS DEPICTED ON THIS PLAT WILL BE GRANTED ON THE FINAL SUBDIVISION PLATS (UNLESS OTHERWISE NOTED).
- STORMWATER MANAGEMENT EASEMENTS WILL BE GRANTED ON THE FINAL SUBDIVISION PLATS (UNLESS OTHERWISE NOTED).
- STORMWATER STORAGE VOLUMES TO BE PROVIDED AND THE DESIGN OF STORMWATER MANAGEMENT FACILITIES SHALL BE IN ACCORDANCE WITH THE VILLAGE OF ALGONQUIN AND KANE COUNTY REQUIREMENTS.
- EASEMENTS TO BE PROVIDED PER VILLAGE AND UTILITY COMPANY REQUIREMENTS.
- FOR PROPOSED CONTOURS, GRADES, UTILITIES, STREETS AND SIDEWALKS REFER TO THE PRELIMINARY ENGINEERING DRAWINGS FOR THIS DEVELOPMENT.
- ALL REQUIRED CERTIFICATES AND STATEMENTS WILL BE PROVIDED ON FINAL PLAT.
- ALL R.O.W. DEPICTED ON THIS PLAT WILL BE GRANTED ON THE FINAL SUBDIVISION PLATS (UNLESS OTHERWISE NOTED).

LEGAL DESCRIPTION

PARCEL 1:
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 87 DEGREES 52 MINUTES 40 SECONDS WEST ALONG THE SOUTH LINE THEREOF 1409.93 FEET; THENCE NORTH 01 DEGREE 38 MINUTES 02 SECONDS EAST 627.36 FEET FOR THE POINT OF BEGINNING; THENCE NORTH 87 DEGREES 52 MINUTES 40 SECONDS EAST AND PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST QUARTER 1371.38 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH 01 DEGREE 53 MINUTES 38 SECONDS WEST ALONG SAID EAST LINE 363.74 FEET; THENCE SOUTH 87 DEGREES 58 MINUTES 54 SECONDS WEST AND PARALLEL WITH THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHWEST QUARTER OF SAID SECTION 36, A DISTANCE OF 1343.68 FEET; THENCE SOUTH 02 DEGREES 25 MINUTES 43 SECONDS WEST 367.35 FEET TO THE POINT OF BEGINNING, IN MCHEMERY COUNTY, ILLINOIS.
EXCEPT THAT PART OF PARCEL 1 DEDICATED FOR PART OF SQUARE BARN ROAD BY DOCUMENT 2004R114410

PARCEL 2:
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 87 DEGREES, 52 MINUTES, 40 SECONDS WEST ALONG THE SOUTH LINE THEREOF, 1409.95 FEET; THENCE NORTH 01 DEGREES, 38 MINUTES, 02 SECONDS EAST, 627.36 FEET; THENCE NORTH 87 DEGREES, 52 MINUTES, 40 SECONDS EAST AND PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST QUARTER, 1371.38 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH 01 DEGREES, 53 MINUTES, 38 SECONDS WEST ALONG SAID EAST LINE, 363.74 FEET; THENCE SOUTH 87 DEGREES 58 MINUTES, 54 SECONDS WEST AND PARALLEL WITH THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHWEST QUARTER, 1343.68 FEET; THENCE NORTH 02 DEGREES, 25 MINUTES, 43 SECONDS EAST, 328.66 FEET TO THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE NORTH 02 DEGREES, 03 MINUTES, 59 SECONDS WEST ALONG THE WEST LINE OF THE EAST HALF OF SAID SOUTHWEST QUARTER, 1319.84 FEET TO THE NORTHWEST CORNER THEREOF; THENCE NORTH 88 DEGREES, 05 MINUTES, 11 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER, 1322.88 FEET TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 01 DEGREES, 38 MINUTES, 38 SECONDS EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, 1645.10 FEET TO THE POINT OF BEGINNING IN MCHEMERY COUNTY, ILLINOIS.
EXCEPT THAT PART OF PARCEL 2 DEDICATED FOR PART OF SQUARE BARN ROAD BY DOCUMENT 2004R114410 AND ALSO EXCEPT FROM PARCEL 2 THE SOUTH 30 FEET FROM THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, FROM 682.88 FEET TO 1362.88 FEET WEST OF THE CENTER POINT OF SECTION 36, IN MCHEMERY COUNTY CONVEYED PER DEED DOCUMENT 2003R0069829.

BENCHMARK & CONTROL POINTS

ELEVATIONS ARE IN RELATION TO BENCHMARK PID D68499, DESIGNATION 3192
THE MARK IS LOCATED ABOUT 5.2 MI (8.4 KM) SOUTHWEST OF ZION, 3.7 MI (6.0 KM) WEST-NORTHWEST OF WAUKEGAN AND 2.7 MI (4.3 KM) SOUTH-SOUTHWEST OF WADSWORTH. OWNERSHIP—ROAD RIGHT-OF-WAY. AT THE INTERSECTION OF NORTH DELANEY ROAD AND SUNSET AVENUE, THE STATION IS ON THE SOUTHWEST SIDE OF THE INTERSECTION, 2.5 M (8.2 FT) WEST OF THE BACK OF THE CURB OF NORTH DELANEY ROAD. IT IS 8.5 M (27.9 FT) SOUTH OF THE TRAFFIC SIGNAL POST AND 5.8 M (19.0 FT) NORTH OF THE SOUTHEAST CORNER OF A VILLAGE OF GURNEE SIGN.
ELEVATION = 679.68 (NAVD88)

LOT DIMENSIONS & AREAS ARE APPROXIMATIONS & WILL VARY AT TIME OF FINAL PLATTING.

PREPARED FOR:
LENNAR HOMES
1700 E. GOLF ROAD, SUITE 1100
SCHAUMBURG, IL. 60173

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100
Aurora, Illinois 60502-9675
PH: 630.862.2100 FAX: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: 608084 FILE NAME: PREOVER
DRAWN BY: KMS FLD. BK. / PG. NO.: -----
COMPLETION DATE: 03-03-22 JOB NO.: 608.084
XREF : TOPO BY OTHERS PROJECT MANAGER : MJS
REV.: 03-28-22/KMS, 03-29-22/KMS, 05-13-22/KMS

PRELIMINARY ENGINEERING PLAN FOR WESTVIEW CROSSING



100 50 0 100
SCALE: 1 INCH = 100 FEET



LOCATION MAP

SWMF 01
DRY BOTTOM
BASIN BOTTOM = 894.2
HWL = 899.1
OVERFLOW = 900.0
STORAGE PROVIDED = 9.76 AC-FT
STORAGE REQUIRED = 9.23 AC-FT

SWMF 02
NATURAL WET BOTTOM NWL = 896.0
HWL = 902.0
OVERFLOW = 903.0
STORAGE PROVIDED = 22.82 AC-FT
STORAGE REQUIRED = 16.73 AC-FT

SWMF 03
DRY BOTTOM
BASIN BOTTOM = 898.5
HWL = 903.5
OVERFLOW = 903.5
STORAGE PROVIDED = 3.83 AC-FT
STORAGE REQUIRED = 2.0 AC-FT

SITE DATA

A. TOTAL AREA	60.87 AC. ±	100.00%
B. EXISTING ZONING	N/A	
C. PROPOSED ZONING	R-2	
D. EXTERNAL R.O.W. (SQUARE BARN ROAD)	1.49 AC. ±	2.45%
E. INTERNAL R.O.W.	11.45 AC. ±	18.81%
F. COMMON OPEN SPACE	12.13 AC. ±	19.93%
PARK SPACE - 0.97 AC. ±		
G. NET RESIDENTIAL	35.80 AC. ±	58.81%
H. PROPOSED UNITS	150	
I. MINIMUM LOT SIZE	70' x 127'	
J. MIN. FRONT YARD SETBACK	30	
K. MIN. CORNER SIDE YARD SETBACK	30	
L. MIN. SIDE YARD SETBACK	7	
M. MIN. REAR YARD SETBACK	30	

NOTES

ALL RIGHT-OF-WAYS ARE TO BE PUBLIC DEDICATIONS.

ALL STREETS, UTILITY PIPES AND MAINS SHALL BE PUBLICLY OWNED AND MAINTAINED, EXCEPT FOR SWMF 01 AND 03, WHICH WILL BE OWNED AND MAINTAINED BY WESTVIEW CROSSING H.O.A.

STORMWATER STORAGE VOLUMES TO BE PROVIDED AND THE DESIGN OF STORMWATER MANAGEMENT FACILITIES SHALL BE IN ACCORDANCE WITH VILLAGE OF ALGONQUIN AND KANE COUNTY REQUIREMENTS.

ALL OVERLAND FLOOD ROUTES NOT ON A ROADWAY WILL BE CONTAINED IN EASEMENTS.

STORMWATER MANAGEMENT FACILITY 02 IS A PROPOSED NATURAL WET BOTTOM DETENTION FACILITY. DESIGN OF FINAL CONFIGURATION, PLANTINGS AND NWL DEPTH WILL BE COORDINATED WITH VILLAGE ECOLOGIST AT FINAL DESIGN.

UNLESS OTHERWISE NOTED ALL WATERMAIN AND SANITARY SEWER TO BE 8" DIAMETER.

ALL SANITARY SERVICE CONNECTIONS TO SANITARY SEWER MAINS MUST HAVE AN OVERHEAD SEWER SYSTEM WITHIN THE BUILDING.

ALL EXISTING ON-SITE BUILDINGS TO BE REMOVED AND DISPOSED.

ANY EXISTING WELL AND SEPTIC FIELDS SHALL BE ABANDONED ACCORDING TO COUNTY HEALTH DEPARTMENT.

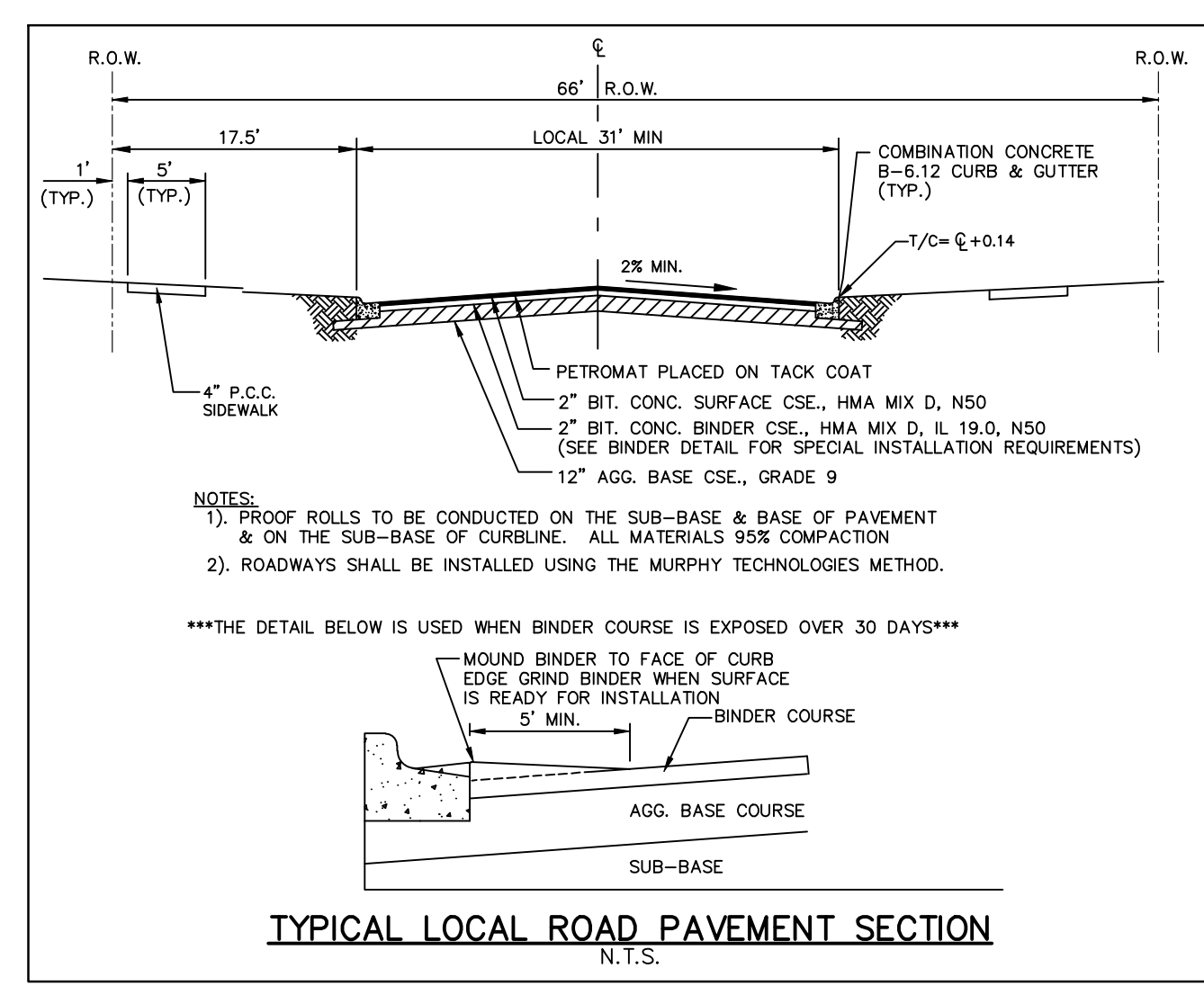
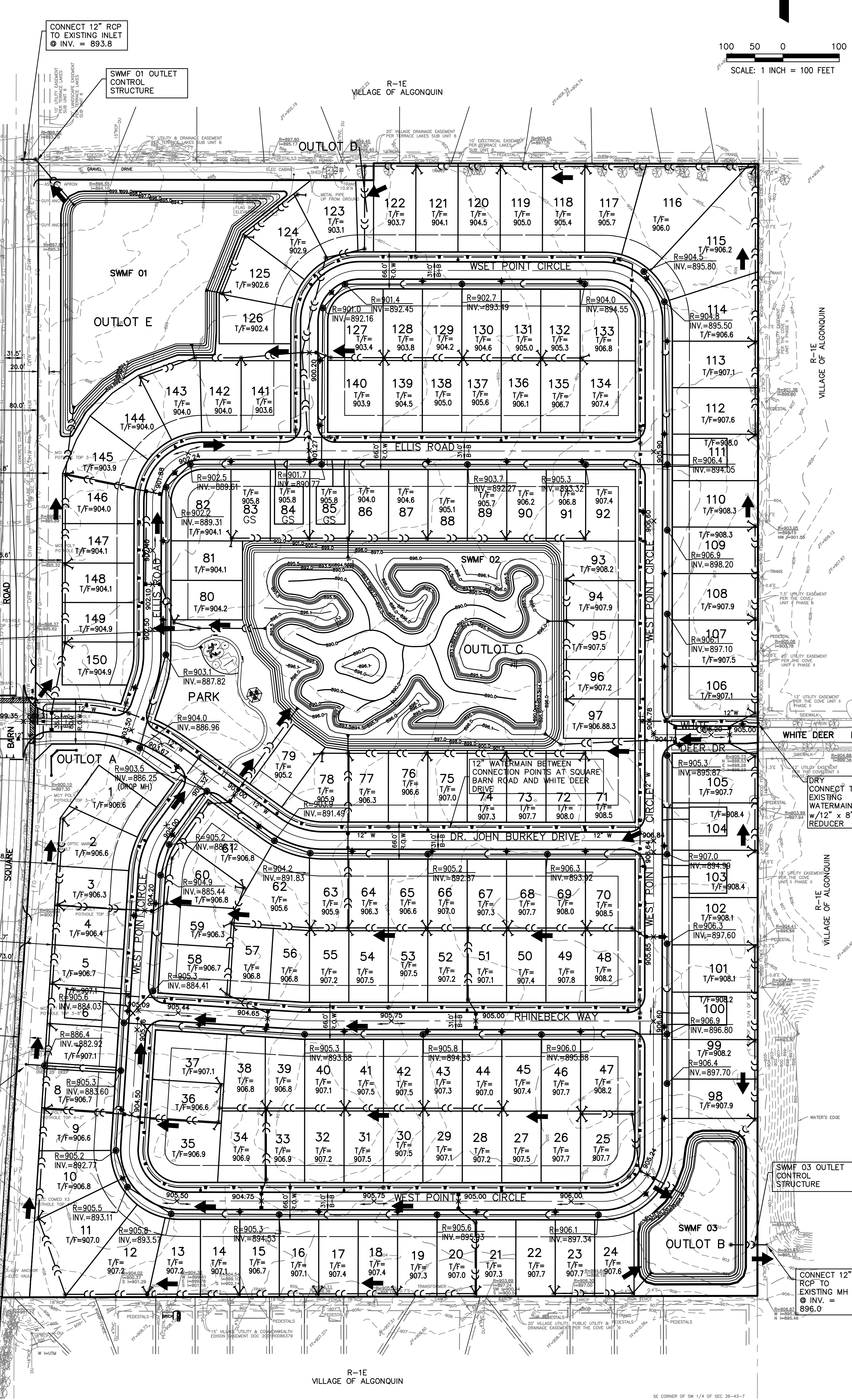
THE SITE DOES NOT CONTAIN AND DOES NOT ABUT WITHIN 200' TO AN MCHAI SITE. IT DOES NOT CONTAIN AND IT DOES NOT ABUT WITHIN 200' TO AN ADD HIGH QUALITY HABITAT. THE SITE DOES NOT CONTAIN AND DOES NOT ABUT WITHIN 200' TO ANY OF THE CUMULATIVE TRIGGERS FOR CONSERVATION DISTRICT.

LOTS 83-85 MAY REQUIRE GARAGE STEP TO MEET GRADING REQUIREMENTS. SEE TABLE AND NOTES ON SHEET 2. ACTUAL ELEVATIONS TO BE DETERMINED AT FINAL ENGINEERING.

PROPOSED RECREATION PATH IN EAST SQUARE BARN ROAD RIGHT-OF-WAY TO EXTEND SOUTH TO NORTH BACK OF CURB AT RESERVE DRIVE.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	●	MANHOLE
□	■	CATCH BASIN
○	●	INLET
▭	▭	CLEANOUT
▭	▭	SLOPE INLET BOX
▭	▭	HEADWALL
▭	▭	END SECTION
▭	▭	STORM SEWER
▭	▭	SANITARY SEWER
▭	▭	WATERMAIN
▭	▭	VALVE & BOX
▭	▭	WATER VALVE IN VAULT
▭	▭	FIRE HYDRANT
(ELEV)	(ELEV)	CONTOURS
▭	▭	ELEVATIONS
▭	▭	STREET LIGHT
▭	▭	WATERMAIN PROTECTION
▭	▭	SILT FENCE INLET PROTECTOR
▭	▭	TEMPORARY STRAW BALE DITCH CHECK
▭	▭	SILT FENCE DITCH CHECK
▭	▭	RIP-RAP
▭	▭	OVERFLOW ROUTE



PREPARED FOR:
LENNAR HOMES
1700 E. GOLF ROAD, SUITE 1100
SCHAUMBURG, IL. 60173

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100
Aurora, Illinois 60502-9675
PH: 630.862.2100 FAX: 630.862.2199
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PRELIMINARY ENGINEERING PLAN FOR WESTVIEW CROSSING

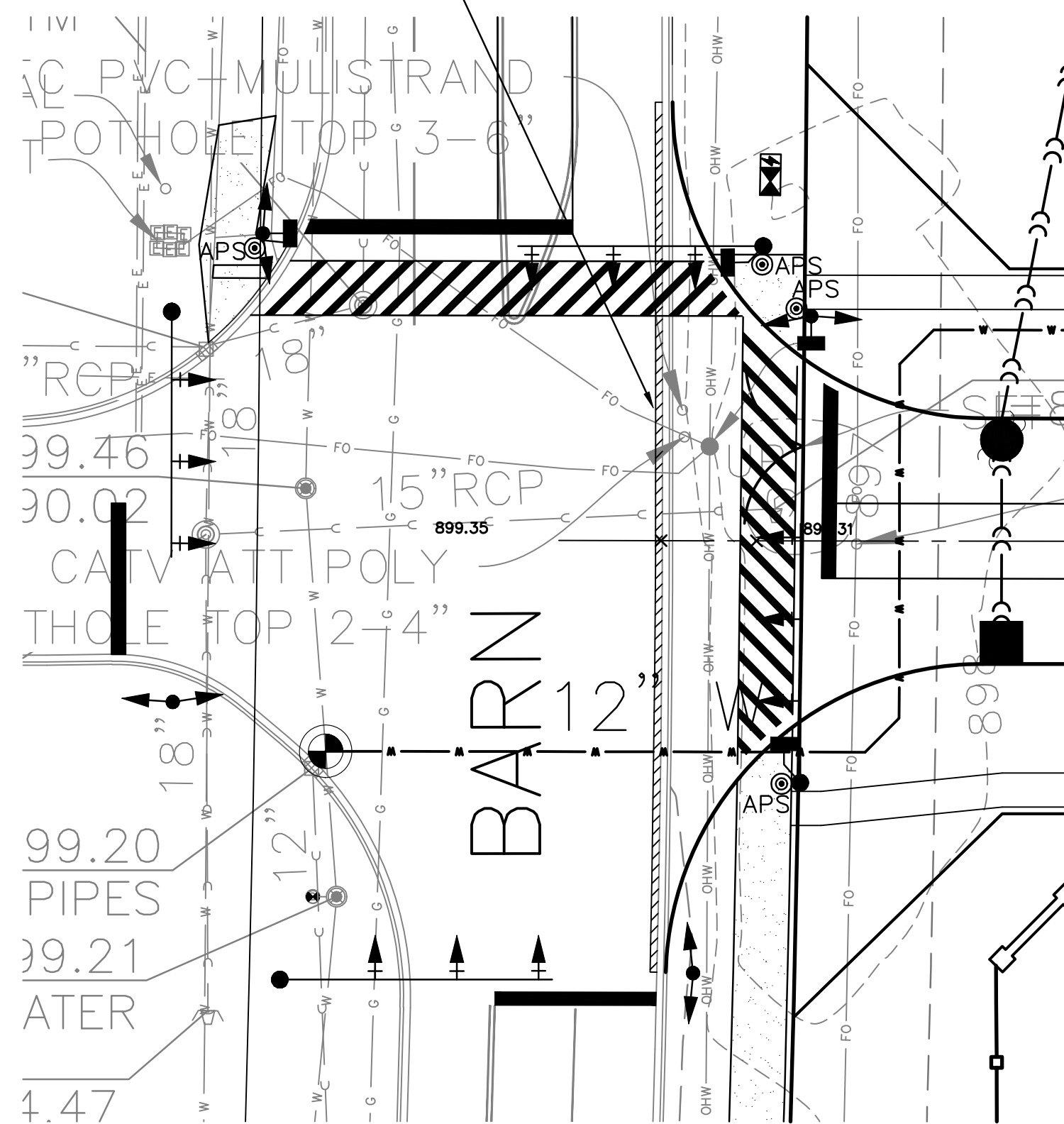


GARAGE FLOOR ELEVATIONS & INTERIOR STEPS						
LOT	① BASEMENT FLOOR (NWL + 2')	② MIN T/F (BF + 7.83')	③ UNADJUSTED GF (TF - 0.7')	④ ROW ELEV.	⑤ MAX GF ELEV. w/8% DRIVEWAY	⑥ GARAGE STEP (③ - ⑤)
83	898.0	905.83	905.13	901.6	904.0	1.13'
84	898.0	905.83	905.13	901.4	903.8	1.33'
85	898.0	905.83	905.13	901.4	903.8	1.33'

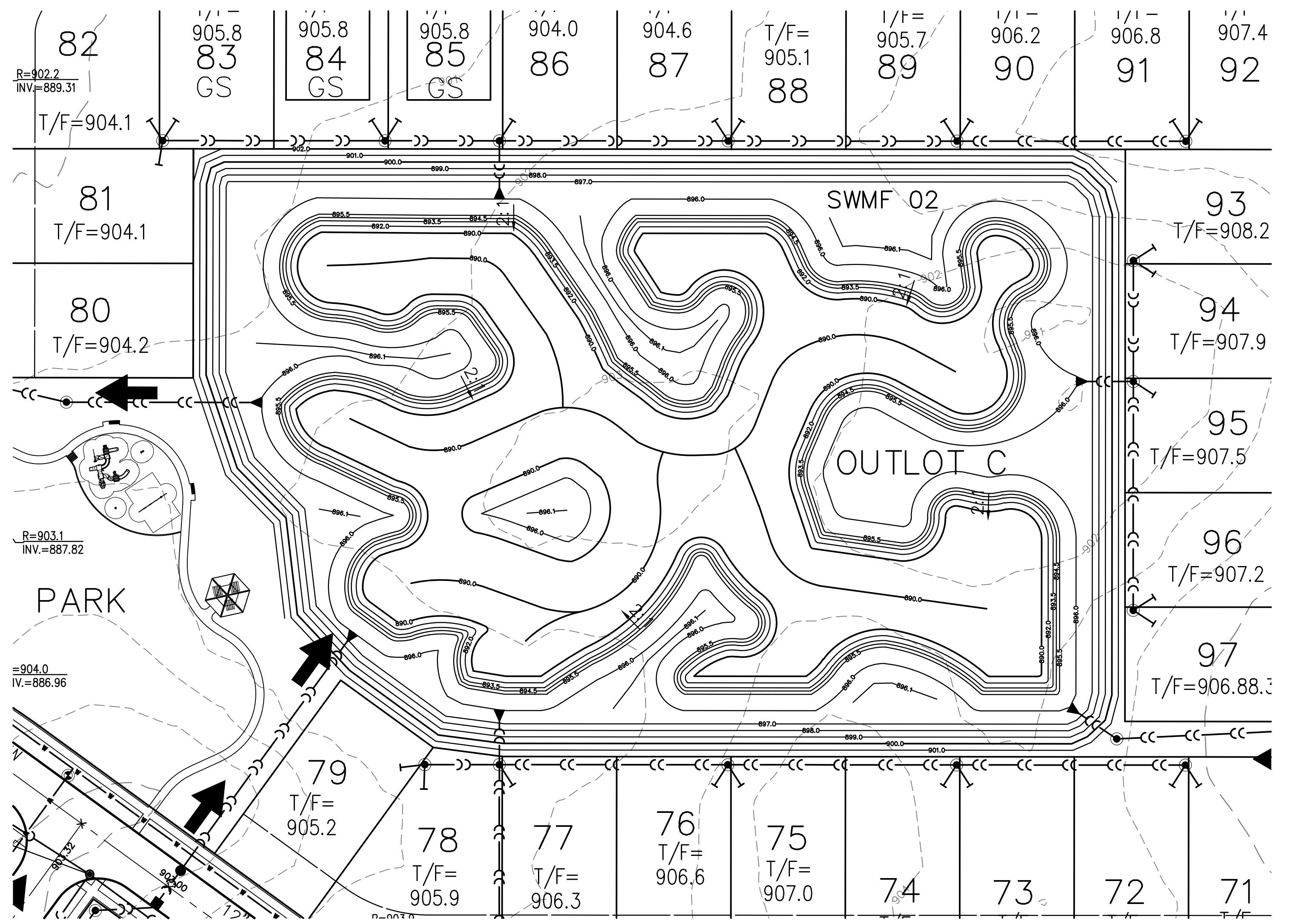
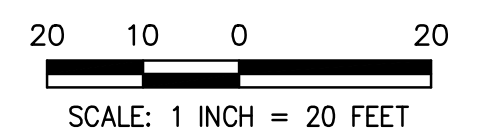
NOTES:

- MIN. BASEMENT FLOOR (BF) SLAB ELEV ABOVE NWL IS 2.0'
 - NWL FOR SWMF 02 IS 896.0
 - DIFFERENCE BETWEEN T/F AND BF IS 7'-10" PER ARCHITECTURAL PLANS
 - STD DIFFERENCE BETWEEN GARAGE FLOOR & T/F IS 0.7'
 - MAX DRIVEWAY SLOPE IS 8%
 - FRONT BUILDING SETBACK IS 30'
- ① BASEMENT FLOOR = NWL + 2' = 898.0
 ② T/F = BASEMENT FLOOR + 7'-10" = 905.38
 ③ STANDARD (UNADJUSTED) GARAGE FLOOR = T/F - 0.7'
 ④ ROW ELEVATION AT LOW SIDE OF DRIVEWAY = ROADWAY CENTERLINE (CL) ELEV + 0.51'
 ⑤ MAX. ALLOWABLE G/F ELEVATION = ROW ELEV. + (30' ROW X 8%) = ROW + 2.4' = CL + 2.91'
 ⑥ REQUIRED GARAGE STEP = STANDARD G/F - MAX. ALLOWABLE G/F

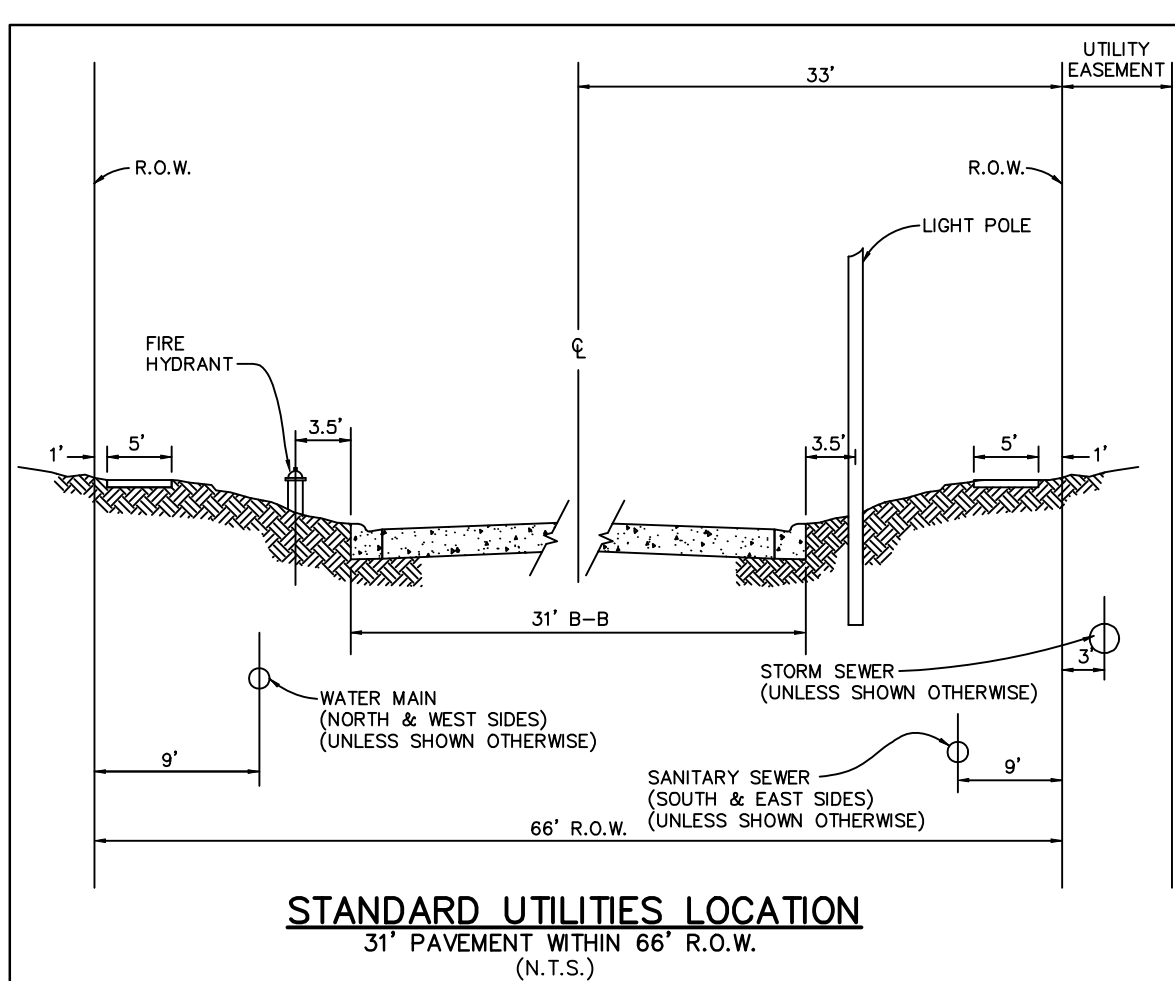
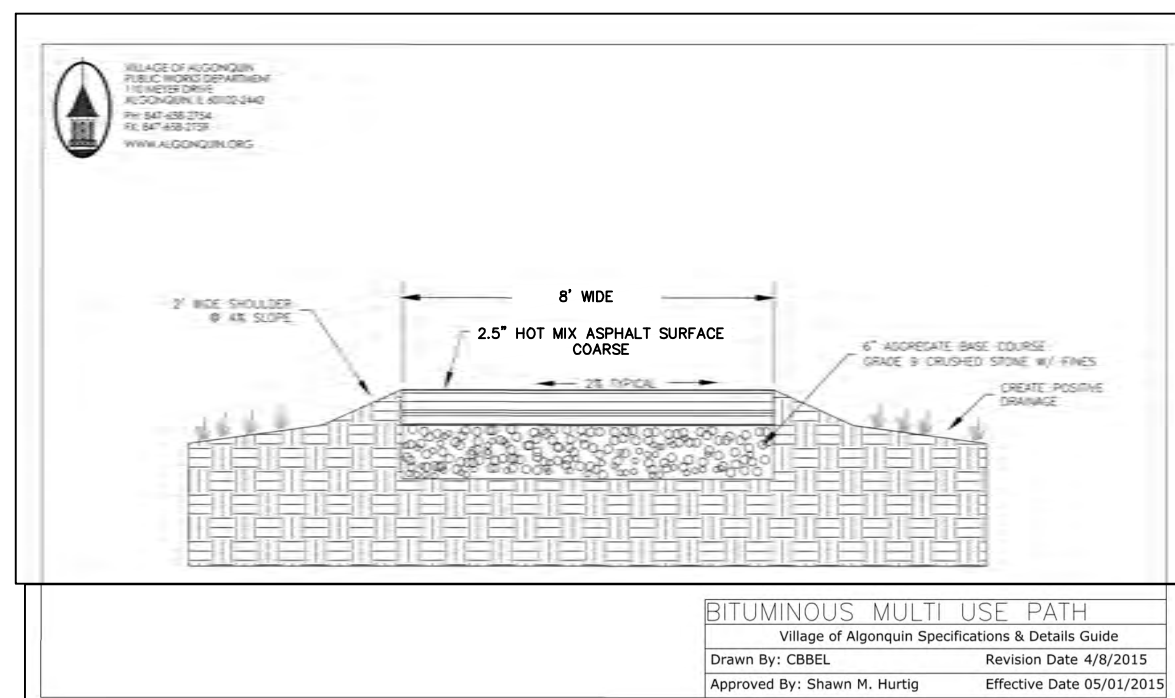
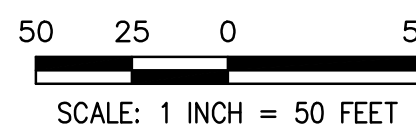
REMOVE EXISTING CURB AND GUTTER. PROPOSED ENTRANCE DRIVE TO MATCH ELEVATIONS OF EXISTING SQUARE BARN ROAD PAVEMENT ELEVATIONS.



SQUARE BARN ROAD AND ROAD A INTERSECTION



SWMF 02 NATURAL DETENTION BASIN



LEGEND		DESCRIPTION
EXISTING	PROPOSED	
		MANHOLE
		CATCH BASIN
		INLET
		CLEANOUT
		SLOPE INLET BOX
		HEADWALL
		END SECTION
		STORM SEWER
		SANITARY SEWER
		WATERMAIN
		VALVE & BOX
		WATER VALVE IN VAULT
		FIRE HYDRANT
		CONTOURS
		ELEVATIONS
		STREET LIGHT
		WATERMAIN PROTECTION
		SILT FENCE INLET PROTECTOR
		TEMPORARY STRAW BALE DITCH CHECK
		SILT FENCE DITCH CHECK
		RIP-RAP
		OVERFLOW ROUTE

PREPARED FOR:
LENNAR HOMES
 1700 E. GOLF ROAD, SUITE 1100
 SCHAUMBURG, IL. 60173

PREPARED BY:
CEMCON, Ltd.
 Consulting Engineers, Land Surveyors & Planners
 2280 White Oak Circle, Suite 100
 Aurora, Illinois 60502-9675
 PH: 630.862.2100 FAX: 630.862.2199
 E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: 608084 FILE NAME: PREOVER
 DRAWN BY: KMS FLD. BK. / PG. NO.: -----
 COMPLETION DATE: 03-03-22 JOB NO.: 608.084
 XREF : TOPO BY OTHERS PROJECT MANAGER : MJS
 REV: 03-28-22/KMS, 03-29-22/KMS 05-13-22/KMS

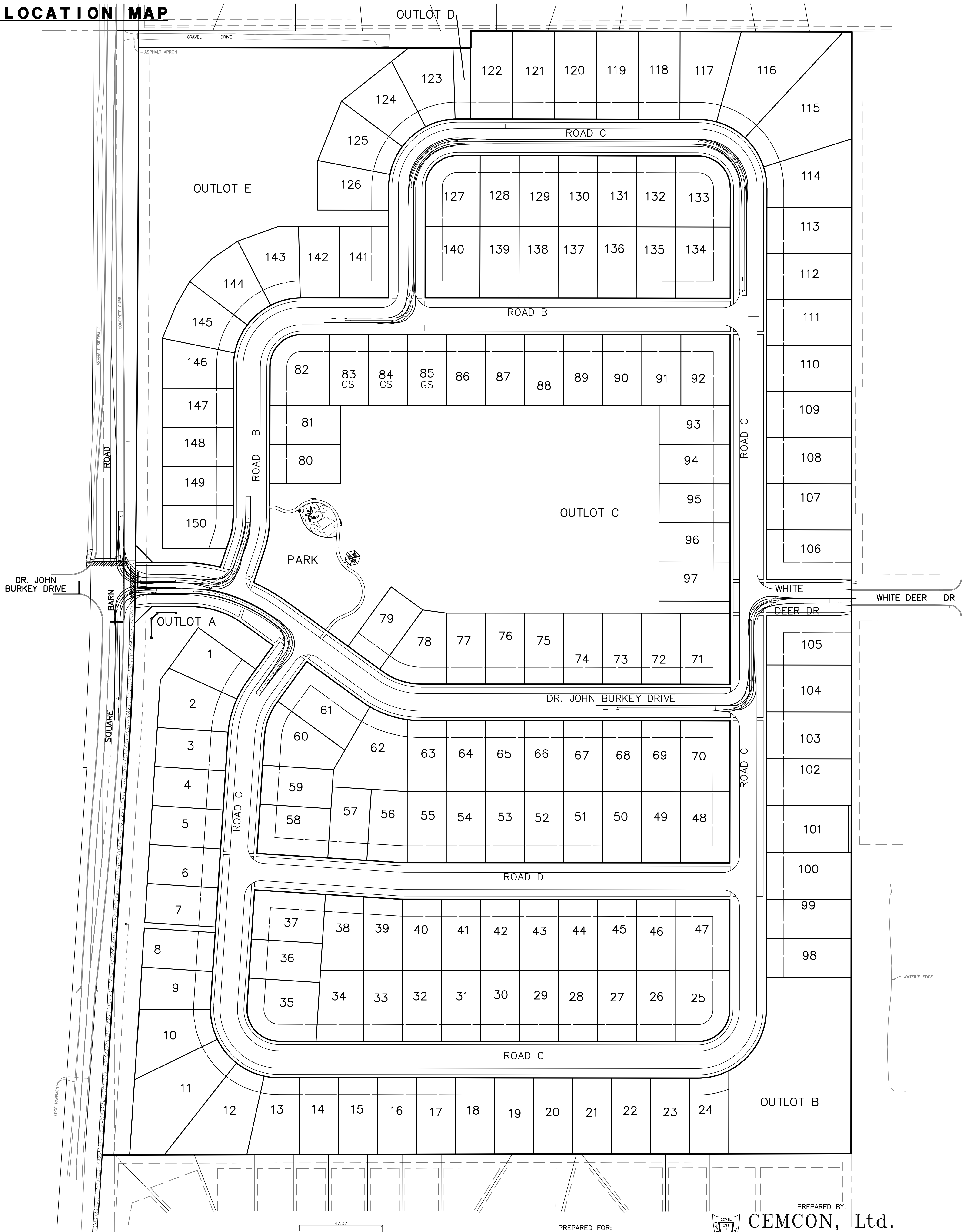
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AUTOTURN EXHIBIT FOR WESTVIEW CROSSING

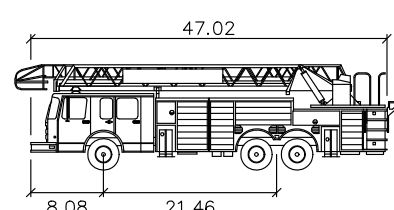


80 40 0 80
SCALE: 1 INCH = 80 FEET

LOCATION MAP



PLT FILE CREATED: 5/10/2022 BY: KRISTIN STARNEL DRAWING PATH: P:\608084\DWG\608084\EXHIBIT\AUTOTURN.DWG



FIRE TRUCK		feet
Width	:	8.00
Track	:	8.00
Lock to Lock Time	:	6.00
Steering Angle	:	40.00

PREPARED FOR:
LENNAR HOMES
 1700 E. GOLF ROAD, SUITE 1100
 SCHAUMBURG, IL. 60173

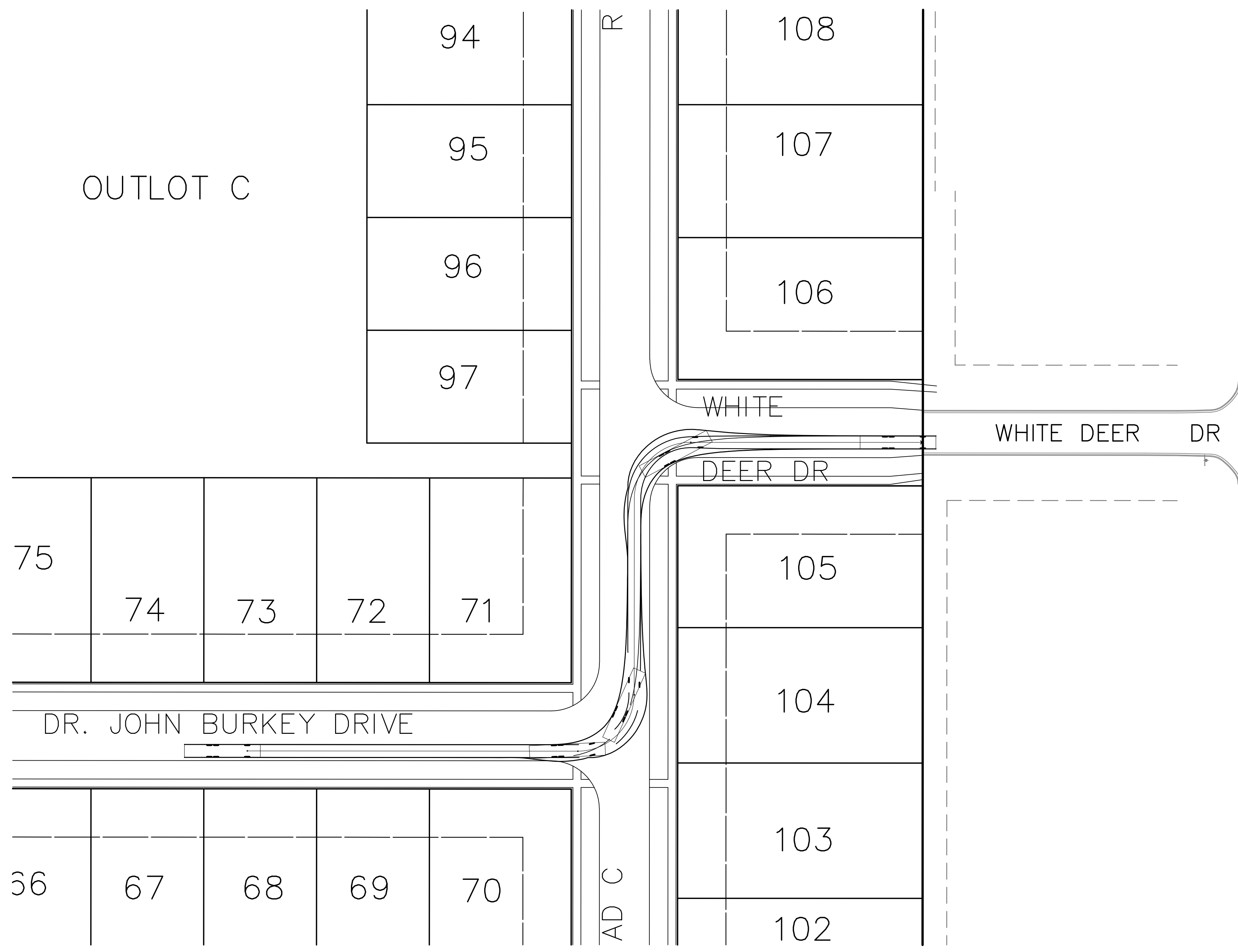
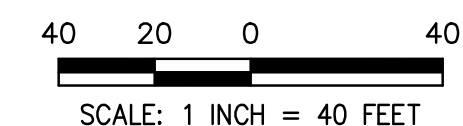


PREPARED BY:
CEMCON, Ltd.

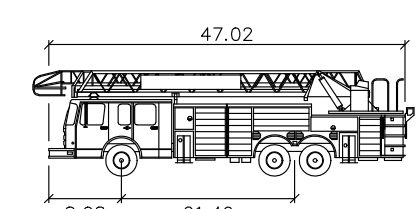
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FIRE TRUCK feet
Width : 8.00
Track : 8.00
Lock to Lock Time : 8.00
Steering Angle : 40.00

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Preliminary Landscape Plan

WESTVIEW CROSSING

Algonquin, Illinois

May 11, 2022

CONSULTANTS:



LANDSCAPE ARCHITECT:

GARY R. WEBER ASSOCIATES, INC
402 W. LIBERTY DRIVE
WHEATON, ILLINOIS 60187



CIVIL ENGINEER:

CEMCON, LTD.
2280 WHITE OAK CIRCLE, SUITE 100
AURORA, ILLINOIS 60502



LOCATION MAP

SCALE: 1"=500'

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
0	COVER SHEET
1	OVERALL LANDSCAPE PLAN
2	PRELIMINARY LANDSCAPE PLAN
3	PRELIMINARY LANDSCAPE PLAN
4	PRELIMINARY LANDSCAPE PLAN
5	LANDSCAPE DETAILS
6	NATIVE AREA SPECIFICATIONS
7	NATIVE AREA SPECIFICATIONS

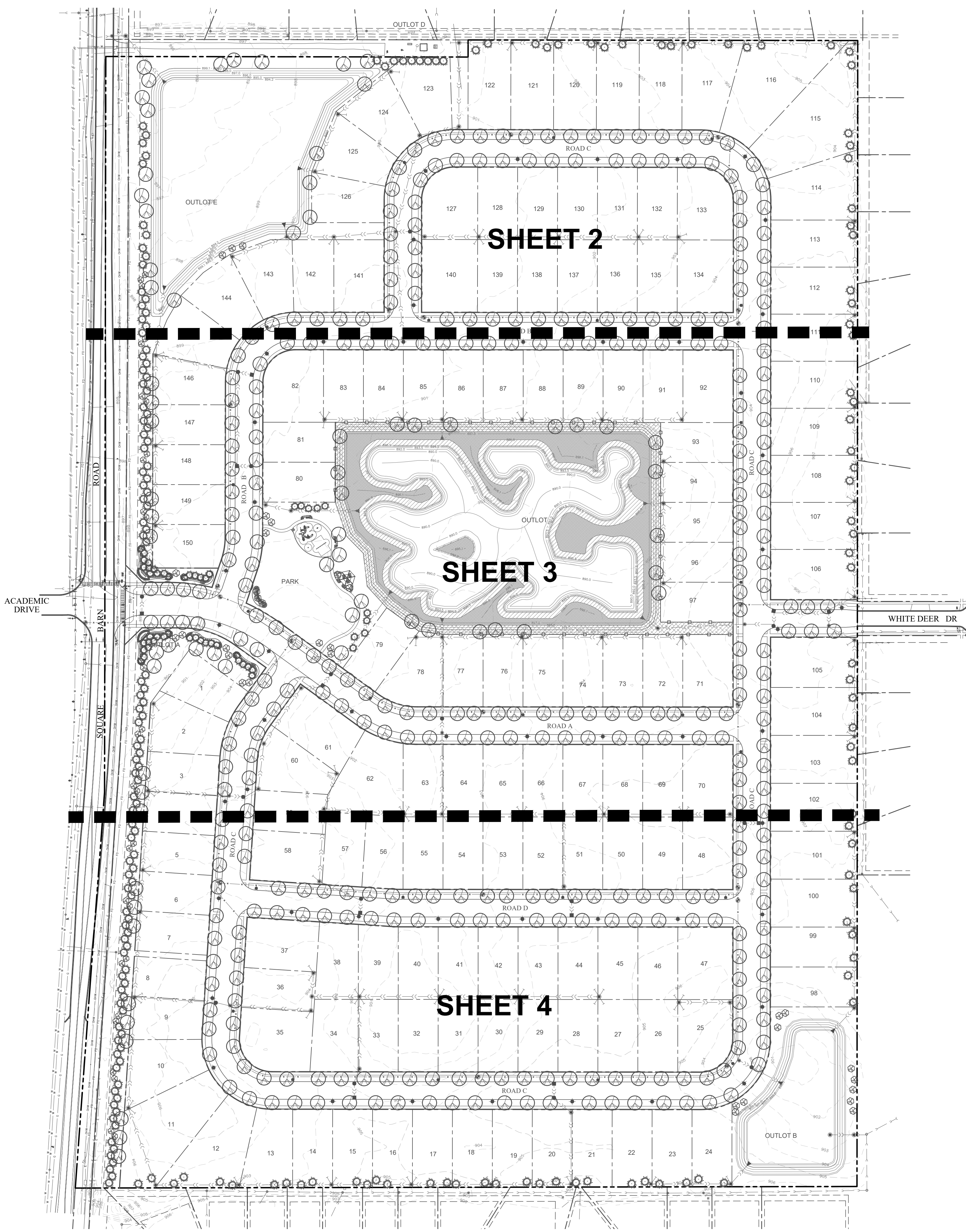


GENERAL NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.

REPRESENTATIVE PLANT LIST

Key	Botanical/Common Name	Size	Remarks
SHADE TREES			
	Acer x freemanii AUTUMN BLAZE MAPLE	2 1/2" Cal.	
	Acer x freemanii 'Marmo' MARMO FREEMAN MAPLE	2 1/2" Cal.	
	Acer miyabei 'Morton' STATE STREET MAPLE	2 1/2" Cal.	
	Celtis occidentalis COMMON HACKBERRY	2 1/2" Cal.	
	Platanus x acerifolia 'Morton Circle' EXCLAMATION! LONDON PLANETREE	2 1/2" Cal.	
	Quercus imbricaria SHINGLE OAK	2 1/2" Cal.	
	Quercus bicolor SWAMP WHITE OAK	2 1/2" Cal.	
	Quercus macrocarpa BUR OAK	2 1/2" Cal.	
	Quercus rubra RED OAK	2 1/2" Cal.	
	Tilia americana 'Redmond' REDMOND AMERICAN LINDEN	2 1/2" Cal.	
	Tilia cordata 'Greenspire' GREENSPIRE LITTLELEAF LINDEN	2 1/2" Cal.	
	Ulmus carpinifolia 'Regal' REGAL SMOOTHLEAF ELM	2 1/2" Cal.	
ORNAMENTAL TREES			
	Amelanchier grandiflora APPLE SERVICEBERRY	6' Tall	Multi-stem
	Betula nigra RIVER BIRCH	6' Tall	Multi-stem
	Cornus mas CORNELIANCHERRY DOGWOOD	6' Tall	Multi-stem
	Crataegus crus-galli inermis THORNLESS COCKSPUR HAWTHORN	6' Tall	Multi-stem
	Malus 'Prairifire' PRAIRIFIRE CRABAPPLE	6' Tall	Multi-stem
EVERGREEN TREES			
	Abies balsamea var. phanerolepis CANAN FIR	6' Tall	
	Abies concolor WHITE FIR	6' Tall	
	Picea abies NORWAY SPRUCE	6' Tall	
	Picea glauca 'Densata' BLACK HILLS SPRUCE	6' Tall	
	Picea amarika SERBIAN SPRUCE	6' Tall	
	Picea pungens GREEN COLORADO SPRUCE	6' Tall	
	Pinus flexilis LIMBER PINE	6' Tall	
	Pinus strobus WHITE PINE	6' Tall	
DECIDUOUS SHRUBS			
	Cornus sericea 'Bailey' BAILEY'S REDTWIG DOGWOOD	30" Tall	5' O.C.
	Cornus sericea 'Bailey' BAILEY'S REDTWIG DOGWOOD	30" Tall	5' O.C.
	Hydrangea paniculata 'SMIPLQF' LITTLE QUICK FIRE HYDRANGEA	24" Tall	3' O.C.
	Itea virginica 'Morton' SCARLET BEAUTY VIRGINIA SWEETSPIRE	24" Tall	3' O.C.
	Physocarpus opulifolius 'Donna May' LITTLE DEVIL NINEBARK	24" Tall	3' O.C.
	Physocarpus opulifolius 'Seward' SUMMER WINE NINEBARK	30" Tall	4' O.C.
	Rhus aromatica 'Gro-low' GRO-LOW SUMAC	24" Wide	3' O.C.
	Rosa 'Radrazz' RED KNOCKOUT ROSE	24" Tall	3' O.C.
	Syringa meyeri 'Palibin' DWARF KOREAN LILAC	24" Tall	4' O.C.
	Viburnum trilobum 'Hah's' HAH'S CRANBERRYBUSH VIBURNUM	30" Tall	4' O.C.
EVERGREEN SHRUBS			
	Juniperus chinensis 'Sea-green' SEA GREEN JUNIPER	24" Wide	4' O.C.
	Juniperus virginiana 'Blue Mountain' NORDIC BLUE JUNIPER	24" Wide	4' O.C.
PERENNIALS AND ORNAMENTAL GRASSES			
	Allium 'Summer Beauty' SUMMER BEAUTY ONION	#1	18" O.C.
	Calamagrostis x acutiflora 'Karl Foerster' FEATHER REED GRASS	#1	30" O.C.
	Paricum virgatum 'Heavy Metal' BLUE SWITCHGRASS	#1	24" O.C.
	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	#1	18" O.C.
	Sporobolus heterolepis PRAIRIE DROPSEED	#1	18" O.C.



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 2280 WHITE OAK CIRCLE, SUITE 100
 AURORA, IL 60502

WESTVIEW CROSSING
 ALCONQUIN, ILLINOIS
OVERALL LANDSCAPE PLAN

2	5.11.2022
1	3.28.2022

REVISIONS

DATE 3.03.2022
 PROJECT NO. LN2196
 DRAWN JLT
 CHECKED GFB
 SHEET NO.

1 OF 7

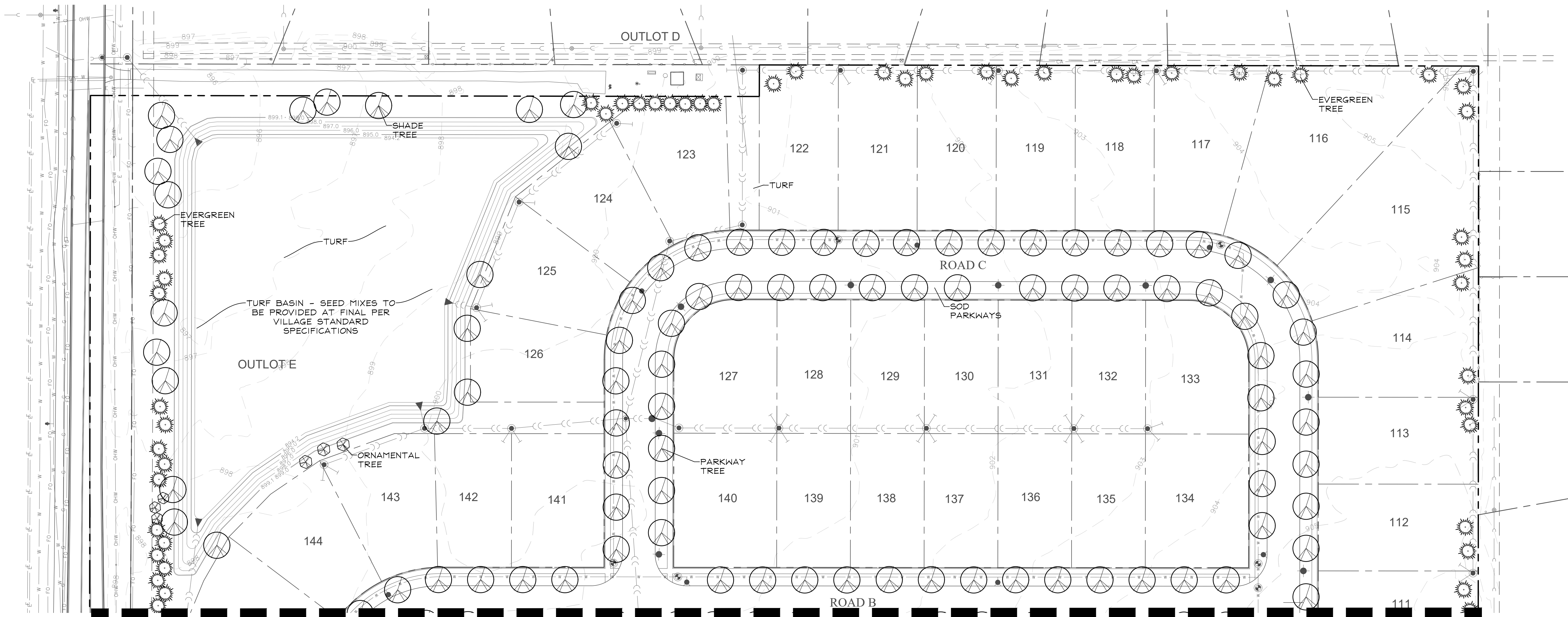


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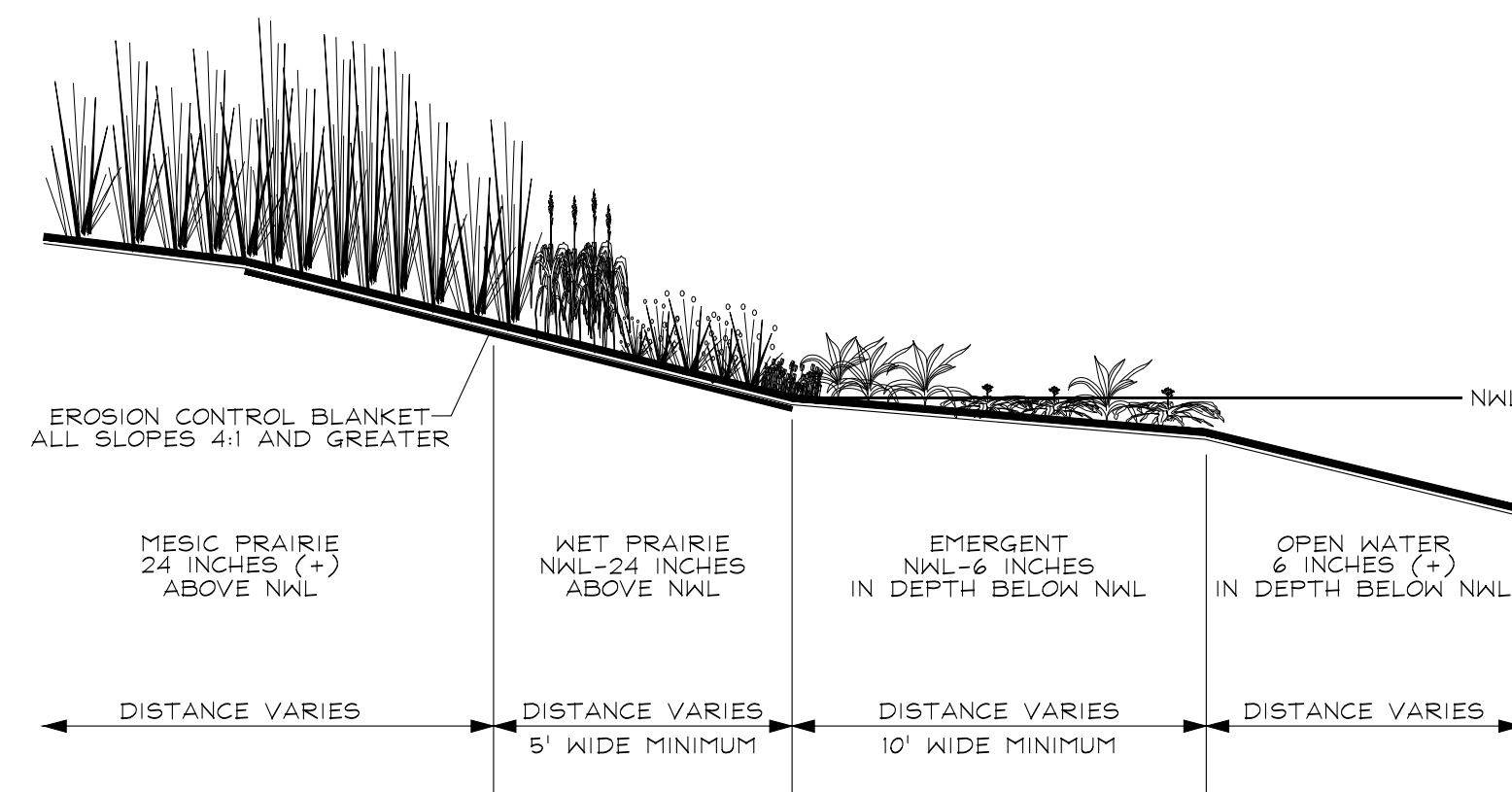
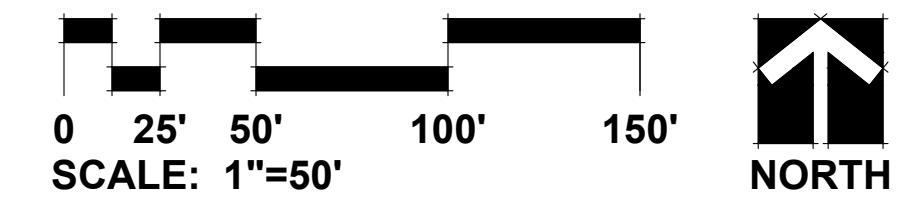
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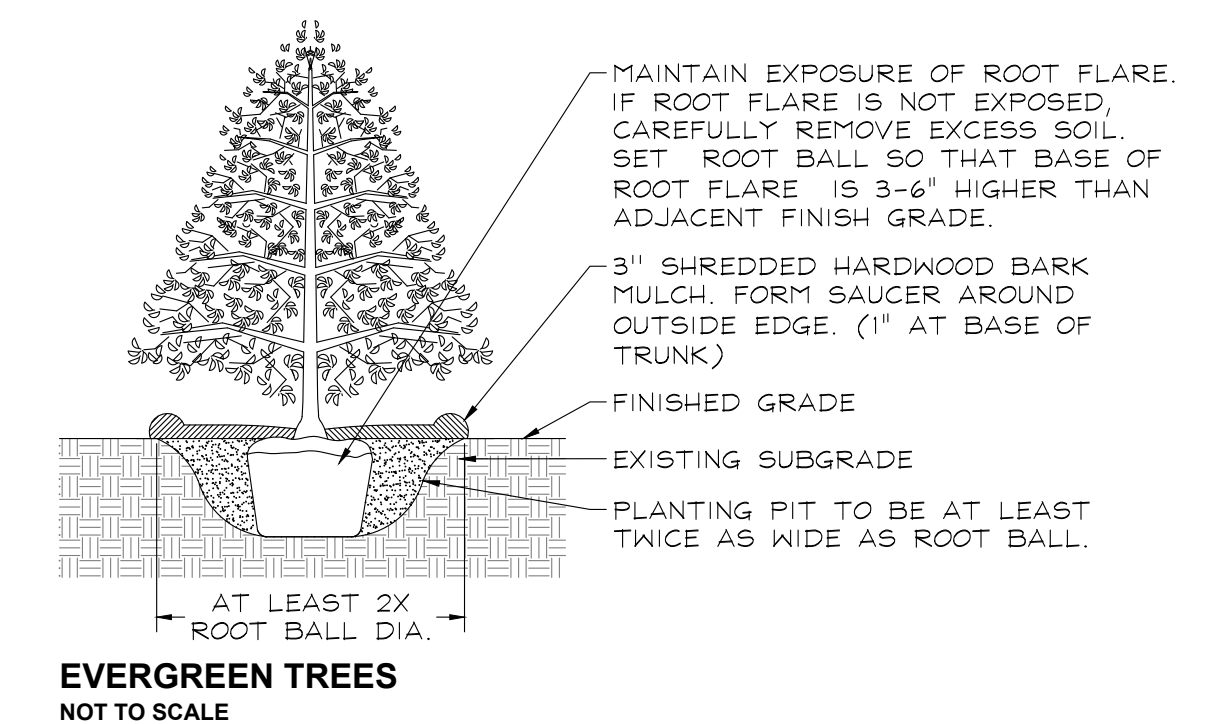
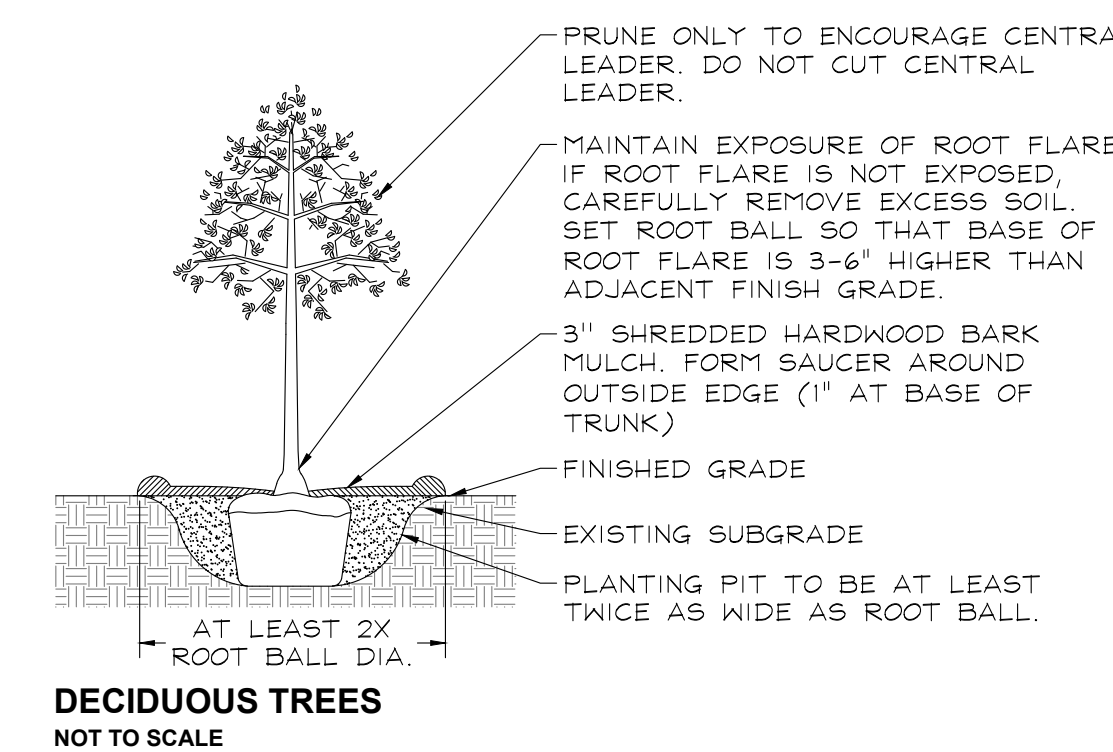
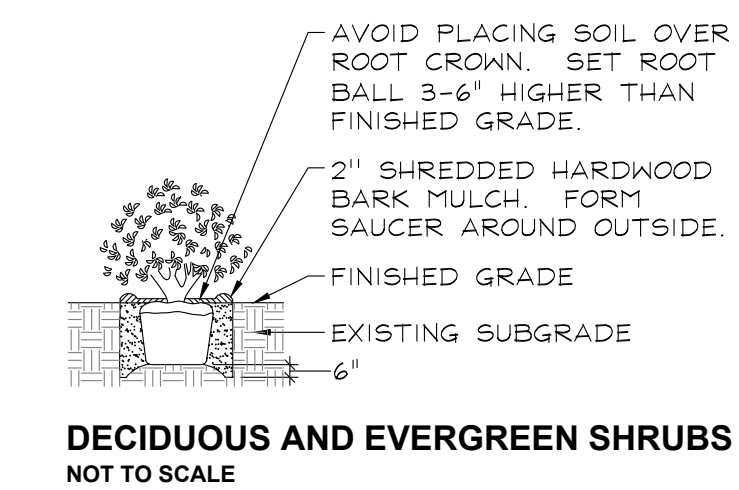
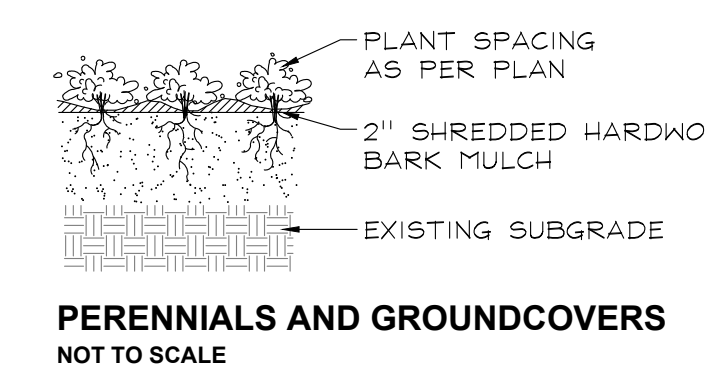
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LEGEND

- SHADE TREES
- ORNAMENTAL TREES
- EVERGREEN TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS
- ORNAMENTAL GRASSES
- GROUNDCOVERS
- MESIC PRAIRIE PLANTINGS
- WETLAND PRAIRIE PLANTINGS
- EMERGENT PLANTINGS

PLANTING DETAILS



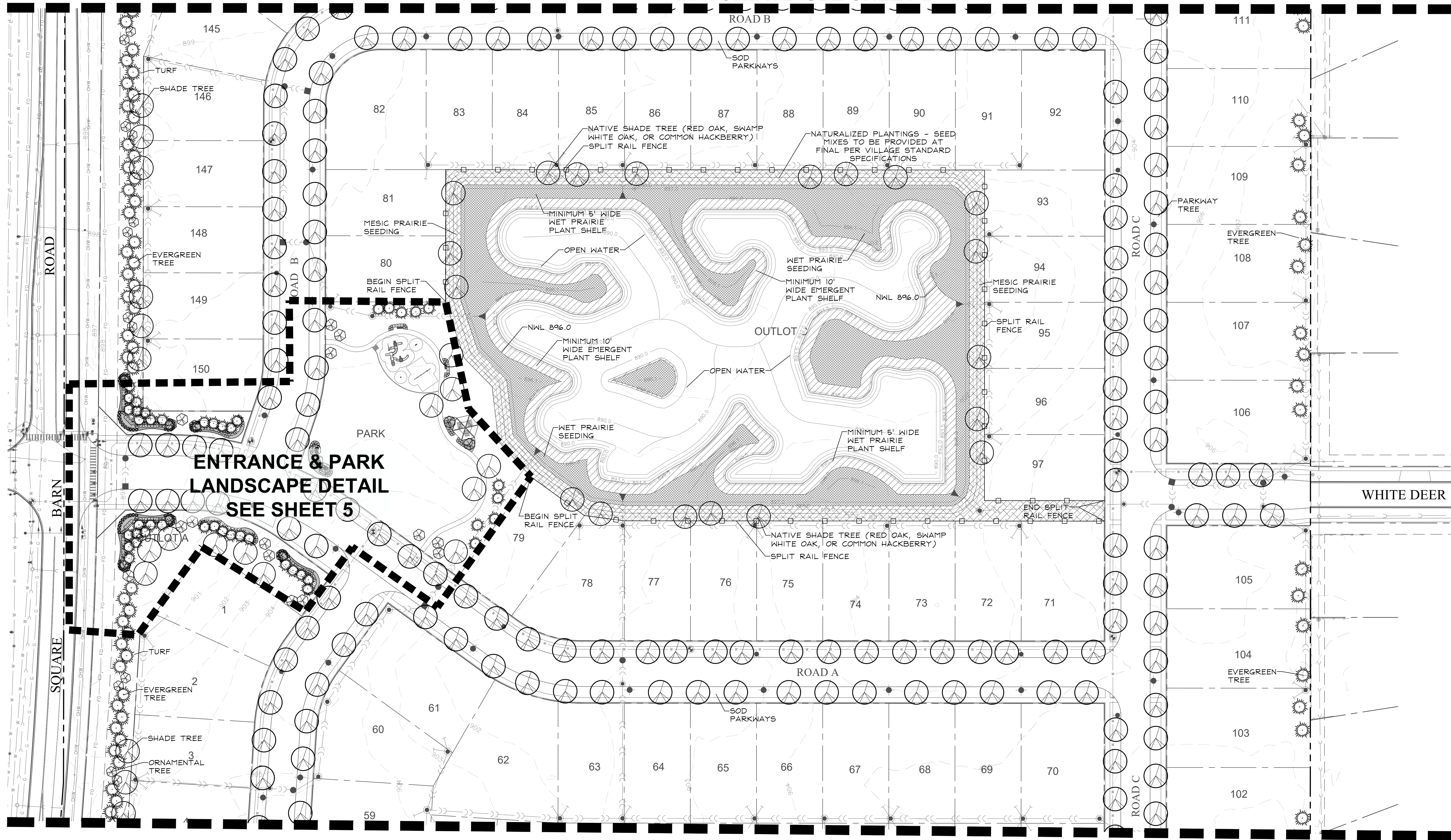
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REVISIONS

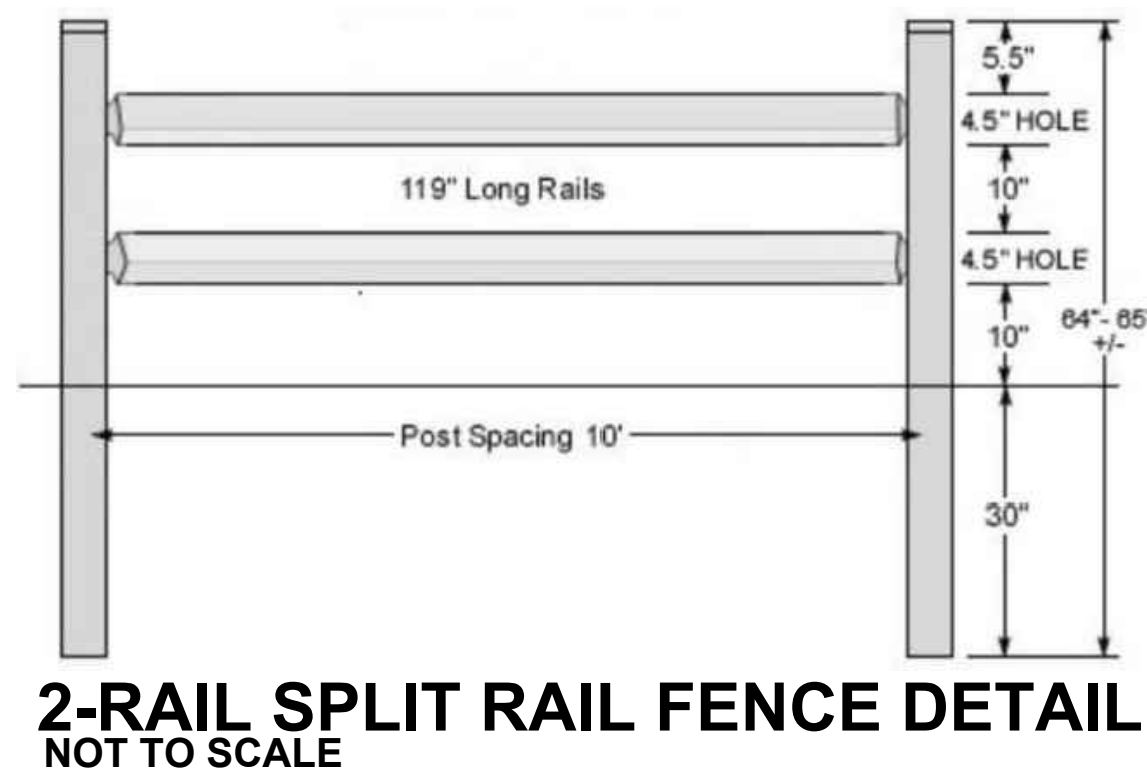
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SHEET NO.	



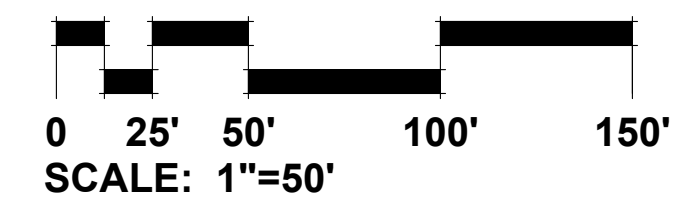
MATCHLINE- SEE SHEET 2



MATCHLINE- SEE SHEET 4



- LEGEND**
- SHADE TREES
 - ORNAMENTAL TREES
 - EVERGREEN TREES
 - DECIDUOUS SHRUBS
 - EVERGREEN SHRUBS
 - PERENNIALS
 - ORNAMENTAL GRASSES
 - GROUNDCOVERS
 - NATURALIZED PLANTINGS
 - WETLAND PRAIRIE PLANTINGS
 - EMERGENT PLANTINGS



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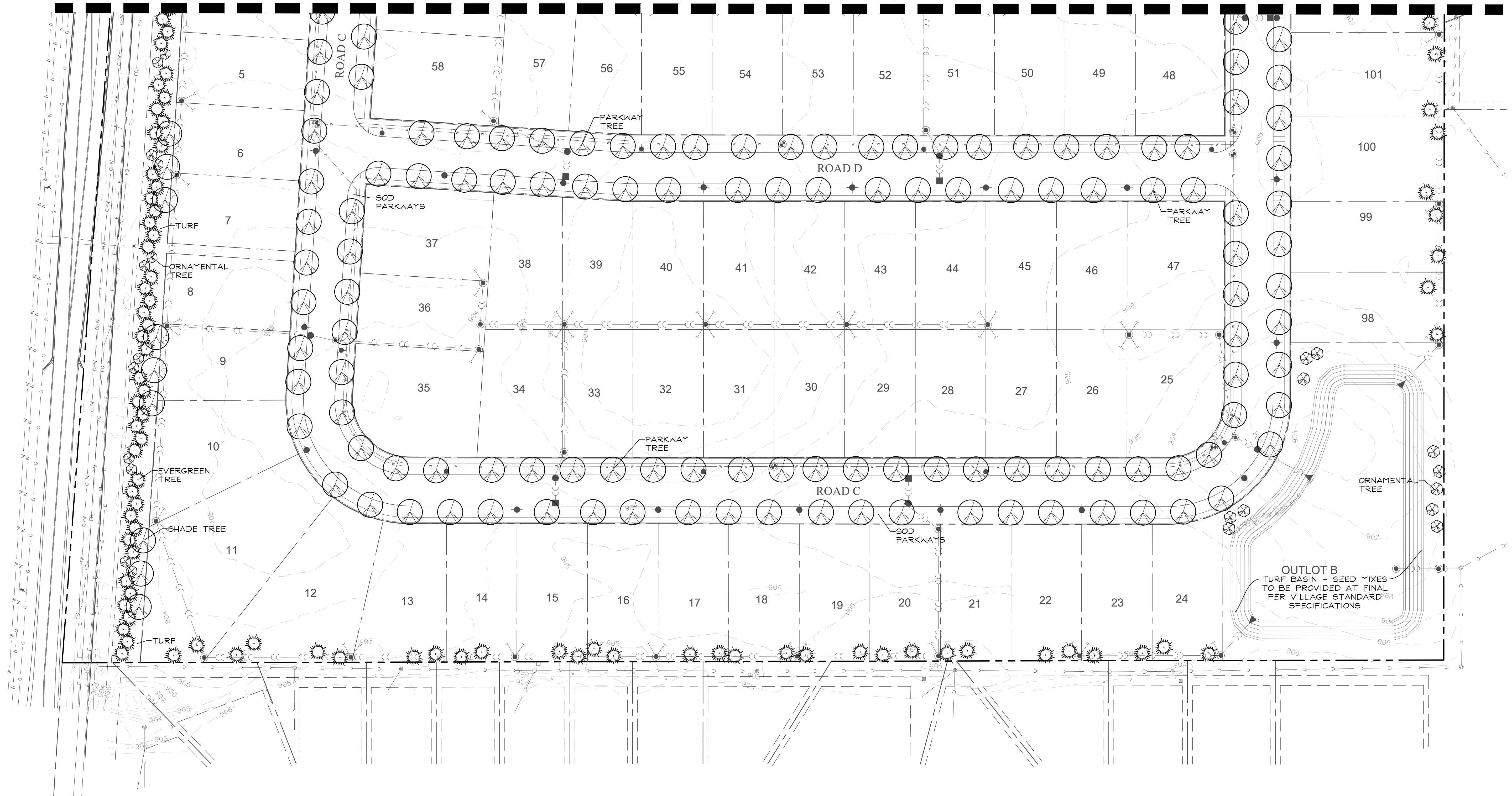
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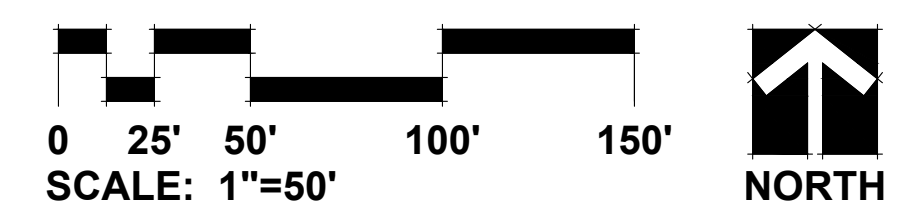
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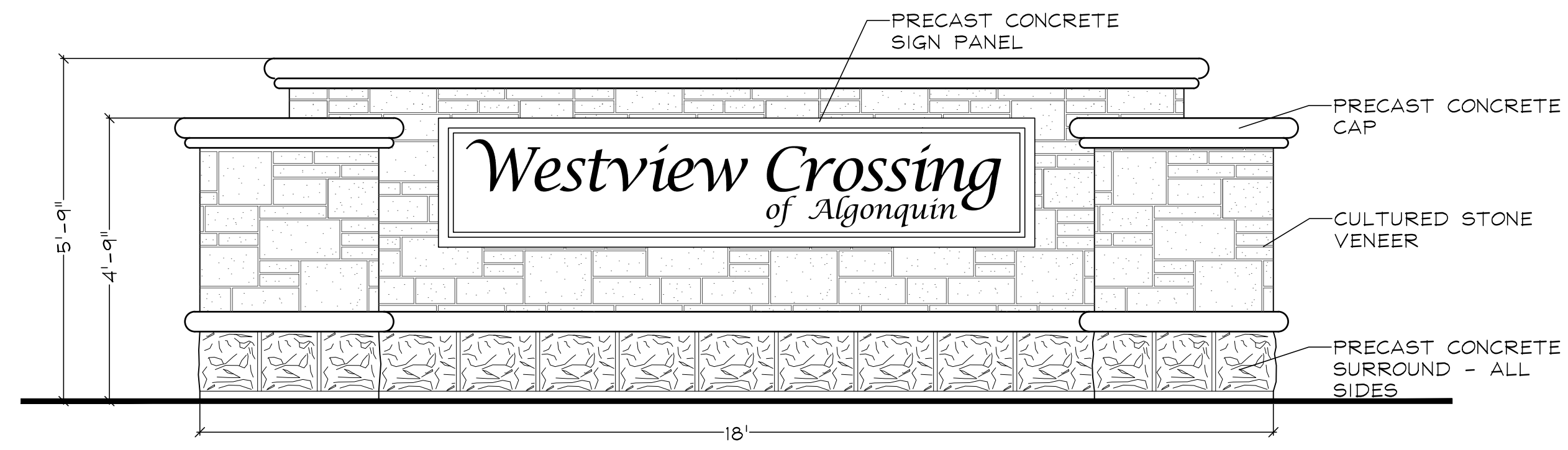




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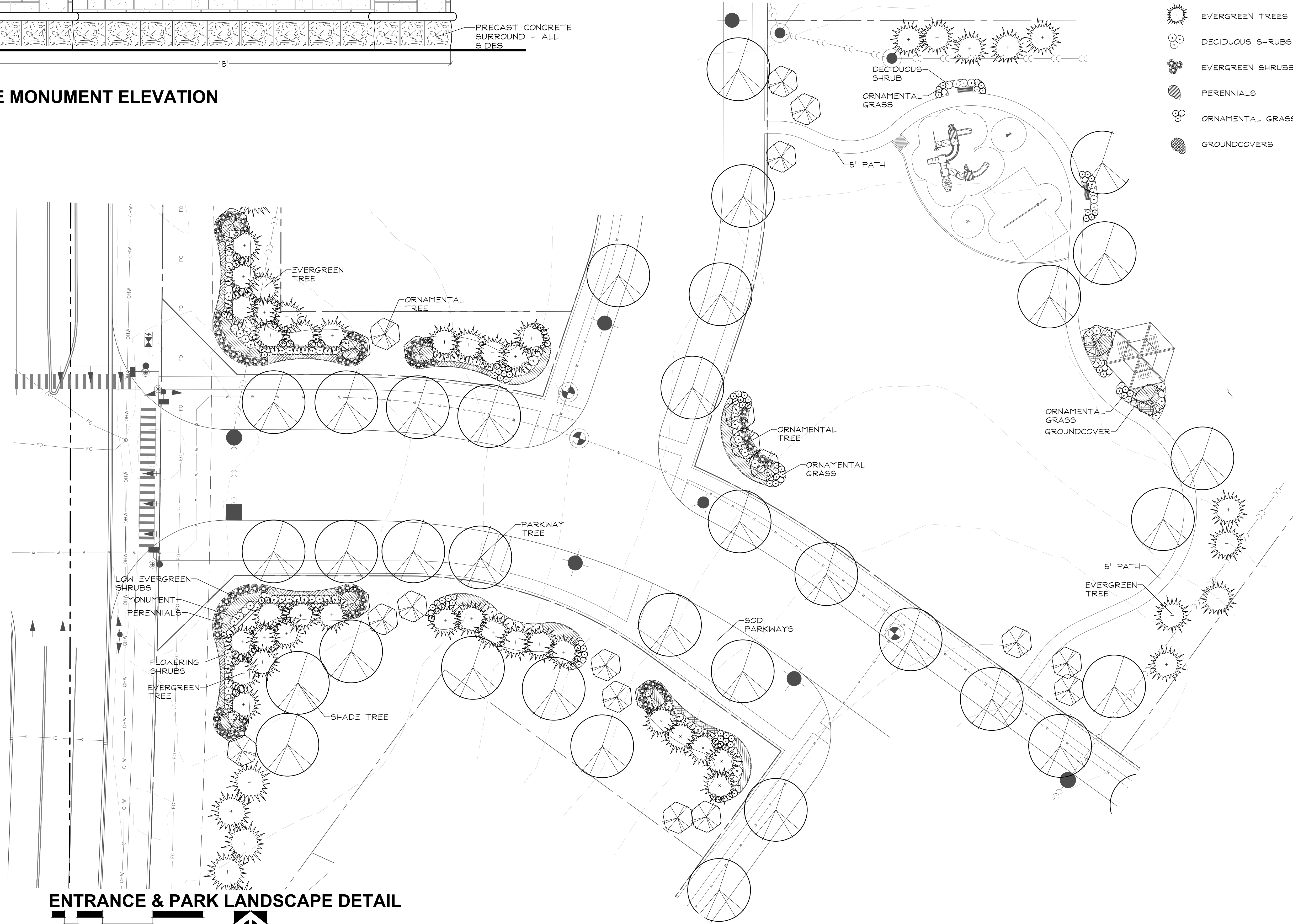
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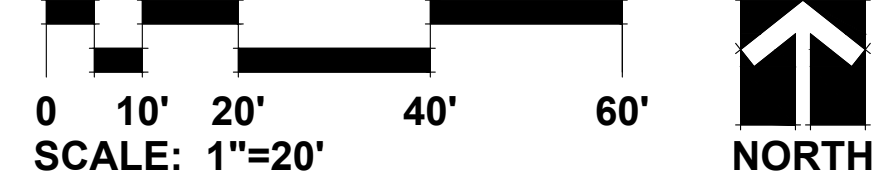
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NOT TO SCALE

LEGEND

- SHADE TREES
- ORNAMENTAL TREES
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- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
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ENTRANCE & PARK LANDSCAPE DETAIL



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ALGONQUIN, ILLINOIS
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5 OF 7



SOIL PREPARATION FOR NATIVE SEEDING & PLANTING

PART 1. GENERAL

- 1.1 DESCRIPTION
 - A. PREPARATION OF SOIL PRIOR TO NATIVE SEEDING AND/OR PLANTING.
- 1.2 QUALITY ASSURANCE
 - A. QUALIFICATIONS OF WORKMEN: PROVIDE AT LEAST ONE PERSON WHO SHALL BE PRESENT AT ALL TIMES DURING EXECUTION OF THIS PORTION OF THE WORK, WHO SHALL BE THOROUGHLY FAMILIAR WITH THE TYPE AND OPERATION OF EQUIPMENT BEING USED. SAID PERSON SHALL DIRECT ALL WORK PERFORMED UNDER THIS SECTION.
 - B. STANDARDS: ALL MATERIALS, EQUIPMENT, AND PROCEDURES USED DURING THIS PORTION OF THE WORK SHALL MEET OR EXCEED APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL LAWS AND REGULATIONS.

- 1.3 SUBMITTALS
 - A. EQUIPMENT: THE CONTRACTOR SHALL PROVIDE A LIST OF EQUIPMENT AND A DESCRIPTION AND LOCATION OF ITS INTENDED USE, AND A LIST OF SAID PERSONS PERFORMING THE WORK AND THEIR QUALIFICATIONS FOR OPERATING AND MAINTAINING THE LISTED EQUIPMENT.

PART 2. PRODUCTS

- 2.1 MATERIALS
 - A. HERBACEOUS SPECIES TO BE REMOVED IN AREAS WITHOUT STANDING WATER OR SATURATED SOILS SHALL BE TREATED WITH GLYPHOSATE, N-(PHOSPHONOMETHYL) GLYCINE, OR EQUIVALENT AS APPROVED IN WRITING BY OWNER.
 - B. HERBACEOUS SPECIES TO BE REMOVED IN AREAS WITH STANDING WATER OR SATURATED SOILS SHALL BE TREATED WITH GLYPHOSATE, N-(PHOSPHONOMETHYL) GLYCINE IN A FORM APPROVED FOR AQUATIC APPLICATIONS AS APPROVED IN WRITING BY OWNER.
 - C. OTHER PRODUCTS SUCH AS GRASS-SPECIFIC HERBICIDES MAY BE PROPOSED BY THE CONTRACTOR AND APPROVED IN WRITING BY THE OWNER.

PART 3. EXECUTION

- 3.1 METHOD
 - A. PRIOR TO SEEDING/PLANTING, AREAS NOT REGRADED AND CONTAINING TURF, OLD FIELD, OR OTHER UPLAND NON-NATIVE HERBACEOUS VEGETATION SHALL BE HERBICIDED TWICE (2x) DURING THE GROWING SEASON AND LIGHTLY DISCED ONCE (1x) BETWEEN HERBICIDE TREATMENTS UNTIL 100% OF VEGETATION IS DEAD. SEEDING SHALL BE DONE NO SOONER THAN 2 WEEKS AFTER THE LAST HERBICIDE TREATMENT.
 - B. PRIOR TO SEEDING/PLANTING IN AREAS WITH STANDING WATER OR SATURATED SOILS, ALL NON-NATIVE HERBACEOUS VEGETATION SHALL BE HERBICIDED ONCE (1x), DURING THE GROWING SEASON, ALLOWED TO SIT FOR AT LEAST TWO WEEKS, THEN HERBICIDED A SECOND TIME DURING THE GROWING SEASON UNTIL 100% OF VEGETATION IS DEAD. SEEDING SHALL BE DONE NO SOONER THAN 2 WEEKS AFTER THE LAST HERBICIDE TREATMENT.
 - C. PRIOR TO SEEDING/PLANTING, CONTRACTOR SHALL CHECK COMPACTION OF TOPSOIL (0-6" DEPTH) AND NORMAL SUBSOIL DEPTH (6-12" DEPTH) FOR PROPER PLANTING CONDITIONS.
 - D. ALL FOREIGN MATTER LARGER THAN FOUR INCHES IN ANY DIMENSION SHALL BE REMOVED FROM THE AREAS TO BE SEED/PLANTED.
 - E. PRIOR TO SEEDING/PLANTING, AREAS DISTURBED BY CONSTRUCTION VEHICLES AND TRAFFIC SHALL BE RESTORED TO GRADE, DISCED, RAKED, AND CHECKED FOR COMPACTION.
 - F. WITHIN 24 HOURS OF SEEDING/PLANTING, AREAS SHALL BE BLANKETED WITH SPECIFIED EROSION CONTROL BLANKET, STRAW MULCH, OR HYDROMULCH PER THE PLANS.

- 3.2 CLEAN-UP, REMOVAL AND REPAIR
 - A. CLEAN UP: THE WORK AREA SHALL BE KEPT FREE OF DEBRIS BY THE CONTRACTOR. AT NO TIME SHALL TRASH OR OTHER MATERIAL BE ALLOWED TO ACCUMULATE AT THE PROJECT SITE. ALL TOOLS SHALL BE KEPT IN APPROPRIATE CARRYING CASES, TOOL BOXES, ETC. PARKING AREAS, ROADS, SIDEWALKS, PATHS, TRAILS, AND PAVED AREAS SHALL BE KEPT FREE OF MUD AND DIRT.
 - B. REMOVAL: AFTER WORK HAS BEEN COMPLETED REMOVE TOOLS AND ALL OTHER DEBRIS GENERATED BY THE CONTRACTOR.
 - C. REPAIR: THE CONTRACTOR SHALL REPAIR ANY DAMAGES THAT OCCURRED DURING COMPLETION OF THE WORK DESCRIBED IN THIS SECTION. SAID DAMAGES MAY INCLUDE, BUT ARE NOT LIMITED TO, TIRE RUTS IN THE GROUND, DAMAGE TO PLANTED AREAS, DAMAGE TO TRAILS, ETC. ALL AREAS DAMAGED BY THE CONTRACTOR DURING THE EXECUTION OF THIS WORK SHALL BE REPAIRED BY THE CONTRACTOR AND RESTORED TO THE CONDITIONS SHOWN ON THE PLANS AT NO ADDITIONAL COST TO THE OWNER. ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE PRE-CONSTRUCTION CONDITIONS.

- 3.3 INSPECTION
 - A. THE CONTRACTOR SHALL SCHEDULE WITH THE OWNER A FINAL ACCEPTANCE INSPECTION OF SOIL PREPARATION.

- 3.4 ACCEPTANCE
 - A. FINAL ACCEPTANCE: THIS PORTION OF THE WORK SHALL BE CONSIDERED 100% COMPLETE AFTER THE CONTRACTOR HAS COMPLETED ALL REQUIRED CLEAN UP.

NATIVE SEEDING

PART 1. GENERAL

- 1.1 DESCRIPTION
 - A. INSTALLATION OF NATIVE SEED AS DESIGNATED ON THE PLANS.
- 1.2 QUALITY ASSURANCE
 - A. QUALIFICATIONS OF WORKERS: PROVIDE AT LEAST ONE PERSON WHO SHALL BE PRESENT AT ALL TIMES DURING EXECUTION OF THIS PORTION OF THE WORK, WHO SHALL BE THOROUGHLY FAMILIAR WITH THE TYPE AND OPERATION OF EQUIPMENT BEING USED. SAID PERSON SHALL DIRECT ALL WORK PERFORMED UNDER THIS SECTION.
 - B. STANDARDS: ALL MATERIALS AND METHODS USED DURING THIS PORTION OF THE WORK SHALL MEET OR EXCEED APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL LAWS AND REGULATIONS. ALL SEED SHALL BE FREE FROM INSECTS AND DISEASE. SPECIES SHALL BE TRUE TO THEIR SCIENTIFIC NAME AS SPECIFIED.

- 1.3 SUBMITTALS
 - A. MATERIALS: THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL A COMPLETE LIST OF ALL MATERIALS TO BE USED DURING THIS PORTION OF THE WORK PRIOR TO DELIVERY OF ANY MATERIALS TO THE SITE. INCLUDE COMPLETE DATA ON SOURCE, AMOUNT AND QUALITY. THIS SUBMITTAL SHALL IN NO WAY BE CONSTRUED AS PERMITTING SUBSTITUTION FOR SPECIFIC ITEMS DESCRIBED ON THE PLANS OR IN THESE SPECIFICATIONS UNLESS APPROVED IN WRITING BY THE OWNER. ANY SUBSTITUTIONS MADE TO THE ORIGINAL SEED LISTS SHALL BE APPROVED IN WRITING BY THE VILLAGE'S CONSULTING ECOLOGIST.
 - B. EQUIPMENT: THE CONTRACTOR SHALL PROVIDE A LIST OF EQUIPMENT AND A DESCRIPTION AND LOCATION OF ITS INTENDED USE, AND A LIST OF SAID PERSONS PERFORMING THE WORK AND THEIR QUALIFICATIONS FOR OPERATING AND MAINTAINING THE LISTED EQUIPMENT.

PART 2. PRODUCTS

- 2.1 MATERIALS
 - A. ALL GRASS SPECIES SHALL BE SUPPLIED AS PURE LIVE SEED. SEE PLAN FOR SEEDING LISTS AND QUANTITIES.
 - B. SEED OF ALL SPECIES NATIVE TO ILLINOIS SHALL BE FROM WITHIN A 250-MILE RADIUS OF THE PROJECT SITE UNLESS APPROVED IN WRITING BY THE VILLAGE'S CONSULTING ECOLOGIST.
 - C. NATIVE SEED MIXTURES & QUANTITIES: SEE PLAN AND LISTS BELOW.

MESIC PRAIRIE SEED MIXTURE			
Scientific name	Common Name	Oz./Acre	Lbs./Acre
Grasses & Sedges:			
<i>Aristida capillaris</i>	Little bluestem	150.0	
<i>Bouteloua curtipendula</i>	Side oats grama	36.2	
<i>Carex bicknellii</i>	Copper-shoudered oval sedge	15.1	
<i>Panicum virgatum</i>	Switch grass	12.6	
Total Grasses		213.9	13.4
Forbs:			
<i>Asclepias tuberosa</i>	Butterfly weed	16.2	
<i>Echinacea purpurea</i>	Purple coneflower	17.2	
<i>Echinacea pallida</i>	Pale purple coneflower	21.8	
<i>Eryngium yuccifolium</i>	Rattlesnake master	11.3	
<i>Helopsis helianthoides</i>	False sunflower	8.7	
<i>Monarda fistulosa</i>	Wild bergamot	0.7	
<i>Penstemon digitalis</i>	Foxglove beard tongue	1.2	
<i>Petostemum purpureum</i>	Purple crane clover	9.4	
<i>Ratibida pinnata</i>	Yellow coneflower	2.2	
<i>Rudbeckia hirta</i>	Black eyed Susan	1.9	
<i>Solidago rigida</i>	Stiff goldenrod	2.5	
<i>Symphyotrichum novae-angliae</i>	New England aster	1.4	
<i>Tradescantia ohensis</i>	Spiderwort	14.3	
Total Forbs		108.0	6.8
Total All Species		322.0	20.1
Temporary Cover Crop:			
<i>Elymus canadensis</i>	Canada wild rye	16.0	1.0
<i>Avena sativa</i>	Common oats	320.0	20.0

WET PRAIRIE SEED MIXTURE			
Scientific name	Common Name	Oz./Acre	Lbs./Acre
Grasses, Sedges & Rushes:			
<i>Carex comosa</i>	Bristly sedge	2.8	
<i>Carex vulpinoidea</i>	Fox Sedge	2.8	
<i>Juncus dudleyi</i>	Dudley's rush	0.2	
<i>Juncus effusus</i>	Common Rush	0.2	
<i>Leersia oryzoides</i>	Rice cut grass	1.2	
<i>Panicum virgatum</i>	Switch grass	23.6	
<i>Spartina pectinata</i>	Prairie cord grass	9.0	
Total Grasses & Sedges		39.8	2.5
Forbs:			
<i>Alisma subcordatum</i>	Water plantain	1.2	
<i>Asclepias incarnata</i>	Swamp milkweed	18.7	
<i>Eryngium yuccifolium</i>	Rattlesnake master	10.6	
<i>Heimerium autumnale</i>	Spiceweed	0.8	
<i>Leiris spicata</i>	Marsh blazing star	10.3	
<i>Lobelia cardinalis</i>	Cardinal flower	0.5	
<i>Penstemon digitalis</i>	Foxglove beard tongue	1.0	
<i>Physostegia virginiana</i>	Obceient plant	3.4	
<i>Oponeuron ridgelyi</i>	Ridgely's goldenrod	1.2	
<i>Rudbeckia hirta</i>	Black eyed Susan	0.8	
<i>Rudbeckia subtomentosa</i>	Sweet black-eyed Susan	2.5	
<i>Symphoricaricium novae-angliae</i>	New England aster	1.5	
Total Forbs		52.4	3.3
Total All Species		92.2	5.8
Temporary Cover Crop:			
<i>Elymus canadensis</i>	Canada wild rye	16.0	1.0
<i>Elymus virginicus</i>	Virginia wild rye	16.0	1.0
<i>Avena sativa</i>	Common oats	320.0	20.0

PART 3. EXECUTION

- 3.1 METHOD
 - A. PRIOR TO SEEDING/PLANTING, AREAS NOT REGRADED AND CONTAINING TURF, OLD FIELD, OR OTHER UPLAND NON-NATIVE HERBACEOUS VEGETATION SHALL BE HERBICIDED TWICE (2x) DURING THE GROWING SEASON AND LIGHTLY DISCED ONCE (1x) BETWEEN HERBICIDE TREATMENTS UNTIL 100% OF VEGETATION IS DEAD. SEEDING SHALL BE DONE NO SOONER THAN 2 WEEKS AFTER THE LAST HERBICIDE TREATMENT.
 - B. PRIOR TO SEEDING/PLANTING IN AREAS WITH STANDING WATER OR SATURATED SOILS, ALL NON-NATIVE HERBACEOUS VEGETATION SHALL BE HERBICIDED ONCE (1x), DURING THE GROWING SEASON, ALLOWED TO SIT FOR AT LEAST TWO WEEKS, THEN HERBICIDED A SECOND TIME DURING THE GROWING SEASON UNTIL 100% OF VEGETATION IS DEAD. SEEDING SHALL BE DONE NO SOONER THAN 2 WEEKS AFTER THE LAST HERBICIDE TREATMENT.
 - C. PRIOR TO SEEDING, CONTRACTOR SHALL CHECK COMPACTION OF TOPSOIL (0-6" DEPTH) AND NORMAL SUBSOIL DEPTH (6-12" DEPTH) FOR PROPER PLANTING CONDITIONS.
 - D. SEEDING SHALL BE PREFERENTIALLY CONDUCTED IN SPRING (AS SOON AS THE SOIL IS FREE OF FROST AND IN A WORKABLE CONDITION BUT NO LATER THAN JUNE 30) OR AS A LATE FALL DORMANT SEEDING (AFTER NOVEMBER 1).
 - E. ALL SEED SHALL BE PREFERENTIALLY INSTALLED WITH A RANGELAND TYPE GRAIN DRILL OR NO-TILL PLANTER, SUCH AS BY TRUAX OR EQUIVALENT, OR BROADCAST INTO A LIGHTLY TILLED SOIL SURFACE.
 - F. IF SOIL IS TOO WET OR GRADE IS TOO STEEP TO INSTALL SEED, A MECHANICAL BROADCAST SEEDER, SUCH AS A CYCLONE, SHALL BE USED. HAND BROADCASTING OF SEED MAY ALSO BE EMPLOYED.
 - G. WITHIN 24 HOURS OF SEEDING, SPECIFIED EROSION CONTROL BLANKET OR STRAW MULCH SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND AS SHOWN ON THE PLANS.
 - H. IF AREA TO BE SEED/PLANTED WAS TREATED WITH HERBICIDE, SEEDING SHALL OCCUR NO LESS THAN 14 DAYS AFTER HERBICIDE APPLICATION.

- 3.2 CLEAN-UP, REMOVAL AND REPAIR
 - A. CLEAN UP: THE WORK AREA SHALL BE KEPT FREE OF DEBRIS BY THE CONTRACTOR. AT NO TIME SHALL TRASH OR OTHER MATERIAL BE ALLOWED TO ACCUMULATE AT THE PROJECT SITE. ALL TOOLS SHALL BE KEPT IN APPROPRIATE CARRYING CASES, TOOL BOXES, ETC. PARKING AREAS, ROADS, SIDEWALKS, PATHS, TRAILS, AND PAVED AREAS SHALL BE KEPT FREE OF MUD AND DIRT.
 - B. REMOVAL: AFTER WORK HAS BEEN COMPLETED REMOVE TOOLS AND ALL OTHER DEBRIS GENERATED BY THE CONTRACTOR.
 - C. REPAIR: THE CONTRACTOR SHALL REPAIR ANY DAMAGES THAT OCCURRED DURING COMPLETION OF THE WORK DESCRIBED IN THIS SECTION. SAID DAMAGES MAY INCLUDE, BUT ARE NOT LIMITED TO, TIRE RUTS IN THE GROUND, DAMAGE TO PLANTED AREAS, DAMAGE TO TRAILS, ETC. ALL AREAS DAMAGED BY THE CONTRACTOR DURING THE EXECUTION OF THIS WORK SHALL BE REPAIRED BY THE CONTRACTOR AND RESTORED TO THE CONDITION SHOWN ON THE PLANS AT NO ADDITIONAL COST TO THE OWNER. ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS DISTURBED BY CONSTRUCTION SHALL ALSO BE RESTORED.

- 3.3 INSPECTION
 - A. THE CONTRACTOR SHALL SCHEDULE WITH OWNER A PROVISIONAL ACCEPTANCE INSPECTION OF THE WORK.
- 3.4 ACCEPTANCE AND GUARANTEE (PERFORMANCE STANDARDS)
 - A. PROVISIONAL ACCEPTANCE: THE WORK SHALL BE CONSIDERED 90% COMPLETE AFTER ALL SEED HAS BEEN INSTALLED AND THE CONTRACTOR HAS COMPLETED ALL REQUIRED CLEAN UP, REMOVAL, AND REPAIR.
 - B. FINAL ACCEPTANCE: THE WORK SHALL BE CONSIDERED 100% COMPLETE AFTER THE CONTRACTOR HAS MET OR EXCEEDED THE PERFORMANCE STANDARDS.
 - C. PERFORMANCE STANDARD: THE CONTRACTOR SHALL GUARANTEE SEED/PLANTED AREAS WILL MEET OR EXCEED THE FOLLOWING PERFORMANCE CRITERIA THREE FULL GROWING SEASONS AFTER PROVISIONAL ACCEPTANCE: 80% TOTAL (AERIAL) PLANT COVER AND AT LEAST 60% RELATIVE COVER BY SEED/PLANTED NATIVE SPECIES IN EACH NATIVE PLANT COMMUNITY. IN ADDITION, NON-NATIVE AND/OR INVASIVE NATIVE SPECIES SHALL COLLECTIVELY NOT COMPRISE GREATER THAN 30% RELATIVE COVER IN EACH NATIVE PLANT COMMUNITY. OPPORTUNISTIC INVASIVE/NON-NATIVE SHRUBS AND TREES SHALL NOT EXCEED 5% OF ANY PLANT COMMUNITY.

NATIVE HERBACEOUS PERENNIAL PLANTING

PART 1. GENERAL

- 1.1 DESCRIPTION
 - A. THIS SECTION INCLUDES INSTALLATION OF LIVE NATIVE HERBACEOUS PERENNIAL PLANTS AS DESIGNATED ON THE PLANS.
- 1.2 QUALITY ASSURANCE
 - A. QUALIFICATIONS OF WORKERS: PROVIDE AT LEAST ONE PERSON WHO SHALL BE PRESENT AT ALL TIMES DURING EXECUTION OF THIS PORTION OF THE WORK, WHO SHALL BE THOROUGHLY FAMILIAR WITH THE TYPE AND OPERATION OF EQUIPMENT BEING USED. SAID PERSON SHALL DIRECT ALL WORK PERFORMED UNDER THIS SECTION.
 - B. STANDARDS: ALL MATERIALS AND METHODS USED DURING THIS PORTION OF THE WORK SHALL MEET OR EXCEED APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL LAWS AND REGULATIONS. ALL LIVE HERBACEOUS PERENNIAL PLANTS SHALL BE FREE FROM INSECTS AND DISEASE.

- 1.3 SUBMITTALS
 - A. MATERIALS: PRIOR TO DELIVERY OF ANY MATERIALS TO THE SITE, SUBMIT TO THE OWNER A COMPLETE LIST OF ALL MATERIALS AND METHODS TO BE USED DURING THIS PORTION OF THE WORK. INCLUDE COMPLETE DATA ON SOURCE, QUANTITY, AND QUALITY. TAGS SHALL REMAIN ON DELIVERED MATERIAL UNTIL OWNER OR VILLAGES CONSULTING ECOLOGIST'S APPROVAL. THIS SUBMITTAL SHALL IN NO WAY BE CONSTRUED AS PERMITTING SUBSTITUTION FOR SPECIFIC ITEMS DESCRIBED ON THE PLANS OR IN THESE SPECIFICATIONS UNLESS APPROVED IN WRITING BY THE OWNER. ANY SUBSTITUTIONS MADE TO THE ORIGINAL LIST SHALL BE APPROVED IN WRITING BY THE VILLAGE'S CONSULTING ECOLOGIST.
 - B. EQUIPMENT: THE CONTRACTOR SHALL PROVIDE A LIST OF EQUIPMENT AND A DESCRIPTION AND LOCATION OF ITS INTENDED USE, AND A LIST OF SAID PERSONS PERFORMING THE WORK AND THEIR QUALIFICATIONS FOR OPERATING AND MAINTAINING THE LISTED EQUIPMENT.
 - C. AFTER THE WORK IS COMPLETED THE CONTRACTOR SHALL SUBMIT TO THE OWNER RECORD DRAWINGS THAT SHOW IN RED INK ON THE ORIGINAL PLANS ANY FIELD CHANGES OR DEVIATIONS FROM THE ORIGINAL PLANS.

PART 2. PRODUCTS

- 2.1 MATERIALS
 - A. ALL LIVE HERBACEOUS PLANTS SHALL BE POTTED, AT LEAST TWO-YEAR OLD NURSERY GROWN STOCK FROM WITHIN A 250-MILE RADIUS OF THE PROJECT SITE UNLESS APPROVED IN WRITING BY THE VILLAGES CONSULTING ECOLOGIST.
 - B. NATIVE PLANT LISTS & QUANTITIES: SEE PLAN AND LIST BELOW

Emergent Plant Plugs				
Scientific name	Common Name	# of Plugs	Spacing	Planting Zone (Below NWL)
<i>Iris virginica</i>	Blue flag iris	1596	Air. 3.0' O.C.	NWL to 3" below NWL
<i>Pontederia cordata</i>	Pickereel weed	494	Air. 5.0' O.C.	6-10" below NWL
<i>Sparganium eurycarpum</i>	Burreed	1634	Air. 3.0' O.C.	3" to 6" below NWL

PART 3. EXECUTION

- 3.1 METHOD
 - A. PLANTING OF NATIVE HERBACEOUS PERENNIAL PLANTS SHALL BE COMPLETED AFTER MAY 15 BUT NO LATER THAN JUNE 30 OR BETWEEN SEPTEMBER 1 AND SEPTEMBER 31.
 - B. ALL LIVE HERBACEOUS PERENNIAL PLANTS SHALL BE APPROVED BY THE VILLAGES CONSULTING ECOLOGIST PRIOR TO INSTALLATION.
 - C. PROVIDE HEALTHY, VIGOROUS LIVE HERBACEOUS PERENNIAL PLANTS; DO NOT USE MATERIALS THAT HAVE BEEN IN COLD STORAGE FOR LONGER THAN 45 DAYS.
 - D. DELIVER LIVE HERBACEOUS PERENNIAL PLANTS TO PROJECT SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED.
 - E. PLANTS SHALL BE PACKED IN SUCH A MANNER AS TO INSURE ADEQUATE PROTECTION AGAINST WIND DAMAGE, DESICCATION, & OTHER PHYSICAL DAMAGE WHILE IN TRANSIT.
 - F. IF PLANTING IS DELAYED MORE THAN FOUR HOURS AFTER DELIVERY, KEEP PLANTS IN REFRIGERATED CONTAINER OR SET PLANTS IN SHADE PROTECTED FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP MOIST AND COOL.
 - G. ALL HERBACEOUS PERENNIAL PLANTS SHALL BE INSTALLED THROUGH SPECIFIED EROSION CONTROL BLANKET OR STRAW MULCH SHOWN ON PLANS.
 - H. PLANTS SHALL BE INSTALLED USING TRIANGULAR SPACING AT 2.5' O.C.
 - I. PLANTS SHALL BE HEALED IN AND WATERED TO PREVENT DESICCATION.
 - J. IF PLANTING INTO AN AREA TREATED WITH HERBICIDE, PLANT MATERIALS SHALL BE INSTALLED NOT LESS THAN 14 DAYS AFTER HERBICIDE TREATMENT.

- 3.2 CLEAN-UP, REMOVAL AND REPAIR
 - A. CLEAN UP: THE WORK AREA SHALL BE KEPT FREE OF DEBRIS BY THE CONTRACTOR. AFTER THE WORK IS COMPLETE, CLEAN UP ANY REMAINING MATERIALS, PLANT CONTAINERS, DEBRIS, TRASH, ETC. AVOID DRIVING OR WALKING OVER PLANTED AREAS TO MINIMIZE DISTURBANCE.
 - B. REMOVAL: AFTER WORK HAS BEEN COMPLETED REMOVE ANY TOOLS, EQUIPMENT, CONTAINERS, AND ALL OTHER DEBRIS GENERATED BY THE CONTRACTOR.
 - C. REPAIR: THE CONTRACTOR SHALL REPAIR ANY DAMAGES THAT OCCURRED DURING COMPLETION OF THE WORK DESCRIBED IN THIS SECTION. SAID DAMAGES MAY INCLUDE, BUT ARE NOT LIMITED TO, TIRE RUTS IN THE GROUND, DAMAGE TO PLANTED AREAS, DAMAGE TO TRAILS, ETC. ALL AREAS DAMAGED BY THE CONTRACTOR DURING THE EXECUTION OF THIS WORK SHALL BE REPAIRED BY CONTRACTOR AND RESTORED TO THE CONDITIONS SHOWN ON THE PLANS AT NO ADDITIONAL COST TO THE OWNER. ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE PRE-CONSTRUCTION GRADES AND STABILIZED WITH APPROPRIATE SEED OR PLANTINGS.

- 3.3 INSPECTION
 - A. AFTER COMPLETION OF PLANTING, THE CONTRACTOR SHALL SCHEDULE WITH THE OWNER A PROVISIONAL ACCEPTANCE INSPECTION OF THE WORK.

- 3.4 ACCEPTANCE AND GUARANTEE
 - A. PROVISIONAL ACCEPTANCE: THE WORK SHALL BE CONSIDERED 100% COMPLETE AFTER THE CONTRACTOR HAS COMPLETED ALL REQUIRED CLEAN UP, REMOVAL, AND REPAIR AS DESCRIBED IN 3.2 OF THIS SECTION.
 - B. FINAL ACCEPTANCE: THE WORK SHALL BE CONSIDERED 100% COMPLETE AFTER THE CONTRACTOR HAS MET OR EXCEEDED THE PERFORMANCE STANDARDS.
 - C. THE CONTRACTOR SHALL GUARANTEE PLANTED AREAS WILL MEET OR EXCEED THE FOLLOWING PERFORMANCE CRITERIA ONE FULL GROWING SEASON AFTER PROVISIONAL ACCEPTANCE: 70% SURVIVAL OF ALL HERBACEOUS PLANTS. IF MORE THAN 30% OF THE PLANTS DO NOT SURVIVE AFTER ONE YEAR, THE CONTRACTOR SHALL RETURN TO THE SITE AND REPLANT LOST PLANTS AS SPECIFIED BY THE OWNER AND/OR TO MEET THE PERFORMANCE STANDARD.

NATIVE TREE PLANTING

PART 1. GENERAL

- 1.1 DESCRIPTION
 - A. PLANTING OF NATIVE TREES AS DESIGNATED ON THE PLAN.
- 1.2 QUALITY ASSURANCE
 - A. QUALIFICATIONS OF WORKERS: PROVIDE AT LEAST ONE PERSON WHO SHALL BE PRESENT AT ALL TIMES DURING EXECUTION OF THIS PORTION OF THE WORK WHO SHALL BE THOROUGHLY FAMILIAR WITH THE TYPE AND OPERATION OF EQUIPMENT BEING USED. SAID PERSON SHALL DIRECT ALL WORK PERFORMED UNDER THIS SECTION.
 - B. STANDARDS: ALL MATERIALS AND METHODS USED DURING THIS PORTION OF THE WORK SHALL MEET OR EXCEED APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL LAWS AND REGULATIONS. ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE. SPECIES SHALL BE TRUE TO THEIR SCIENTIFIC NAME AS SPECIFIED.

- 1.3 SUBMITTALS
 - A. MATERIALS: THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL A COMPLETE LIST OF ALL MATERIALS TO BE USED DURING THIS PORTION OF THE WORK PRIOR TO DELIVERY OF ANY MATERIALS TO THE SITE. INCLUDE COMPLETE DATA ON SOURCE, AMOUNT AND QUALITY. TAGS INDICATING GENUS AND SPECIES (I.E. CERIS CANADENSIS) AND SIZE OF MATERIAL SHALL REMAIN ON DELIVERED MATERIAL UNTIL OWNER AND/OR CONSULTING ECOLOGIST APPROVAL. THIS SUBMITTAL SHALL IN NO WAY BE CONSTRUED AS PERMITTING SUBSTITUTION FOR SPECIFIC ITEMS DESCRIBED ON THE PLANS OR IN THESE SPECIFICATIONS UNLESS APPROVED IN WRITING BY THE OWNER. ANY SUBSTITUTIONS MADE TO THE ORIGINAL TREE LIST SHALL BE APPROVED IN WRITING BY THE CONSULTING ECOLOGIST.
 - B. EQUIPMENT: THE CONTRACTOR SHALL PROVIDE A LIST OF EQUIPMENT AND A DESCRIPTION AND LOCATION OF ITS INTENDED USE, AND A LIST OF SAID PERSONS PERFORMING THE WORK AND THEIR QUALIFICATIONS FOR OPERATING AND MAINTAINING THE LISTED EQUIPMENT.

PART 2. PRODUCTS

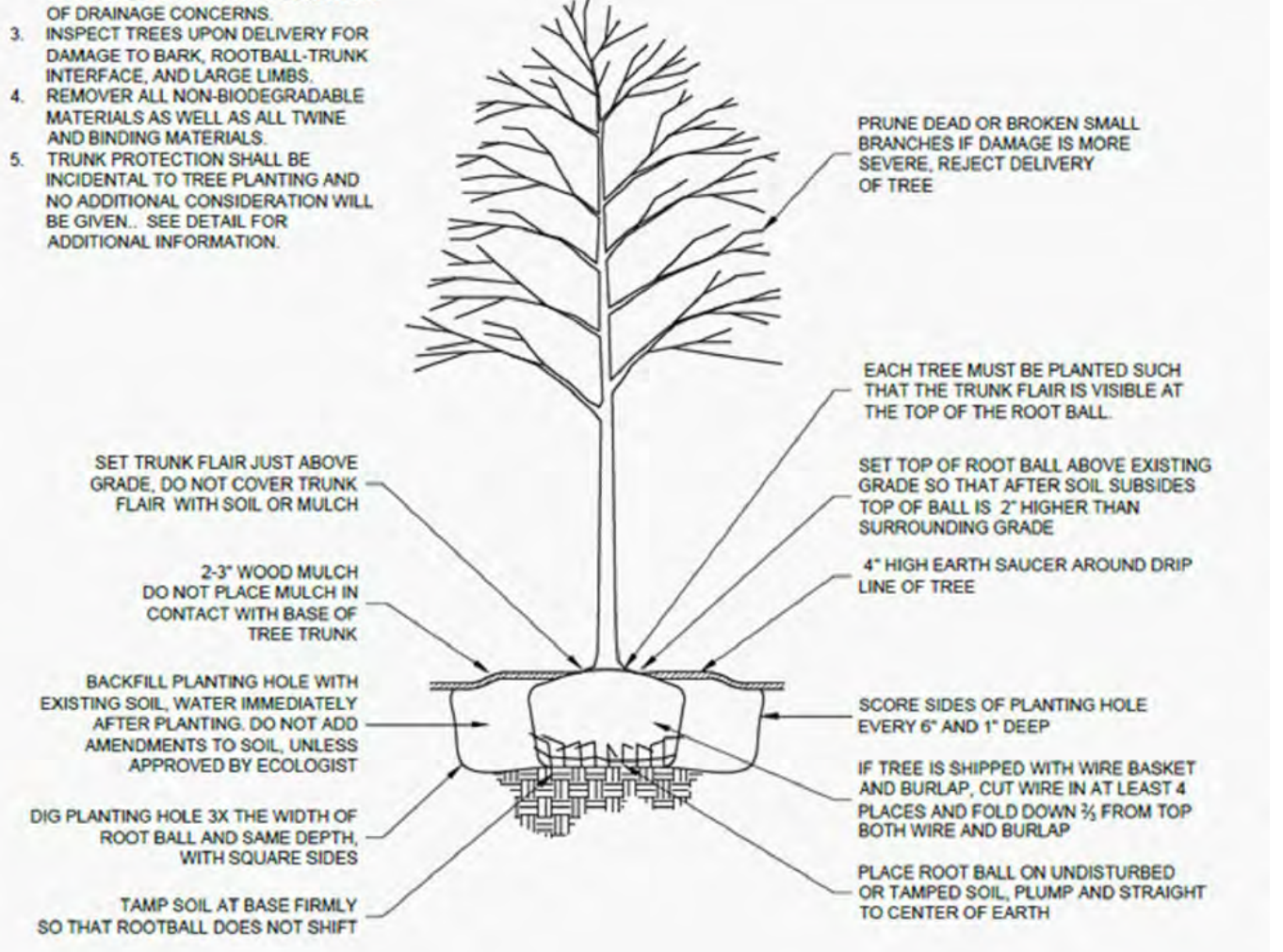
- 2.1 MATERIALS
 - A. SEE PLAN FOR NATIVE TREE LIST AND QUANTITIES.
 - B. ALL NATIVE TREES MUST MEET ANSI STANDARDS FOR NURSERY STOCK.
 - C. TREES NATIVE TO ILLINOIS SHALL BE FROM WITHIN A 250-MILE RADIUS OF THE PROJECT SITE UNLESS APPROVED IN WRITING BY THE CONSULTING ECOLOGIST.
 - D. NATIVE TREES MUST BE EITHER BALLED AND BURLAPPED (B&B) OR CONTAINER GROWN ACCORDING TO SPECIFICATIONS IN THE PLAN AND MEET CALIPER, HEIGHT, AND CONTAINER SIZE REQUIREMENTS WHERE APPLICABLE.
 - E. CONTAINER GROWN TREES SHALL BE PRODUCED BY A ROOT-PRUNED METHOD TO DEVELOP A DENSE, FIBROUS, NON-CURLING ROOT SYSTEM.
 - F. SPECIES SHALL BE TRUE TO THEIR SCIENTIFIC NAME AS SPECIFIED.
 - G. TREES SHALL BE INSTALLED PER THE TREE DETAILS IN THE PLAN. STAKING OF B&B TREES AND SHRUBS SHOULD ONLY BE DONE UPON APPROVAL OF THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGES TO TREES.
 - H. FERTILIZER MUST BE A SLOW RELEASE FERTILIZER COMPRISED OF 27% NITROGEN, 3% PHOSPHATE, AND 6% POTASH, OR OWNER-APPROVED EQUIVALENT.
 - I. NATIVE TREE LIST AND QUANTITIES: SEE PLAN AND LIST BELOW.

Native Trees			
Scientific name	Common Name	Number	Size
<i>Celtis occidentalis</i>	Common hackberry	6	2.5" Caliper
<i>Quercus bicolor</i>	Swamp white oak	7	2.5" Caliper
<i>Quercus rubra</i>	Red Oak	6	2.5" Caliper

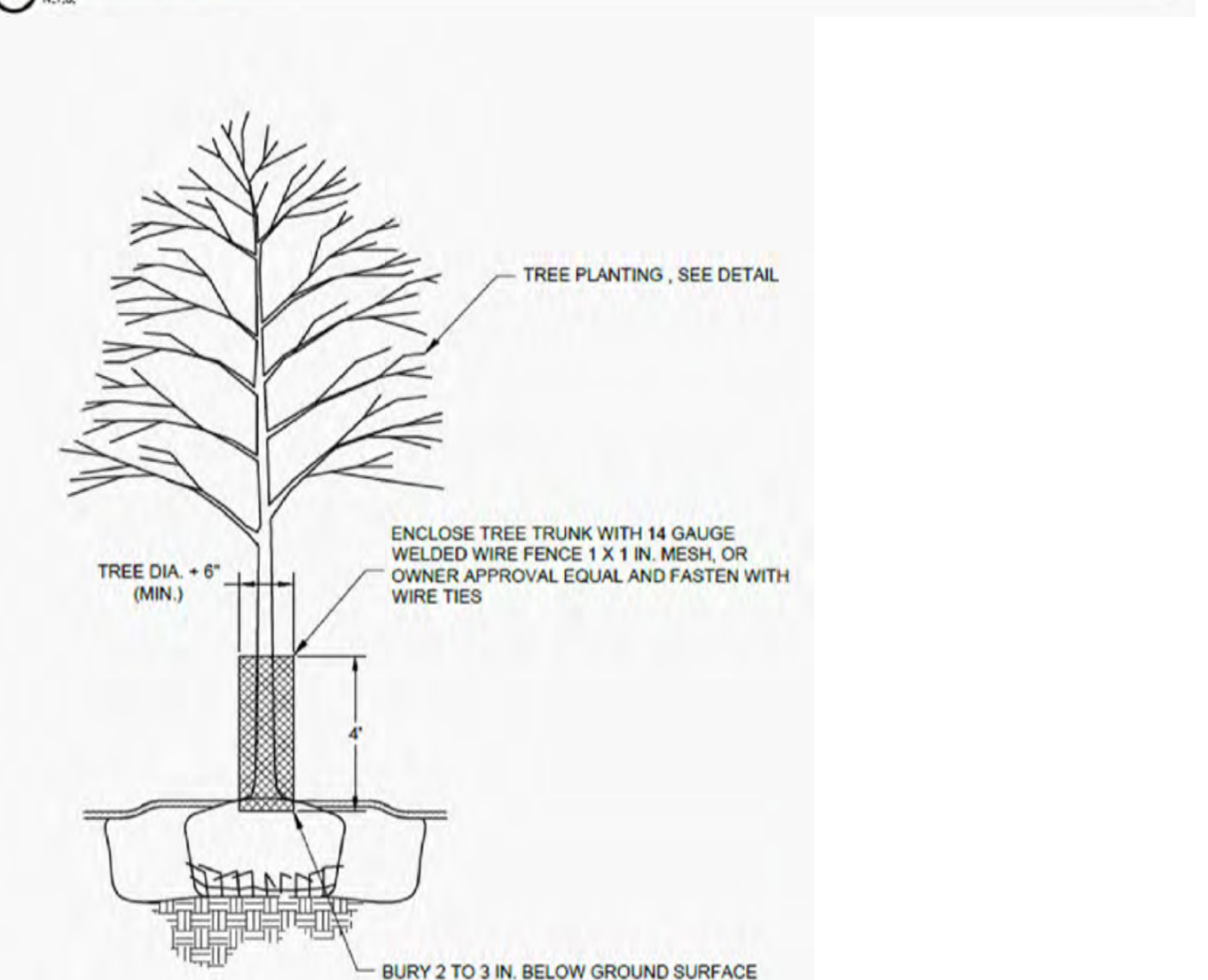
PART 3. EXECUTION

- 3.1 METHOD
 - A. TREE LOCATIONS ARE SHOWN ON THE PLANS. TREE PLANTING SHALL PREFERENTIALLY OCCUR BETWEEN MARCH 15 AND MAY 31, OR BETWEEN OCTOBER 1 AND DECEMBER 1.
 - B. ALL PLANT MATERIAL SHALL BE APPROVED BY THE OWNER AND/OR CONSULTING ECOLOGIST PRIOR TO INSTALLATION. IDENTIFICATION TAGS SHALL REMAIN ON EACH TREE AND SHRUB UNTIL OWNER OR ECOLOGIST APPROVAL.
 - C. B&B MATERIAL SHALL BE PROTECTED FROM WEATHER AND MECHANICAL DAMAGE, MULCHED AND WATERED AS NEEDED IF PLANTING IS DELAYED MORE THAN 4 HOURS AFTER DELIVERY.
 - D. DIG A HOLE 3" X THE WIDTH OF THE ROOT BALL. SET THE TREE AND FILL HOLE 2/3 WITH SOIL. PULL BURLAP DOWN 2/3 AND/OR CUT DOWN WIRE BASKET A MINIMUM OF 8" FROM TOP. WATER TO FILL REMAINING OF HOLE AND ALLOW TO DRAIN; FILL HOLE WITH REMAINING SOIL AND MOUND SOIL 4 INCHES HIGH AROUND EDGES OF HOLE. APPLY 2-3 INCHES OF MULCH, STAYING A MINIMUM OF 2 INCHES FROM THE TRUNK ON ALL SIDES. WATER THOROUGHLY AFTER PLANTING.
 - E. FOR ROOT-PRUNED CONTAINER TREES, REMOVE THE PLASTIC CONTAINER IN WHICH THE TREES HAVE BEEN GROWING PRIOR TO PLANTING. IT IS NOT RECOMMENDED TO CUT OR DISTURB THE ROOTBALL AFTER CONTAINER HAS BEEN REMOVED.
 - F. DO NOT PRUNE PLANT MATERIAL FOR SHAPE FOLLOWING PLANTING.

- NOTES:
 1. SET TREE PLUMB IN PLANTING PIT. MAINTAIN PLUMB CONDITION THROUGHOUT GUARANTEE PERIOD.
 2. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLATION. NOTIFY ECOLOGIST OF DRAINAGE CONCERNS.
 3. INSPECT TREES UPON DELIVERY FOR DAMAGE TO BARK, ROOTBALL/TRUNK INTERFACE, AND LARGE LIMBS.
 4. REMOVE ALL NON-BIODEGRADABLE MATERIALS AS WELL AS ALL TWINE AND BRINGING MATERIALS.
 5. TRUNK PROTECTION SHALL BE INCIDENTAL TO TREE PLANTING AND NO ADDITIONAL CONSIDERATION WILL BE GIVEN. SEE DETAIL FOR ADDITIONAL INFORMATION.



1 TREE PLANTING DETAIL



2 TREE TRUNK PROTECTION DETAIL

MANAGEMENT & MONITORING/REPORTING OF NATIVE PLANTINGS

PART 1. GENERAL

- 1.1 DESCRIPTION
 A. PREFERRED MANAGEMENT SCHEDULE AND PERFORMANCE STANDARDS FOR ALL NATIVE PLANT COMMUNITIES FOR THREE YEARS FOLLOWING INITIAL INSTALLATION.
- 1.2 QUALITY ASSURANCE
 A. QUALIFICATIONS OF WORKMEN: PROVIDE AT LEAST ONE PERSON WHO SHALL BE PRESENT AT ALL TIMES DURING EXECUTION OF THIS PORTION OF THE WORK, WHO SHALL BE THOROUGHLY FAMILIAR WITH THE TYPE AND OPERATION OF EQUIPMENT BEING USED. SAID PERSON SHALL DIRECT ALL WORK PERFORMED UNDER THIS SECTION.
 B. STANDARDS: ALL MATERIALS AND METHODS USED DURING THIS PORTION OF THE WORK SHALL MEET OR EXCEED APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL LAWS AND REGULATIONS. THE USE OF ANY HERBICIDE SHALL FOLLOW DIRECTIONS GIVEN ON THE HERBICIDE LABEL. IN THE CASE OF A DISCREPANCY BETWEEN THESE SPECIFICATIONS AND THE HERBICIDE LABEL, THE LABEL SHALL PREVAIL.
- 1.3 SUBMITTALS
 A. MATERIALS: THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL A COMPLETE LIST OF ALL MATERIALS TO BE USED DURING THIS PORTION OF THE WORK PRIOR TO DELIVERY OF ANY MATERIALS TO THE SITE. INCLUDE COMPLETE DATA ON SOURCE, AMOUNT AND QUALITY. THIS SUBMITTAL SHALL IN NO WAY BE CONSTRUED AS PERMITTING SUBSTITUTION FOR SPECIFIC ITEMS DESCRIBED ON THE PLANS OR IN THESE SPECIFICATIONS UNLESS APPROVED IN WRITING BY THE OWNER.
 B. LICENSES: PRIOR TO ANY HERBICIDE USE, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A CURRENT COPY OF THE STATE OF ILLINOIS COMMERCIAL PESTICIDE APPLICATOR'S LICENSE, WITH CERTIFICATION IN THE APPROPRIATE CATEGORIES, FOR EACH PERSON WHO WILL BE APPLYING HERBICIDE AT THE PROJECT SITE. A COPY OF EACH COMMERCIAL PESTICIDE APPLICATOR'S LICENSE MUST BE MAINTAINED ON-SITE AT ALL TIMES DURING COMPLETION OF THE WORK.
 C. EQUIPMENT: THE CONTRACTOR SHALL PROVIDE A LIST OF EQUIPMENT AND A DESCRIPTION AND LOCATION OF ITS INTENDED USE, AND A LIST OF SAID PERSONS PERFORMING THE WORK AND THEIR QUALIFICATIONS FOR OPERATING AND MAINTAINING THE LISTED EQUIPMENT.
 D. PERMITS: PRIOR TO THE COMMENCEMENT OF ANY CONTROLLED BURNING, THE CONTRACTOR SHALL SECURE APPLICABLE PERMITS.
 E. AFTER THE WORK IS COMPLETED, SUBMIT TO THE OWNER AN ANNUAL REPORT SUMMARIZING MANAGEMENT ACTIVITIES/PERFORMANCE STANDARD ASSESSMENTS COMPLETED DURING THE PAST CALENDAR YEAR BY THE CONTRACTOR.

PART 2. PRODUCTS

- 2.1 MATERIALS
 A. HERBACEOUS SPECIES TO BE REMOVED IN AREAS WITHOUT STANDING WATER OR SATURATED SOILS SHALL BE TREATED WITH GLYPHOSATE, N-(PHOSPHONOMETHYL) GLYCINE, AS APPROVED IN WRITING BY OWNER.
 B. HERBACEOUS SPECIES TO BE REMOVED IN AREAS WITH STANDING WATER OR SATURATED SOILS SHALL BE TREATED WITH GLYPHOSATE, N-(PHOSPHONOMETHYL) GLYCINE IN A FORM APPROVED FOR AQUATIC APPLICATIONS AS APPROVED IN WRITING BY OWNER.
 C. HERBICIDE TO BE USED FOR BASAL APPLICATIONS SHALL BE TRICLOPYR: 3,5,6-TRICHLORO-2-PYRIDINYL-OXYACETIC ACID, BUTOXYETHYL ESTER, TRADE NAME GARLON 4 OR EQUIVALENT AS APPROVED IN WRITING BY THE OWNER.
 D. HERBICIDE TO BE USED FOR FOLIAR APPLICATIONS (IF APPLICABLE) SHALL BE TRICLOPYR: 3,5,6-TRICHLORO-2-PYRIDINYL-OXYACETIC ACID, BUTOXYETHYL ESTER, TRADE NAME GARLON 3 OR EQUIVALENT AS APPROVED IN WRITING BY OWNER.
 E. THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL PROPOSED RATES OF HERBICIDE APPLICATION PRIOR TO COMMENCING THE WORK DESCRIBED.

PART 3. EXECUTION

Three Year Maintenance Schedule.

Task	Year 1 Quarter	Year 2 Quarter	Year 3 Quarter
Mowing: Conducted twice in the 1st growing season and once in the 2nd growing season if applicable.	1 [2] [3] 4	1 [2] 3 4	1 2 3 4
Herbicide Application: Conducted twice annually in the 1st -3rd growing seasons.	1 [2] [3] 4	1 [2] [3] 4	1 [2] [3] 4
Prescribed Burning: Conducted at the end of the 3rd growing season or beginning of 4th growing season.	1 2 3 4	1 2 3 4	1 2 3 [4]

*Brackets indicate the quarter(s) in which work is recommended but is not necessarily limited to the quarter(s) indicated.

- 3.1 METHOD - MOWING
 A. THE CONTRACTOR SHALL MOW NATIVE PLANT COMMUNITIES TO A HEIGHT OF 6-10" AFTER VEGETATION IN SAID AREAS REACHES A HEIGHT OF 24" AND BEFORE NON-NATIVE SPECIES GO TO SEED UP TO TWO TIMES DURING FIRST GROWING SEASON. THE CONTRACTOR SHALL ALSO MOW TO A HEIGHT OF 12" UP TO ONE TIME DURING THE SECOND GROWING SEASON (APPROXIMATELY MID JUNE AND MID AUGUST).
 B. MOWING SHOULD BE DONE WITH A ROTARY BUSH HOG STYLE MOWER TO ENSURE CLIPPINGS ARE DISPERSED RATHER THAN DEPOSITED IN DENSE MATS, WHICH SMOTHER VEGETATION, OR THE CLIPPINGS SHOULD BE REMOVED FROM THE MOWED AREA.
- 3.2 METHOD - HERBICIDE APPLICATION
 A. CONTRACTOR SHALL ERADICATE NON-NATIVE HERBACEOUS SPECIES PER THE PLAN.
 B. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT NATIVE SPECIES AND AREAS OUTSIDE OF THE PROJECT AREA DURING EXECUTION OF THE WORK. THE CONTRACTOR SHALL RESTORE ALL AREAS AFFECTED OR DISTURBED BY THE WORK ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS AT NO ADDITIONAL COST TO THE OWNER.
 C. A SUPPLY OF CHEMICAL ABSORBENT SHALL BE MAINTAINED AT THE PROJECT SITE. ANY CHEMICAL SPILLS SHALL BE PROPERLY CLEANED UP AND REPORTED TO THE OWNER WITHIN 24 HOURS.
 D. THE CONTRACTOR SHALL MAINTAIN COPIES AT THE PROJECT SITE OF ALL CURRENT PESTICIDE APPLICATOR'S LICENSES, HERBICIDE LABELS, AND MSDS'S (MATERIAL SAFETY DATA SHEETS) FOR ALL CHEMICALS UTILIZED DURING COMPLETION OF THE WORK.
 E. HERBICIDE SHALL BE MIXED AND PLACED IN CONTAINERS AWAY FROM ANY NATURAL AREA, TREES, SHRUBS, HERBACEOUS OR WOODY GROWTH, OR BODY OF WATER. HERBICIDES SHALL NOT BE TRANSPORTED TO THE WORK AREA IN ANY CONTAINER OTHER THAN THAT USED FOR APPLICATION.
 F. BEST APPLICATION PERIOD IS JUST BEFORE OR DURING THE VERY EARLIEST STAGES OF FLOWERING. WHERE LARGE PATCHES OF TARGET WEEDS ARE PRESENT IT MAY BE NECESSARY TO USE A LARGER WICK UNIT THAT CAN BE ATTACHED TO AN ALL-TERRAIN-VEHICLE OR TRACTOR. SEVERAL BACK-TO-BACK TREATMENTS MAY BE USEFUL IN GREATLY REDUCING THESE PLANTS.
- 3.3 METHOD - PRESCRIBED BURNING
 A. BURNING SHALL BE CONDUCTED IN THE FALL (NOVEMBER-DECEMBER) OF THE THIRD YEAR FOLLOWING INITIAL PLANTING OR SPRING (MID MARCH-APRIL) OF THE FOURTH YEAR FOLLOWING PLANTING. BURNING MUST BE CONDUCTED BY AN ENTITY EXPERIENCED IN BURN PLANNING AND PERMIT APPLICATION AS WELL AS PRESCRIBED BURN MANAGEMENT.
 B. PRIOR TO THE COMMENCEMENT OF PRESCRIBED BURNING, THE CONTRACTOR SHALL COMPIL A BURN PLAN THAT OUTLINES A PLAN OF ACTION, IDENTIFIES CONTINGENCIES, AND LISTS THE NAMES AND PHONE NUMBERS OF EMERGENCY AGENCIES (FIRE DEPARTMENT, POLICE DEPARTMENT, ETC.). PROPER NOTICE OF INTENT TO BURN SHALL BE GIVEN.
 C. THE CONTRACTOR SHALL APPLY FOR AND RECEIVE ALL REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF PRESCRIBED BURNING.

- 3.4 CLEAN-UP, REMOVAL AND REPAIR
 A. CLEAN UP: THE WORK AREA SHALL BE KEPT FREE OF DEBRIS BY THE CONTRACTOR. AT NO TIME SHALL EMPTY HERBICIDE CONTAINERS, TRASH, OR OTHER MATERIAL BE ALLOWED TO ACCUMULATE AT THE PROJECT SITE. ALL CLEANING OF HERBICIDE CONTAINERS SHALL BE DONE AWAY FROM THE OWNER'S PROPERTY OR ANY SURROUNDING AREA. ALL TOOLS SHALL BE KEPT IN APPROPRIATE CARRYING CASES, TOOLBOXES, ETC. PARKING AREAS, ROADS, SIDEWALKS, PATHS AND PAVED AREAS SHALL BE KEPT FREE OF MUD AND DIRT.
 B. REMOVAL: AFTER WORK HAS BEEN COMPLETED REMOVE TOOLS, EMPTY CONTAINERS, AND ALL OTHER DEBRIS GENERATED BY THE CONTRACTOR.
 C. REPAIR: REPAIR ANY DAMAGES CAUSED BY THE CONTRACTOR DURING COMPLETION THE WORK DESCRIBED IN THIS SECTION. SAID DAMAGES MAY INCLUDE, BUT ARE NOT LIMITED TO, TIRE RUTS IN THE GROUND, DAMAGE TO PLANTED AREAS, DAMAGE TO TRAILS, SMOKE AND/OR FIRE DAMAGE TO TREES, ETC. THE CONTRACTOR SHALL BE LIABLE FOR REMEDYING DAMAGES TO PLANT MATERIALS AND PROPERTY AT NO COST TO THE OWNER CAUSED BY CONTRACTOR NEGLIGENCE DURING COMPLETION OF THE WORK.
- 3.5 INSPECTION
 A. AT THE REQUEST OF THE OWNER, THE CONTRACTOR SHALL SCHEDULE AN INSPECTION WITH THE OWNER TO REVIEW THE WORK COMPLETED BY THE CONTRACTOR.
- 3.6 ACCEPTANCE AND GUARANTEES (PERFORMANCE STANDARDS)
 A. FINAL ACCEPTANCE: MANAGEMENT SHALL BE CONSIDERED 100% COMPLETE AFTER THE CONTRACTOR MEETS ALL GUARANTEES (PERFORMANCE STANDARDS). PERFORMANCE STANDARDS SHALL BE ASSESSED AND REPORTED ON FOR THREE GROWING SEASONS FOLLOWING PROTOCOL BELOW:

MONITORING

- TWICE ANNUAL MONITORING OF ALL PLANT COMMUNITIES SHALL BE CONDUCTED FOR THREE FULL GROWING SEASONS FOLLOWING INITIAL IMPLEMENTATION.
- THE SITE VISITS EACH YEAR SHALL BE CONDUCTED BETWEEN MAY AND SEPTEMBER.
- EACH VISIT SHALL BE CONDUCTED BY A QUALIFIED PROFESSIONAL WITH ADEQUATE PLANT IDENTIFICATION SKILLS AND WHO IS ALSO ABLE TO MAKE RECOMMENDATIONS REGARDING MANAGEMENT OF NATIVE PLANT COMMUNITIES MAINTENANCE. THE SITE INSPECTOR SHALL COLLABORATE OVER THE NEEDED MAINTENANCE REQUIREMENTS FOR A GIVEN YEAR WITH THE OWNER AND/OR MAINTENANCE CONTRACTOR.
- THE VEGETATION MONITORING SHALL BE CONDUCTED USING THE "MEANDER SEARCH" METHOD TO IDENTIFY 1) DOMINANT VEGETATION (NATIVE VS. NON-NATIVE) WITHIN EACH PLANT COMMUNITY, 2) THE APPROXIMATE PERCENT VEGETATIVE COVERAGE BY NATIVE AND NON-NATIVE SPECIES WITHIN EACH PLANT COMMUNITY, 3) A SPECIES LIST FOR EACH PLANT COMMUNITY THAT CAN BE COMPARED TO INSTALLED PLANT LISTS, AND 4) TO MAKE RECOMMENDATIONS RELATED TO SITE MANAGEMENT TO MEET PERFORMANCE STANDARDS. **FLORISTIC QUALITY CALCULATIONS ARE NOT REQUIRED.**
- REPRESENTATIVE PHOTOGRAPHS OF THE RESTORED NATIVE PLANT COMMUNITIES AND STREAM STABILIZATION STRUCTURES SHALL BE TAKEN TO DOCUMENT THE SITE CONDITIONS THROUGH TIME.

REPORTING

- AN ANNUAL LETTER REPORT SHALL BE PREPARED AND SUBMITTED TO THE OWNER AT THE END OF EACH GROWING SEASON AND NOT LATER THAN DECEMBER 31 OF THE MONITORING YEAR.
- THE REPORT SHALL IDENTIFY MANAGEMENT RECOMMENDATIONS AND SERVICES THAT HAVE BEEN CONDUCTED THROUGHOUT THE GROWING SEASON AND OUTLINE FUTURE MANAGEMENT RECOMMENDATIONS.
- THE REPORT SHALL INCLUDE A SECTION THAT ADDRESSES THE REQUIRED PERFORMANCE STANDARDS INCLUDED IN THE PLAN/SPECIFICATIONS.
- SITE PHOTOGRAPHS SHALL BE INCLUDED IN THE REPORT TO DOCUMENT THE SITE CONDITIONS.

*****NOTE THAT FLORISTIC QUALITY CALCULATIONS ARE NOT REQUIRED IN ANNUAL REPORTS.**

SUMMARY OF GUARANTEES (PERFORMANCE STANDARDS) IS INCLUDED BELOW:

SECTION: NATIVE SEEDING

- THE CONTRACTOR SHALL GUARANTEE SEEDED AND/OR PLANTED AREAS WILL MEET OR EXCEED THE FOLLOWING PERFORMANCE CRITERIA THREE FULL GROWING SEASONS AFTER PROVISIONAL ACCEPTANCE: 80% TOTAL (AERIAL) PLANT COVER AND AT LEAST 60% RELATIVE COVER BY SEEDED AND/OR PLANTED NATIVE SPECIES IN EACH PLANT COMMUNITY. IN ADDITION, NON-NATIVE AND/OR INVASIVE NATIVE SPECIES SHALL COLLECTIVELY NOT COMPRISE GREATER THAN 30% RELATIVE COVER IN EACH PLANT COMMUNITY. OPPORTUNISTIC INVASIVE/NON-NATIVE SHRUBS AND TREES SHALL NOT EXCEED 5% OF ANY PLANT COMMUNITY.

SECTION: NATIVE HERBACEOUS PERENNIAL PLANTING

- THE CONTRACTOR SHALL GUARANTEE PLANTED AREAS WILL MEET OR EXCEED THE FOLLOWING PERFORMANCE CRITERIA ONE FULL GROWING SEASON AFTER PROVISIONAL ACCEPTANCE: 70% SURVIVORSHIP OF ALL HERBACEOUS PLANTS. IF MORE THAN 30% OF THE PLANTS DO NOT SURVIVE AFTER ONE YEAR, THE CONTRACTOR SHALL RETURN TO THE SITE AND REPLANT LOST PLANTS AS SPECIFIED BY THE OWNER AND/OR TO MEET THE PERFORMANCE STANDARD.

SECTION: NATIVE TREE PLANTING

- THE CONTRACTOR SHALL GUARANTEE TREES WILL MEET OR EXCEED THE FOLLOWING PERFORMANCE CRITERIA ONE FULL GROWING SEASON AFTER PROVISIONAL ACCEPTANCE: 90% SURVIVAL OF ALL PLANTED TREES. IF MORE THAN 10% OF PLANTED TREES DO NOT SURVIVE AFTER ONE YEAR, THE CONTRACTOR SHALL RETURN TO THE SITE AND REPLANT LOST TREES AS SPECIFIED BY THE OWNER AND/OR TO MEET THE PERFORMANCE STANDARD.



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WESTVIEW CROSSING
 ALCONQUIN, ILLINOIS
NATIVE AREA SPECIFICATIONS

2	5.11.2022
1	3.28.2022

REVISIONS

DATE 3.03.2022
PROJECT NO. LN2196
DRAWN JLT
CHECKED GFB
SHEET NO.

7 OF 7



Westview Crossing - Algonquin, IL

Home Floorplans and Elevations

May 16, 2022



Westview Crossing – Home Elevations – Adams Model



2148 sq. ft. 3 Bedrooms 2.5 Baths 3 – Car Garage Ranch Style



Adams



Elevation D - Side



Elevation D - Side



Elevation D - Rear

Westview Crossing – Home Elevations – Biscayne Model



2258 sq. ft. 3 Bedrooms 2.5 Bathrooms 2- Car Garage



Westview Crossing – Home Elevations – Biscayne Model



H

2258 sq. ft. 3 Bedrooms 2.5 Bathrooms 2- Car Garage



FIRST FLOOR



SECOND FLOOR



OPTIONAL BEDROOM 5/
BATH 3



OPTIONAL GARDEN BATH



OPTIONAL DELUXE SHOWER



OPTIONAL BEDROOM 4

Westview Crossing – Home Elevations – Biscayne Model



Biscayne



Elevation D - Side



Elevation D - Side



Elevation D - Rear

Westview Crossing – Home Elevations – Bryce Model



2509 sq. ft. 3 Bedrooms 2.5 Bathrooms 2- Car Garage



Westview Crossing – Home Elevations – Bryce Model



G

2509 sq. ft. 3 Bedrooms 2.5 Bathrooms 2- Car Garage



SECOND FLOOR



OPTIONAL GARDEN BATH



OPTIONAL DELUXE SHOWER



FIRST FLOOR



OPTIONAL BEDROOM 4

Westview Crossing – Home Elevations – Bryce Model

Bryce



Elevation D - Side



Elevation D - Side



Elevation D - Rear

Westview Crossing – Home Elevations – Rainer Model

2758 sq. ft. 4 Bedroom 2.5 Bathroom 2 / Optional 3 – Car Garage



Westview Crossing – Home Elevations – Rainer Model



H

2758 sq. ft. 4 Bedroom 2.5 Bathroom 2 / Optional 3 – Car Garage.



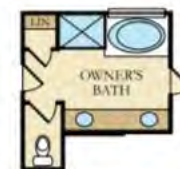
SECOND FLOOR



**OPTIONAL
BEDROOM 5/BATH 3**



FIRST FLOOR



**OPTIONAL
GARDEN BATH**



**OPTIONAL
DELUXE SHOWER**

Westview Crossing – Home Elevations – Rainer Model



Rainer



Elevation D - Side



Elevation D - Side



Elevation D - Rear

Westview Crossing – Home Elevations – Santa Rosa Model

3084 sq. ft. 4 Bedroom 2.5 Bathroom 2 / Optional 3 - Car Garage



Westview Crossing – Home Elevations – Santa Rosa Model



H

3084 sq. ft. 4 Bedroom 2.5 Bathroom 2 / Optional 3 Car Garage



Santa Rosa



Elevation D - Side



Elevation D - Side



Elevation D - Rear

Westview Crossing – Home Elevations – Sequoia Model

3237 sq. ft. 4 Bedrooms 3.5 Baths 2 / Optional 3 - Car Garage



Westview Crossing – Home Elevations – Sequoia Model

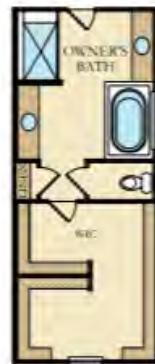


H

3237 sq. ft. 4 Bedrooms 3.5 Baths 2 / Optional 3 Car Garage.



SECOND FLOOR



OPTIONAL GARDEN BATH



FIRST FLOOR

Westview Crossing – Home Elevations – Sequoia Model

Sequoia



Elevation D - Side



Elevation D - Side



Elevation D - Rear

Westview Crossing - Building Materials

- 30 - year architectural shingle on all homes
- Maintenance free aluminum soffit, fascia, and gutters.
- .042 Premium grade vinyl siding per plan. Double 5 exposure with multiple color option and manufactured by Royal Building Products.
- Full thickness face brick on front elevations per plan.
- Cultured Stone on front elevations per plan
- 4'' Window surrounds and / or shutters at front elevations.
- Front elevations supplemented by dormers, porch columns and pillars, and decorative garage doors per plan.
- Corbeling, brackets, decorative gable vents, shakes, and battens per plan
- In glass window grills on front, side, and rear elevations
- Fully landscaped front and rear yards.
- Twenty percent of all homes built will be G or H elevation.
- Two Car Garage Standard. Optional 3-Car Garage Available on Four of the Six Model Homes.

**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

To

LENNAR CORPORATION

From

GRUEN GRUEN + ASSOCIATES

Urban Economists, Market Strategists & Land Use/Public Policy Analysts

March 2022

C1593



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
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TABLE OF CONTENTS

<u>Chapter</u>		<u>Page</u>
I	INTRODUCTION AND KEY FINDINGS AND CONCLUSIONS.....	1
	INTRODUCTION	1
	KEY FINDINGS AND CONCLUSIONS	1
	General Fund Revenue Resulting from Westview Crossing Development.....	2
	Property Tax Impact and Net Fiscal Impact on School District	2
	METHODOLOGICAL APPROACH	3
	2022 CONSTANT DOLLARS	3
II	BASELINE ASSUMPTIONS AND PROJECT CHARACTERISTICS.....	4
	INTRODUCTION	4
	DEMOGRAPHIC AND ECONOMIC PROFILE OF ALGONQUIN.....	4
	WESTVIEW CROSSING PROJECT CHARACTERISTICS AND ASSUMPTIONS ..	5
	Project Population.....	5
III	FORECAST OF GENERAL FUND REVENUE	6
	INTRODUCTION	6
	PROPERTY TAX REVENUE.....	8
	STATE INCOME AND USE TAX.....	8
	SALES TAX.....	8
	FRANCHISE CABLE FEES	10
	TELECOMMUNICATIONS TAX	11

TABLE OF CONTENTS, Continued

<u>Chapter</u>	<u>Page</u>
IV	
PROPERTY TAX IMPACT OF WESTVIEW CROSSING DEVELOPMENT AND NET FISCAL EFFECTS ON HUNTLEY COMMUNITY SCHOOL DISTRICT #158	12
INTRODUCTION	12
PROPERTY TAX REVENUE ESTIMATES FOR SCHOOL DISTRICT	13
NET FISCAL EFFECTS ON LOCAL SCHOOL DISTRICT.....	14

LIST OF TABLES

<u>Table Number</u>		<u>Page</u>
I-1	Estimated Annual General Fund Revenues Generated by the Proposed Westview Crossing Development at Build-out.....	2
II-1	Baseline Demographic and Employment Estimates for the Village of Algonquin.....	4
II-2	Residential Use Assumptions and Characteristics	5
II-3	Projected Westview Crossing Population at Build-out.....	5
III-1	Estimated Annual General Fund Revenues Generated by Proposed Westview Crossing Development at Build-out.....	7
III-2	Estimated Annual Property Tax Revenue at Build-out	8
III-3	Estimated Annual State Income and Use Tax Revenue Generated by Westview Crossing Development at Build-out.....	8
III-4	Estimated Annual General Fund Sales Tax Revenue Attributable to Households within the Westview Crossing Development at Build-out	9
III-5	Estimated Annual Cable Franchise Fee Revenue Generated by Westview Crossing Development at Build-out.....	10
III-6	Estimated Annual Telecommunications Tax Revenue Generated by Westview Crossing Development at Build-out.....	11
IV-1	Estimated Property Tax Revenue for Huntley Community School District 158 at Westview Crossing Development at Build-out.....	13
IV-2	Estimated Operating Revenues and Expenses for Huntley Community School District 158 Generated by Westview Crossing Development at Build-out.....	14

THE FISCAL TAX REVENUES ASSOCIATED WITH THE PROPOSED WESTVIEW CROSSING DEVELOPMENT

CHAPTER I

INTRODUCTION AND KEY FINDINGS AND CONCLUSIONS

INTRODUCTION

This report summarizes the evaluation by Gruen Gruen + Associates (“GG+A”) of the fiscal benefits of the proposed Westview Crossing development (“Westview Crossing”) on the Village of Algonquin General Fund upon annexation of the development into Algonquin. Westview Crossing, a proposed 150-unit single-family development project would be located on the east side of Square Barn Road at the intersection of Square Barn Road and Academic Drive. Because the fiscal impact analysis addresses long-term rather than short-term fiscal effects of the proposed development on the Village’s General Fund, the analysis excludes upfront capital costs and fee revenue associated with infrastructure or other capital items. Revenues collected on a cost-recovery basis and other fees-for-service (e.g., permit and plan checking fees, and inspection fees, etc.) are assumed to be set at rates that will adequately offset municipal costs.

To evaluate the fiscal benefits associated with Westview Crossing, GG+A estimated the annual revenue likely to be generated by the proposed development for the Village of Algonquin General Fund. GG+A also estimated the annual revenues generated by the proposed Westview Crossing on the Huntley Community School District 158. GG+A also considered the operating costs induced by school-aged children of households of the development in order to identify the net fiscal surplus the school districts would realize as the result of the proposed development.

KEY FINDINGS AND CONCLUSIONS

In addition to providing expanded housing opportunities in Algonquin, the proposed development will generate fiscal (tax revenues) benefits to the Village of Algonquin treasury. The fiscal benefits associated with Westview Crossing are summarized below and described in more detail in the body of this report.



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

General Fund Revenue Resulting from Westview Crossing Development

Table I-1 summarizes the estimates of annual General Fund revenue for the Village of Algonquin induced upon build-out of the Westview Crossing project.

TABLE I-1		
Estimated Annual General Fund Revenues Generated by the Proposed Westview Crossing Development at Build-Out¹		
	<u>Annual</u>	
Revenue	<u>\$</u>	<u>%</u>
Property Tax	137,500	62.7
State Income and Use Tax	57,900	26.4
Sales Tax	16,400	7.5
Cable Franchise Fees	6,600	3.0
Telecommunications Tax	1,000	0.4
TOTAL GENERAL FUND	219,400	100.0
¹ Figures have been rounded.		
Sources: Village of Algonquin; Gruen Gruen + Associates.		

Upon full build-out, Westview Crossing is forecast to generate approximately \$219,400 of annual revenue for the Village of Algonquin Lake General Fund. Property tax revenue of \$137,500 is expected to comprise approximately 63 percent of all General Fund revenue generated by the planned Westview Crossing development. Annual state income and use tax revenue of \$57,900 is forecast to comprise an additional 26 percent of General Fund revenue upon full build-out. Other General Fund revenues including sales tax (\$16,400), cable franchise fees (\$6,600), and telecommunication taxes (\$1,000), are forecast to comprise approximately 11 percent of annual revenue.

Property Tax Impact and Net Fiscal Impact on School District

Enrollment for the school district has been declining. According to the Illinois State Board of Education school district report cards, Huntley Community School District 158 has experienced declining enrollment over the past few years. The school district declined by 238 students from 9,601 students in 2018 to 9,363 students in 2020. The total decline of 238 students in the school district exceeds the 114 school aged children estimated for the proposed development.



THE FISCAL TAX REVENUES ASSOCIATED WITH THE PROPOSED WESTVIEW CROSSING DEVELOPMENT

At build-out, the proposed development is estimated to generate annual district -level property tax revenue of approximately \$1,265,700 for Huntley Community School District 158.

Based on current operating expenditures per pupil, an additional 114 students of new households attracted to the Westview Crossing development is estimated to increase District 158 operating costs by an estimated \$1,218,000 annually.

Including State Evidence-Based Funding (estimated at the equivalent of \$3,100 per pupil), the proposed development may generate an annual operating surplus of \$396,400 or \$3,500 per additional student generated.

Chapter IV of this report summarizes these estimates.

METHODOLOGICAL APPROACH

This fiscal analysis is based on a review of the Village of Algonquin 2021-2022 fiscal year budget and information obtained from representatives of Lennar Corporation, and a review and analysis of secondary data sources. Property tax information was obtained from the McHenry County Assessor's website about current assessments, property tax rates, and existing allocations to taxing districts. This information was necessary to estimate future property tax revenue for the Village of Algonquin General Fund and school district.

GG+A drew on the specific characteristics of the proposed development (e.g., property values) to estimate revenues such as property taxes and sales taxes which are affected by the development characteristics. The specific methodologies used to estimate each General Fund cost or revenue item are discussed in the appropriate sections of this report. We have assumed the current tax and fee structures will remain constant. No estimates of the number of households new to Algonquin as opposed to relocating to the project from within Algonquin are available. The impacts presented in this report are made on a gross basis. To the extent households within Algonquin relocate to the development, this will free up housing at other locations in Algonquin which can be expected to be re-occupied.

2022 CONSTANT DOLLARS

All cost and revenue projections in this report are expressed in constant 2022 dollars. That is, the possible effects of inflation or deflation on General Fund revenues and costs in the future are not quantified.



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

CHAPTER II

BASELINE ASSUMPTIONS AND PROJECT CHARACTERISTICS

INTRODUCTION

This chapter summarizes the baseline demographic assumptions for the Village of Algonquin upon which some General Fund revenue estimates are based. It also describes the anticipated characteristics of the proposed Westview Crossing development program, households attracted to occupy the housing units, household size, and per-unit market value estimates.

DEMOGRAPHIC AND ECONOMIC PROFILE OF ALGONQUIN

Table II-1 shows the baseline demographic and employment estimates for the Village of Algonquin upon which some revenue estimates are based.

TABLE II-1	
Baseline Demographic and Employment Estimates for the Village of Algonquin	
	2020 ¹ #
Total Population	29,700
Household Population	29,695
Households	10,769
Average Household Size	2.757
Total Employment (Jobs Estimated)	8,131
¹ Population and household estimates are from Census 2020. Employment estimates are for 2019.	
Sources: U.S. Census Bureau, Census 2020; U.S. Census Bureau Longitudinal Employer- Household Dynamic, OnTheMap; Gruen Gruen + Associates.	

According to the U.S. Census Bureau, the Village of Algonquin’s population was estimated at 29,700 in April 2020. The number of occupied housing units, or households, was estimated at approximately 10,769. The average household size in the Village of Algonquin was estimated at 2.76 persons per household. According to data from the U.S. Census Bureau, the number of jobs in the Village of Algonquin held by workers which reside outside of the Village of Algonquin in 2019 total approximately 8,100 jobs.



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

WESTVIEW CROSSING PROJECT CHARACTERISTICS AND ASSUMPTIONS

We have relied upon the information Lennar Corporation provided about the project characteristics including number and type of units, and average sale price per unit. The development is anticipated to be built-out and fully absorbed (i.e., occupied) by the second year upon the completion of construction. Table II-2 summarizes the anticipated characteristics of the planned residential units.

TABLE II-2	
Residential Use Assumptions and Characteristics	
SINGLE-FAMILY RESIDENTIAL:	
Number of Total Units	150
Number of Three-bedroom Units	40
Number of Four-bedroom Units	110
Average Household Size (Persons) ¹	2.76
Average Sale Price Per Unit	\$499,900
Average Household Income	\$137,000
¹ Average household size estimated by GG+A based on 2015-2019 American Community Survey data for the Village of Algonquin.	
Sources: Lennar Corporation; U.S. Census Bureau; Gruen Gruen + Associates.	

The development is planned to include 150 single-family homes. The average household size for households is estimated at 2.76 persons per household. According to Lennar Corporation, average sales price for units is expected to be \$499,900.

Project Population

Based on the estimates of household size, Table II-3 summarizes the expected project population upon full build-out.

TABLE II-3	
Projected Westview Crossing Population at Build-out	
	#
Number of Units	150
Average Household Size	2.76 persons
Estimated Population of Westview Crossing at Build-out	414
Sources: Lennar Corporation; Gruen Gruen + Associates.	

At full build-out based on an average household size assumption of 2.76 persons, the Westview Crossing project is expected to include a total population of 414 persons.



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

CHAPTER III

FORECAST OF GENERAL FUND REVENUE

INTRODUCTION

This chapter presents a forecast of General Fund operating revenue that will result from the development and occupancy of Westview Crossing. The following sources of General Fund revenue are estimated:

- Property tax - the assessed value of new development will generate property tax revenue for the General Fund;
- Income and use taxes – The State of Illinois redistributes income and use taxes to municipalities on a per capita basis;
- Sales tax - the sale of taxable retail goods will generate revenue for the General Fund through the one percent local sales tax rate shared by the State of Illinois;
- Cable franchise fees - the Village of Algonquin imposes a franchise tax on cable service providers based on consumption and usage; and
- Telecommunications tax – The Village imposes a 6.0 percent telecommunications tax on the use of telecommunications.

The General Fund revenue estimates are presented for the proposed Westview Crossing development at full build-out. The Village of Algonquin collects police and court fines; potential revenue attributable to households of Westview Crossing from this source is not estimated.



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

Table III-1 presents a summary of the annual General Fund revenues potentially induced by the proposed Westview Crossing development at build-out.

TABLE III-1		
Estimated Annual General Fund Revenues Generated by the Proposed Westview Crossing Development at Build-Out¹		
Revenue	\$	%
Property Tax	137,500	62.7
State Income and Use Tax	57,900	26.4
Sales Tax	16,400	7.5
Cable Franchise Fees	6,600	3.0
Telecommunications Tax	1,000	0.4
TOTAL GENERAL FUND	219,400	100.0
¹ Figures have been rounded.		
Sources: Village of Algonquin; Gruen Gruen + Associates.		

Upon full build-out, Westview Crossing is forecast to generate approximately \$219,400 of annual revenue for the Village of Algonquin General Fund. This equates to approximately \$1,463 per housing unit.

Property tax revenue of \$137,500 is expected to comprise approximately 63 percent of all General Fund revenue generated by the planned Westview Crossing development. Annual state income and use tax revenue of \$57,900 is forecast to comprise an additional 26 percent of General Fund revenue upon full build-out. Other General Fund revenues including sales tax (\$16,400), cable franchise fees (\$6,600), and telecommunication tax (\$1,000), are forecast to comprise approximately 11 percent of annual revenue.



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

PROPERTY TAX REVENUE

Table III-2 presents an estimate of property tax revenue at build-out of the planned Westview Crossing project.

TABLE III-2	
Estimated Annual Property Tax Revenue at Build-out¹	
	Annual \$
Estimated Market Value	74,985,000
Equalized Assessed Value ²	24,085,000
Annual Property Tax Revenue @ Build-out³	137,450
¹ Figures are rounded. ² Equalized assessed value is calculated at 33.32% of market value. Adjusted equalized assessed value factor of 1.0000. Net of homeowner's exemption of \$6,000 per unit. ³ Village of Algonquin 2020 property tax rate is \$0.570687 per \$100 of equalized assessed value.	
Sources: Lennar Corporation; McHenry County Assessor; Gruen Gruen + Associates.	

At build-out, the market value of the planned Westview Crossing development is estimated at \$74,985,000 or \$499,900 per unit. At build-out, the equalized assessed value (net of homeowner's exemption of approximately \$900,000) of the development is estimated to total \$24,085,000. Based on the 2020 property tax rate, annual property tax revenue for the Village General Fund at build-out is estimated to total \$137,450.

STATE INCOME AND USE TAX

The State of Illinois redistributes income and use tax to municipalities on a per capita basis. As summarized in Table III-3, according to the Village Budget the redistribution is estimated at \$139.79 per Village resident.

TABLE III-3	
Estimated Annual State Income and Use Tax Revenue Generated by Westview Crossing Development at Build-out	
	Annual
State Income and Use Tax Revenue Per Capita	\$139.79 ¹
Estimated Number of Westview Crossing Residents	414
State Use Tax Revenue @ Build-out	\$57,871
¹ Based on budgeted 2021-2022 state income tax revenue of \$4.2 million divided by 30,046 residents.	
Sources: Village of Algonquin; Gruen + Associates.	



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

At build-out, the proposed Westview Crossing development is estimated to include 414 residents. Annual state use tax revenue to the Village of Algonquin General Fund then is estimated to total approximately \$57,871.

SALES TAX

The Village of Algonquin receives State of Illinois sales tax revenue equal to one percent of taxable purchases within the Village. Some purchase such as groceries and drugs are exempt from the applicable sales tax.

Table III-4 summarizes the estimate of General Fund sales tax revenue associated with Westview Crossing households.

TABLE III-4	
Estimated Annual General Fund Sales Tax Revenue Attributable to Households within the Westview Crossing Development at Build-out	
Number of Households	150
Annual Retail Expenditure Made by Households ¹	\$1,642,800
Annual Sales Tax Revenue @ Build-out²	\$16,428
¹ Assuming 20 percent of household income is expended on retail goods and services and 40 percent of that amount is spent within the Village of Algonquin. Assumes household income of \$137,000 for the proposed Westview Crossing development.	
² Assumes tax rate of 1.0 percent of municipal sales.	
Sources: Lennar Corporation; Gruen Gruen + Associates.	

At build-out, the total household income of Westview Crossing households is estimated at approximately \$20.5 million or \$137,000 per household. Based on review of Consumer Expenditure survey data from the Bureau of Labor Statistics, we assume expenditures on most retail goods and services, excluding automotive goods, average 20 percent of income. We assume 40 percent of the income of residents of Westview Crossing spent on taxable retail goods and services is expended within the Village of Algonquin.¹ At full build-out, annual taxable expenditures attributable to Westview Crossing households and made in the Village of Algonquin are estimated at \$1,642,800. This translates to annual sales tax revenue of approximately \$16,428.

¹ The Randall Road corridor contains more than three million square feet of free-standing big box and power center, community, and neighborhood shopping center space. Retail sales in Algonquin are significantly higher than would be expected based on the purchasing power of Algonquin households alone. The Village of Algonquin has a sales surplus given the amount of retail expenditure potential from Village households and workers. A GG+A study (https://www.algonquin.org/egov/documents/1440079594_83831.pdf) completed in 2015 for the East Algonquin Road corridor for the Village of Algonquin showed that household expenditure potential of Algonquin households accounted for nearly 40 percent of Village-wide retail sales.



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

FRANCHISE CABLE FEES

Table III-5 summarizes the forecast of cable franchise fee revenue. Utilizing a per-household approach, we estimate the franchise cable fee revenue associated with the development of Westview Crossing. We use budgeted cable franchise fee revenues for the 2021-2022 fiscal year which total \$475,000. On a per-household basis, this equates to \$44.11 per household in the Village of Algonquin.

TABLE III-5	
Estimated Annual Cable Franchise Fee Revenue Generated by Westview Crossing Development at Build-out	
	Annual
General Fund Cable Franchise Fee Revenue	\$475,000
Number of Algonquin Households	10,769
Cable Franchise Tax Revenue Per Household	\$44.11
Number of Westview Crossing Households @ Build-out	150
Cable Franchise Fee Revenue @ Build-out	\$6,616
Sources: Village of Algonquin; Gruen Gruen + Associates.	

Multiplying the per household estimate by the anticipated 150 households of Westview Crossing produces an estimate of total annual General Fund cable franchise fee revenue at build-out of approximately \$6,616.



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

TELECOMMUNICATIONS TAX

The Village imposes a telecommunications tax of 6.0 percent on the use of telecommunications. Table III-6 presents an estimate of the annual telecommunications tax revenue generated by the households of the proposed Westview Crossing development.

TABLE III-6	
Estimated Annual Telecommunications Tax Revenue Generated by Westview Crossing Development at Build-out	
	Annual
General Fund Telecommunications Tax Revenue	\$72,000
Number of Algonquin Households	10,769
Telecommunications Tax Revenue Per Household	\$6.69
Number of Westview Crossing Households @ Build-out	150
Telecommunications Tax Revenue @ Build-out	\$1,003
Sources: Village of Algonquin; Gruen Gruen + Associates.	

To estimate the telecommunications tax revenue attributable to households of the proposed Westview Crossing development, we derived a per household estimate by dividing the 2021-2022 budgeted telecommunications tax revenue of \$72,000 by the estimated 10,769 households in the Village of Algonquin. This results in an average household telecommunications tax revenue estimate of \$6.69. Multiplying the \$6.69 per household estimate by the 150 households of the proposed Westview Crossing development at build-out results in annual telecommunications tax revenue of approximately \$1,003.



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

CHAPTER IV

**PROPERTY TAX IMPACT OF WESTVIEW CROSSING
DEVELOPMENT AND NET FISCAL EFFECTS ON
HUNTLEY COMMUNITY SCHOOL DISTRICT 158**

INTRODUCTION

According to the Huntley Community School District 158 superintendent, four single-family subdivisions containing 1,170 units in Algonquin generate 888 school-age children for the district. This equates to about 0.76 children per household. Using this children-per-household metric, GG+A estimates Westview Crossing will include not more than 114 school age children.² Children would comprise 27 percent of the total estimated number of residents for the development.

Note that the enrollment for School District 158 has been declining. According to the Illinois State Board of Education school district report cards, Huntley Community School District 158 has experienced declining enrollment over the past few years. The school district declined by 238 students from 9,601 students in 2018 to 9,363 students in 2020. The enrollment declines experienced is far higher than the potential increase in school aged children attributable to the proposed development.

²GG+A did not rely on the Illinois School Consulting Service historical data regarding student generation per unit as the data is outdated and not specific to Algonquin. We instead relied on student generation data from existing single-family housing developments in both Algonquin and Huntley Community School District 158 which are comparable to the type of housing proposed for Westview Crossing.



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

PROPERTY TAX REVENUE ESTIMATES FOR SCHOOL DISTRICT

Table IV-1 presents the estimate of district-level property tax revenues generated at build-out of Westview Crossing for School District 158.

TABLE IV-1	
Estimated Property Tax Revenue for Huntley Community School District 158 at Westview Crossing Development at Build-out¹	
	Annual \$
Estimated Market Value	74,985,000
Equalized Assessed Value ²	24,085,000
Annual Property Tax Revenue for Huntley Community School District 158 @ Build-out³	1,265,700
¹ Figures are rounded. ² Equalized assessed value is calculated at 33.32% of market value. Adjusted equalized assessed value factor of 1.0000. Net of homeowner's exemption of \$6,000 per unit. ³ Huntley Community School District #158 2020 property tax rate is \$5.255137 per \$100 of equalized assessed value.	
Sources: Lennar Corporation; McHenry County Assessor; Gruen Gruen + Associates.	

With an equalized assessed value of \$24,085,000 based on an estimated market value of \$74,985,000 and a property tax rate of \$5.25 per \$100 of equalized assessed value for the Huntley Community School District 158, at build-out, the proposed development is estimated to generate district-level annual property tax revenue of approximately \$1,265,700 for Huntley Community School District 158.



**THE FISCAL TAX REVENUES ASSOCIATED WITH THE
PROPOSED WESTVIEW CROSSING DEVELOPMENT**

NET FISCAL EFFECTS ON LOCAL SCHOOL DISTRICTS

Table IV-2 compares the revenues, operating expenses, and operating surplus resulting from the 114 additional school-age children projected to be added from the proposed development.

TABLE IV-2		
Estimated Operating Revenues and Expenses for Huntley Community School District 158 Generated by Westview Crossing Development at Build-out¹		
	Annual Per Student \$	Annual Total \$
District Property Tax Revenues	11,100	1,265,700
State Aid/Evidence-Based Funding	3,100	348,900
Gross Operating Costs	(10,700)	(1,218,200)
Operating Surplus	3,500	396,400
¹ Figures have been rounded.		
Sources: Lennar Corporation; McHenry County Assessor; Illinois State Board of Education; Gruen Gruen + Associates.		

The estimate of annual property tax revenue to the local school district equates to \$11,118 per student per annum upon build-out of the proposed development. According to the Illinois State Board of Education (ISBE), School District 158 is scheduled to receive minimum Gross Evidence-Based Funding for the 2022 fiscal year totaling approximately \$27.8 million, or the equivalent of nearly \$3,100 per pupil. This represents additional operating revenues of approximately \$348,900. (The State Evidence-Based Funding formulas replaced General State Aid in 2017; they are not specifically based on student population, so the estimate is an approximation based on current district enrollment and level of state funding).

Annual ISBE district report cards indicate that gross operating expenditures approximated \$10,700 per pupil for the Huntley Community School district in 2020. Thus, with 114 additional students projected to be generated by the proposed development, annual operating expenditures based on current rates are assumed to increase by approximately \$1,218,000 annually.

The balance between projected property tax revenues, state funding, and additional operating costs indicates an operating surplus of nearly \$396,400 or \$3,500 per additional student generated.



THE FISCAL TAX REVENUES ASSOCIATED WITH THE PROPOSED WESTVIEW CROSSING DEVELOPMENT

Gruen Gruen + Associates (GG+A) is a firm of economists, sociologists, statisticians and market, financial and fiscal analysts. Developers, public agencies, attorneys and others involved in real estate asset management utilize GG+A research and consulting to make and implement investment, marketing, product, pricing and legal support decisions. The firm's staff has extensive experience and special training in the use of demographic analysis, survey research, econometrics, psychometrics and financial analysis to describe and forecast markets for a wide variety of real estate projects and economic activities.

Since its founding in 1970, GG+A has pioneered the integration of behavioral research and econometric analysis to provide a sound foundation for successful land use policy and economic development actions. GG+A has also pioneered the use of economic, social and fiscal impact analysis. GG+A impact studies accurately and comprehensively portray the effects of public and private real estate developments, land use plans, regulations, annexations and assessments on the affected treasuries, taxpayers, consumers, other residents and property owners.

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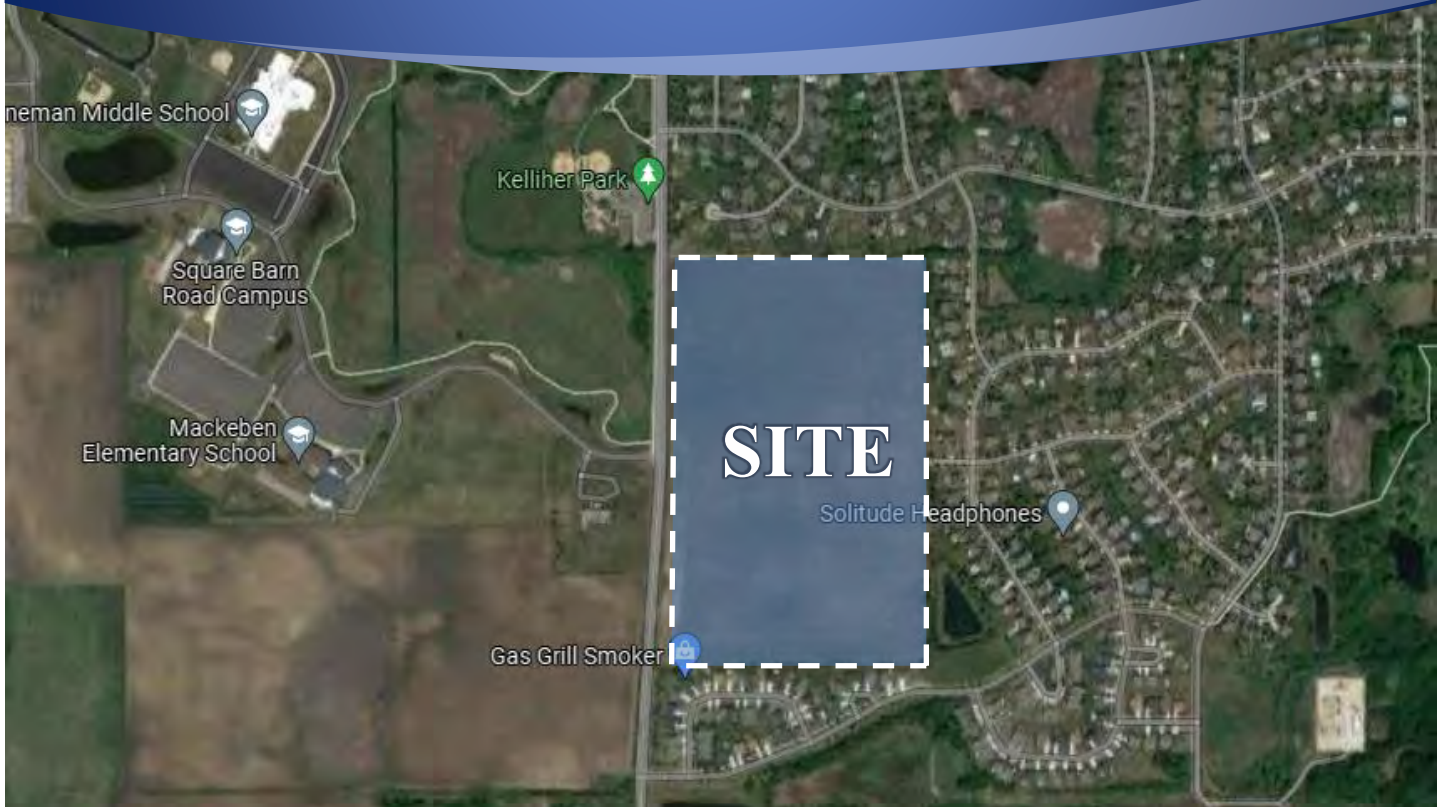
APPLYING KNOWLEDGE, CREATING RESULTS, ADDING VALUE



Traffic Impact Study

Square Barn Road Residential Development

Algonquin, Illinois



Prepared For:

LENNAR®

KLOA
Kenig, Lindgren, O'Hara, Aboona, Inc.

March 4, 2022

1. Introduction

This report summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed residential development to be located in Algonquin, Illinois. The site, which is currently vacant, is located on the east side of Square Barn Road opposite the Huntley Community School District Square Barn Road Campus. As proposed, the development is to contain 150 single-family homes with access provided via a full-movement access drive on the east side of Square Barn Road aligned opposite Dr. John Burkey Drive and via the extension of White Deer Drive into the development.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

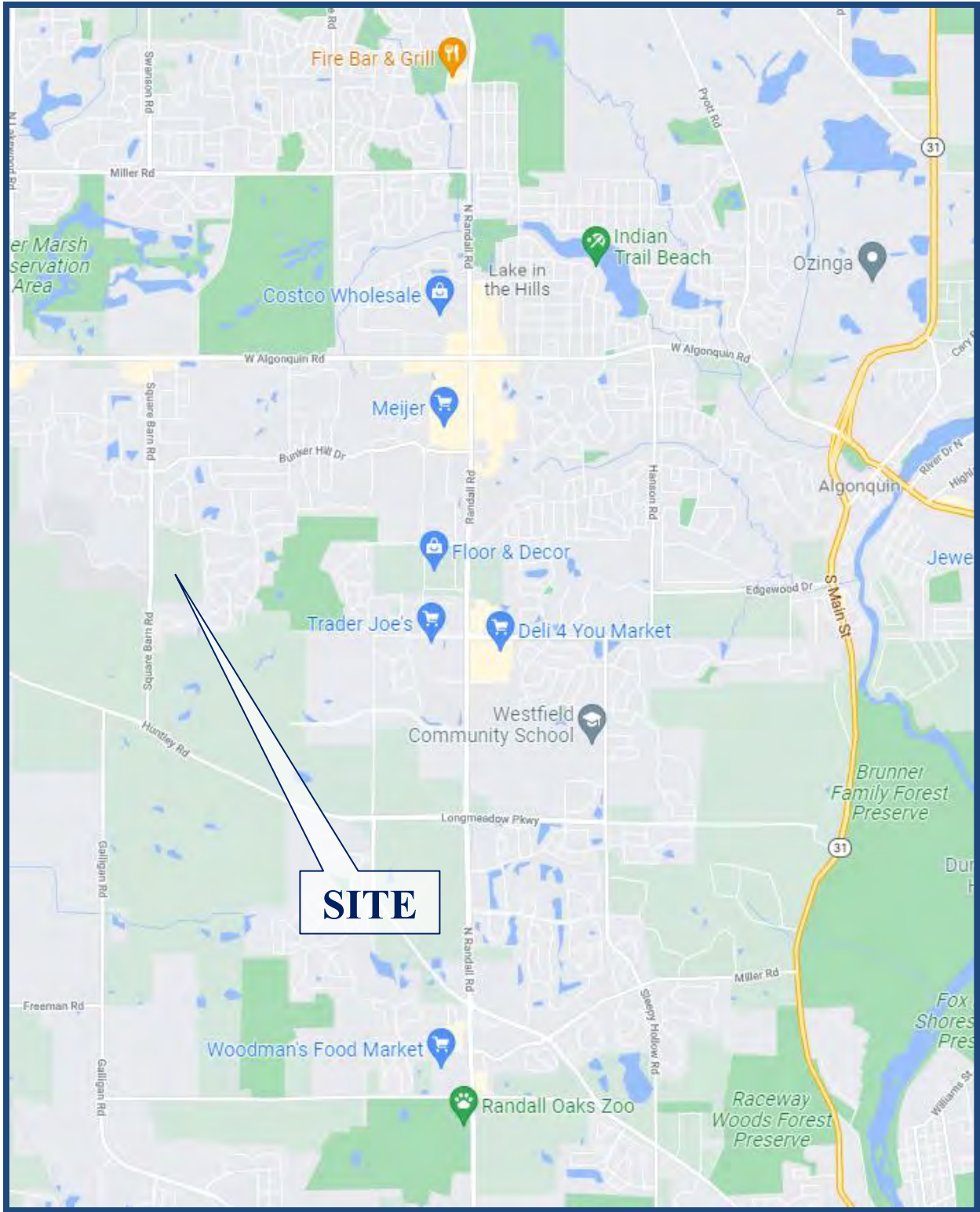
Figure 1 shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site.

The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed development
- Directional distribution of the development traffic
- Vehicle trip generation for the development
- Future traffic conditions including access to the development
- Traffic analyses for the weekday morning and weekday evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system

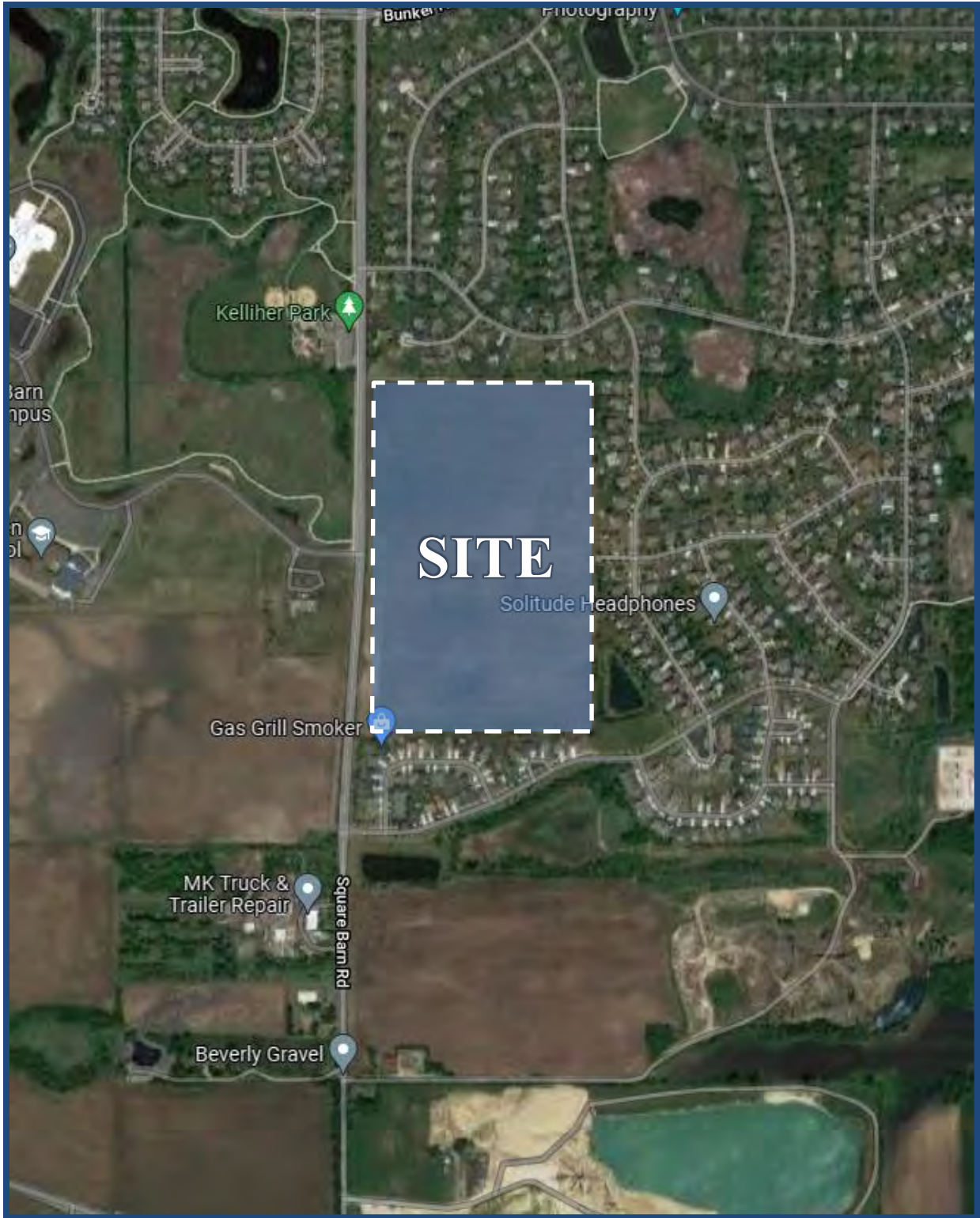
Traffic capacity analyses were conducted for the weekday morning and weekday evening peak hours for the following conditions:

1. Base Conditions - Analyzes the capacity of the existing roadway system using existing peak hour traffic volumes in the surrounding area adjusted to reflect normal traffic volumes.
2. No-Build Conditions – Analyzes the capacity of the existing roadway system using the base traffic volumes increased by an ambient growth factor (growth not attributable to any particular development).
3. Future Conditions – Analyzes the capacity of the future roadway system using projected traffic volumes which include the base traffic volumes increased by an ambient area growth factor, the redistribution of existing traffic, and the traffic estimated to be generated by the proposed subject development.



Site Location

Figure 1



Aerial View of Site

Figure 2

2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

Site Location

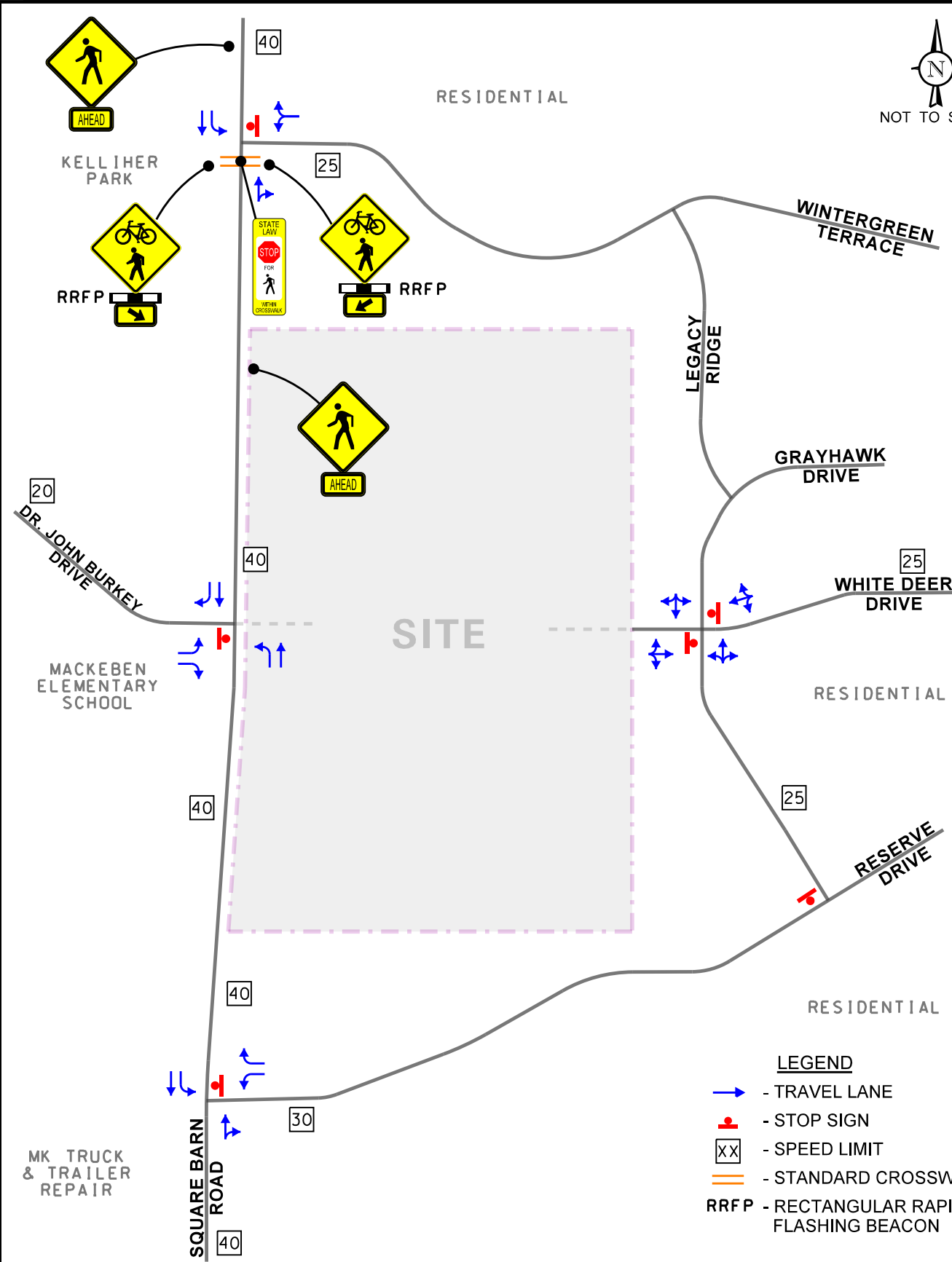
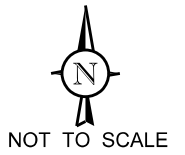
The site, which is currently vacant, is located on the east side of Square Barn Road, opposite the Huntley Community School District Square Barn Road Campus. Land uses to the north, east, and south of the site consist of residential developments. The Huntley Community School District Square Barn Road Campus is located on the west side of Square Barn Road and contains Mackeben Elementary School, Conley Elementary School, Heineman Middle School, and Huntley Community School District 158 offices and bus yard.

Existing Roadway System Characteristics

The characteristics of the existing roadways near the development are described below. **Figure 3** illustrates the existing roadway characteristics.

Square Barn Road is a north-south, minor arterial roadway that provides one travel lane in each direction. At its unsignalized T-intersection with Wintergreen Terrace, Square Barn Road provides a combined through/right-turn lane on the northbound approach and a left-turn lane and a through lane on the southbound approach. A standard-style crosswalk with pedestrian refuge island and pedestrian and bicycle warning signs are provided on the south leg. At its unsignalized T-intersection with Dr. John Burkey Drive, Square Barn Road provides a left-turn lane and a through lane on the northbound approach and a through lane and a right-turn lane on the southbound approach. At its unsignalized T-intersection with Reserve Drive, Square Barn Road provides a combined through/right-turn lane on the northbound approach and a left-turn lane and a through lane on the southbound approach. Square Barn Road carries an annual average daily traffic (AADT) volume of 11,300 vehicles (IDOT 2017) north of Reserve Drive and an AADT volume of 11,300 vehicles (IDOT 2018) south of Reserve Drive and a posted speed limit of 40 mph within the vicinity of the site. The roadway is under the jurisdiction of the Village of Algonquin within the Village limits and under the jurisdiction of Grafton Township outside of the Village limits.

Wintergreen Terrace is an east-west, minor collector roadway that provides one lane of travel in each direction. At its unsignalized T-intersection with Square Barn Road, Wintergreen Terrace provides a combined left-turn/right-turn lane on the westbound approach that is under stop sign control. Wintergreen Terrace carries an AADT volume of 1,000 vehicles (IDOT 2017), is under jurisdiction of the Village of Algonquin, and has a posted speed limit of 25 miles per hour.



- LEGEND**
- TRAVEL LANE
 - STOP SIGN
 - SPEED LIMIT
 - STANDARD CROSSWALK
 - RRFP** - RECTANGULAR RAPID FLASHING BEACON

Proposed Residential
Development
Algonquin, Illinois

Existing Roadway Characteristics

Job No: 22-036 Figure: 3

Dr. John Burkey Drive is a local roadway that provides one travel lane in each direction. At its unsignalized T-intersection with Square Barn Road, Dr. John Burkey Drive provides a left-turn lane and a right-turn lane on the eastbound approach that are under stop sign control. Dr. John Burkey Drive is under the jurisdiction of the Village of Algonquin and has a posted speed limit of 20 miles per hour.

Reserve Drive is an east-west, local roadway that provides one lane in each direction. At its unsignalized T-intersection with Square Barn Road, Reserve Drive provides a left-turn lane and a right-turn lane on the westbound approach that are under stop sign control. Reserve Drive is under jurisdiction of the Village of Algonquin and has a posted speed limit of 30 miles per hour.

Grayhawk Drive is a north-south, local roadway that provides one travel lane in each direction. At its unsignalized intersection with White Deer Drive, Grayhawk Drive provides a combined left-turn/through/right-turn lane on the northbound and southbound approaches. Grayhawk Drive is under the jurisdiction of the Village of Algonquin and has a posted speed limit of 25 miles per hour.

White Deer Drive is an east-west, local roadway that provides one travel lane in each direction. At its unsignalized intersection with Grayhawk Drive, White Deer Drive provides a combined left-turn/through/right-turn lane on the eastbound and westbound approaches that are under stop sign control. White Deer Drive is under the jurisdiction of the Village of Algonquin and has a posted speed limit of 25 miles per hour.

Existing Traffic Volumes

In order to determine current traffic conditions in the vicinity of the site, KLOA, Inc. conducted peak period traffic counts on Thursday, February 10, 2022, during the weekday morning (6:00 A.M. to 9:00 A.M.) and weekday evening (3:00 P.M. to 6:00 P.M.) peak periods at the following intersections:

- Square Barn Road with Wintergreen Terrace
- Square Barn Road with Dr. John Burkey Drive
- Square Barn Road with Reserve Drive
- Grayhawk Drive with White Deer Drive

The results of the traffic counts showed that the weekday morning peak hour of traffic occurs from 6:45 A.M. to 7:45 A.M. and the weekday evening peak hour of traffic occurs from 4:30 P.M. to 5:30 P.M.

To determine if the ongoing COVID-19 pandemic had any impact on the area existing traffic volumes, the Year 2022 traffic volumes were compared to Year 2017 IDOT hourly two-way traffic counts published on the IDOT Traffic Count Database System (TCDS) website at the intersection of Square Barn Road with Wintergreen Terrace. Based on the results of the comparison, the morning peak hour volumes along Square Barn Road were increased by 10 percent and the evening peak hour volumes along Square Barn Road were increased by five percent. Copies of the traffic count summary sheets are included in the Appendix. **Figure 4** illustrates the Year 2022 base traffic volumes.

Crash Analysis

KLOA, Inc. obtained crash data¹ from IDOT for the most recent available five years (2016 to 2020) for the intersections of Square Barn Road with Wintergreen Terrace, Dr. John Burkey Drive, and Reserve Drive and the intersection of Grayhawk Drive with White Deer Drive. During the five-year period, a total of five crashes were reported with one crash at the Square Barn Road with Dr. John Burkey Drive intersection and four crashes at the Square Barn Road with Wintergreen Terrace intersection. A review of the crash data indicated that no fatalities were reported at these intersections.

¹ IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s).

3. Traffic Characteristics of the Proposed Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

Proposed Site and Development Plan

As proposed, the development is to consist of 150 single-family homes. Access to the development will be provided as follows:

- A full access drive located on the east side of Square Barn Road opposite Dr. John Burkey Drive. The proposed access drive will provide one inbound lane and two outbound lanes striped to provide an exclusive left-turn lane and a combined through/right-turn lane. In addition, the existing median along Square Barn Road will be restriped to provide an exclusive southbound left-turn lane serving the access drive. Further, the exclusive right-turn lane on Dr. John Burkey Drive will be restriped as a combined through/right-turn lane.
- The extension of White Deer Drive, which currently terminates at the east side of the site, into the development. As proposed, the extension will provide one eastbound lane and one westbound lane.

With the Square Barn Road access drive and the connection to the existing residential developments, it is anticipated that some of the existing residential traffic will choose to travel through the developments as opposed to using Wintergreen Terrace or Reserve Drive when traveling to and from the west. A copy of the preliminary site plan depicting the proposed development and access drive is included in the Appendix.

Directional Distribution

The directions from which residents of the proposed development will approach and depart the site were estimated based on existing travel patterns, as determined from the traffic counts. **Figure 5** illustrates the directional distribution of the development-generated traffic.

Estimated Site Traffic Generation

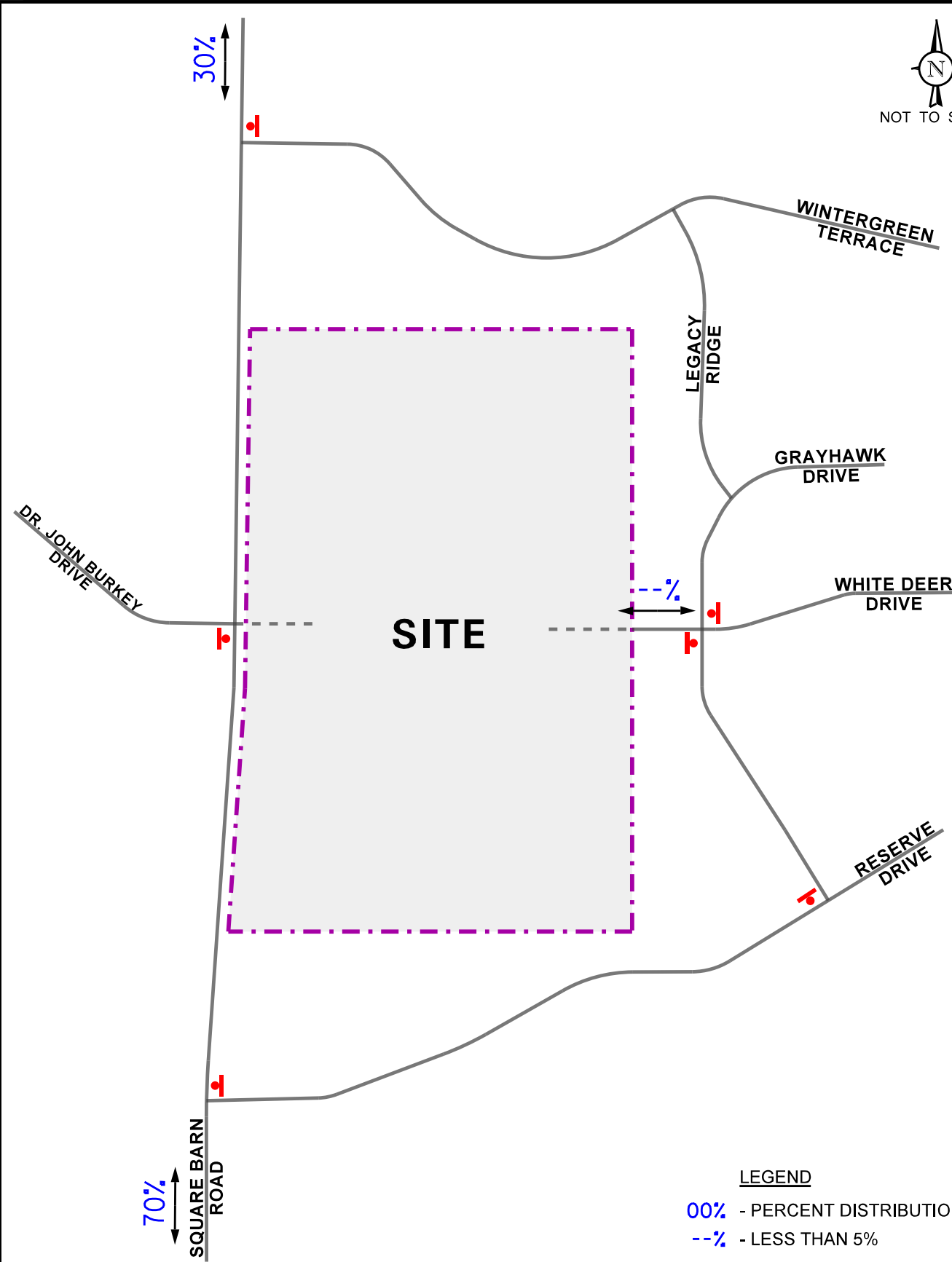
The volume of traffic to be generated by the proposed development was estimated based on trip generation rates published in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 11th Edition. The “Single-Family Detached Housing” (Land-Use Code 210) trip rates were utilized for the proposed development. **Table 1** tabulates the vehicle trips anticipated for this development.

Table 1
 ESTIMATED SITE-GENERATED TRAFFIC VOLUMES

ITE Land Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Two-Way Trips		
		In	Out	Total	In	Out	Total	In	Out	Total
210	Single-Family Housing (150 units)	28	80	108	91	54	145	733	733	1,466



NOT TO SCALE



LEGEND

- 00% - PERCENT DISTRIBUTION
- % - LESS THAN 5%

Proposed Residential Development
Algonquin, Illinois

Estimated Directional Distribution



4. Projected Traffic Conditions

The total projected traffic volumes include the base traffic volumes, increase in background traffic due to growth, and the traffic estimated to be generated by the proposed subject development.

Development Traffic Assignment

The estimated weekday morning and evening peak hour traffic volumes that will be generated by the proposed development were assigned to the roadway system in accordance with the previously described directional distribution (Figure 5). The traffic assignment for the residential development is illustrated in **Figure 6**.

Background (No-Build) Traffic Conditions

The base traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on 2050 Annual Average Daily Traffic (AADT) projections provided by the Chicago Metropolitan Agency for Planning (CMAP) in a letter dated January 18, 2022, the Year 2022 base traffic volumes were increased by an annually compounded growth rate of approximately 0.5 percent for six years (one-year buildout plus five years) totaling approximately three percent to represent Year 2028 conditions. **Figure 7** illustrates the Year 2028 no-build traffic volumes. A copy of the CMAP 2050 projections letter is included in the Appendix.

Redistribution of Existing Traffic Volumes

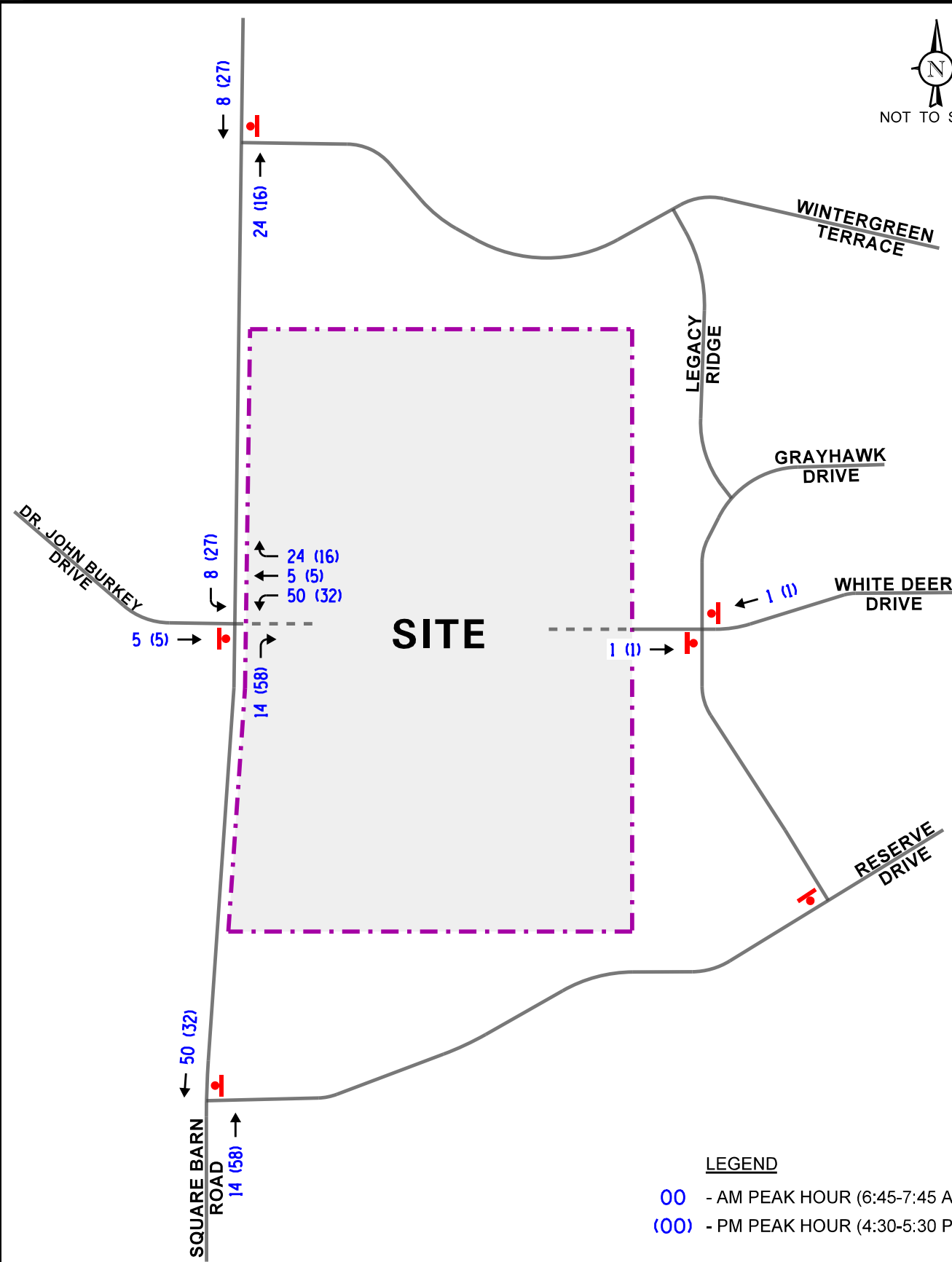
As indicated previously, with the Square Barn Road access drive and the connection to the existing residential developments, it is anticipated that some of the existing residential traffic will choose to travel through the development as opposed to using Wintergreen Terrace or Reserve Drive when traveling to and from the west. As such, a portion of the existing residential traffic volumes were redistributed through the proposed development based on the existing traffic volumes and roadway system. **Figure 8** illustrates the redistribution of the existing traffic volumes.

Total Projected Traffic Volumes

The development-generated traffic was added to the base traffic volumes, the increase in background growth, and the redistribution of existing traffic to determine the Year 2028 total projected traffic volumes. **Figure 9** illustrates the Year 2028 total projected traffic volumes.



NOT TO SCALE



LEGEND

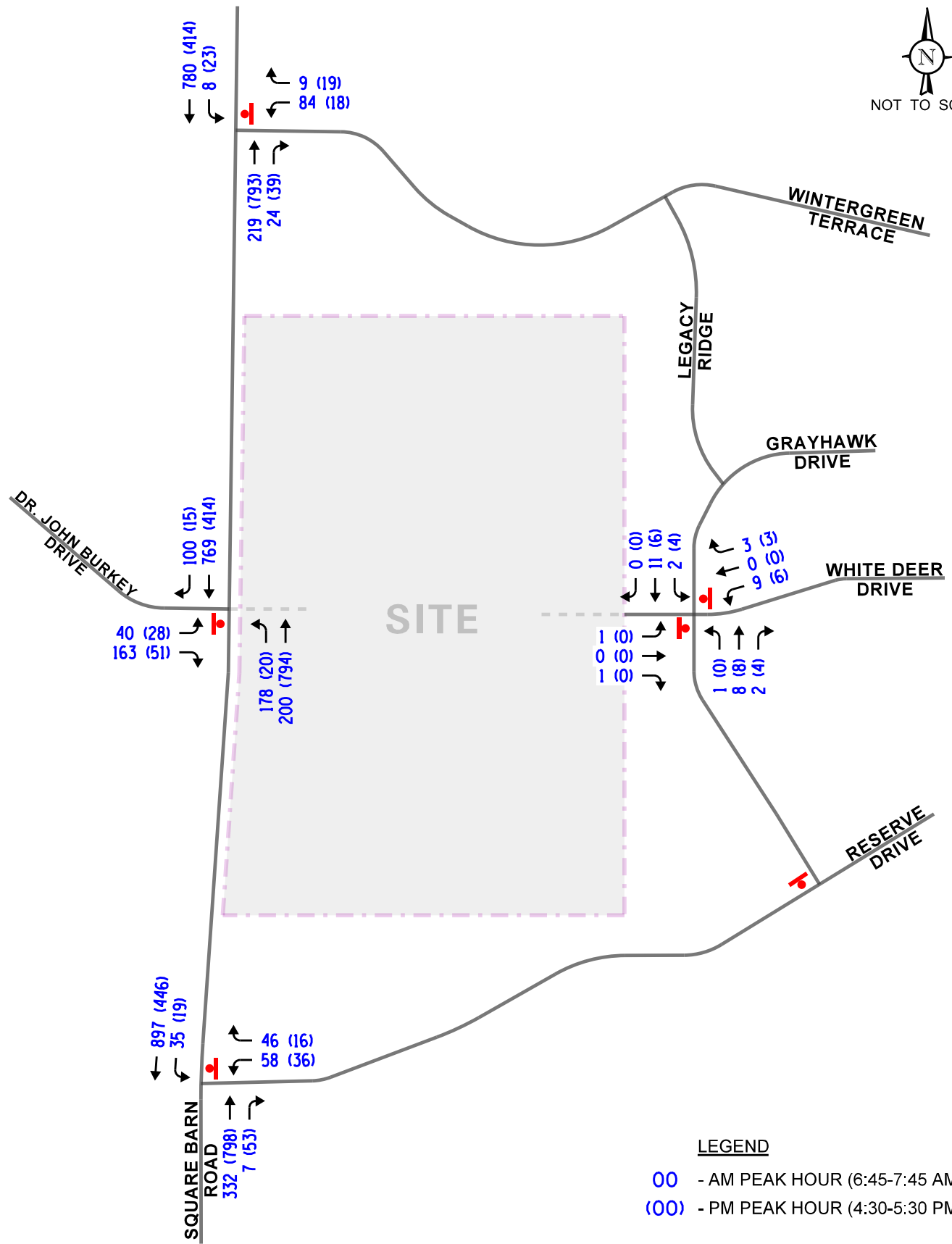
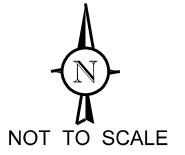
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- (00)** - PM PEAK HOUR (4:30-5:30 PM)

Proposed Residential Development
Algonquin, Illinois

Estimated Site-Generated
Traffic Volumes

KLOA
Kenig, Lindgren, O'Hara, Aboona, Inc.

Job No: 22-036 Figure: 6

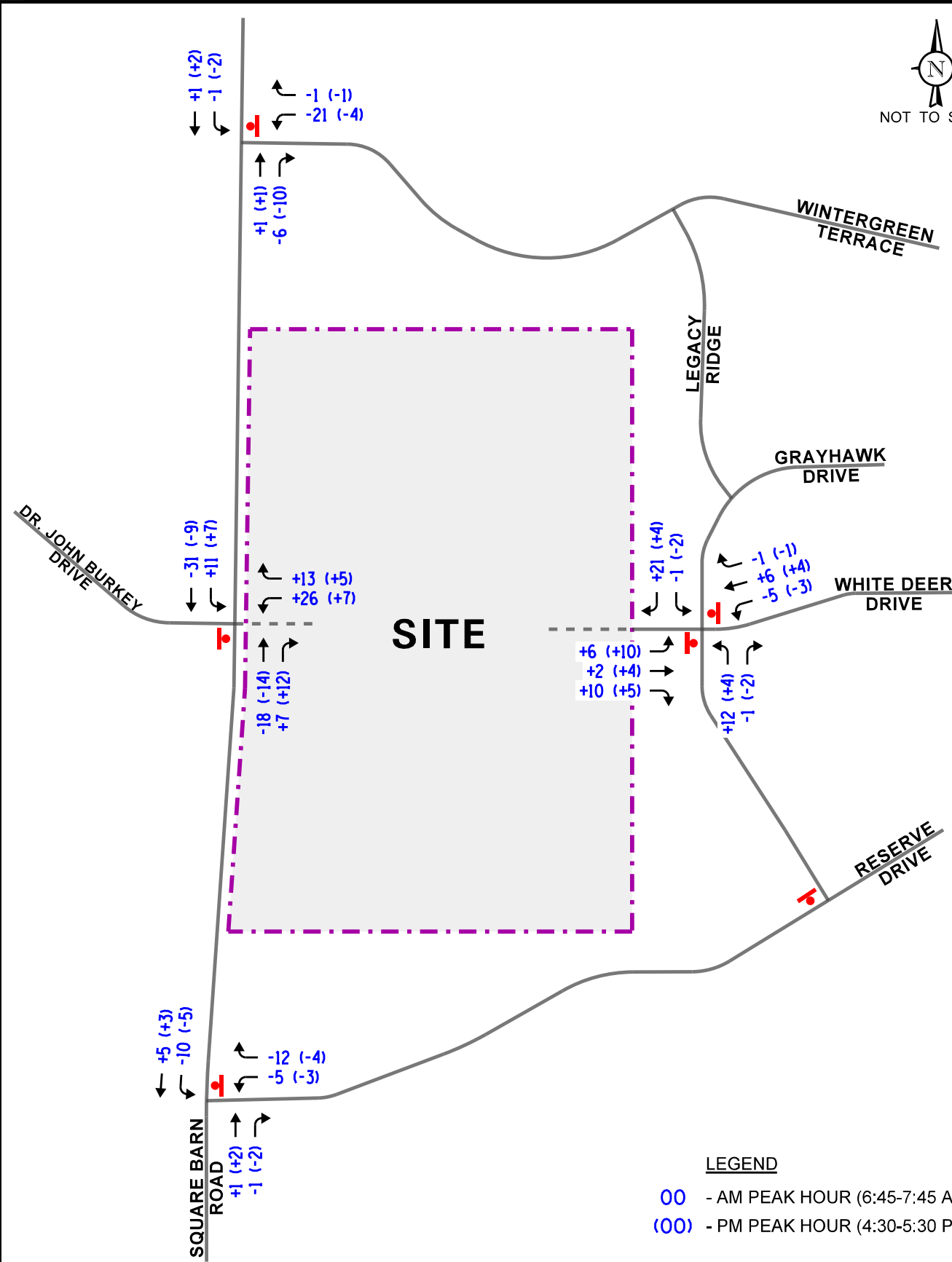


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- (00) - PM PEAK HOUR (4:30-5:30 PM)



NOT TO SCALE

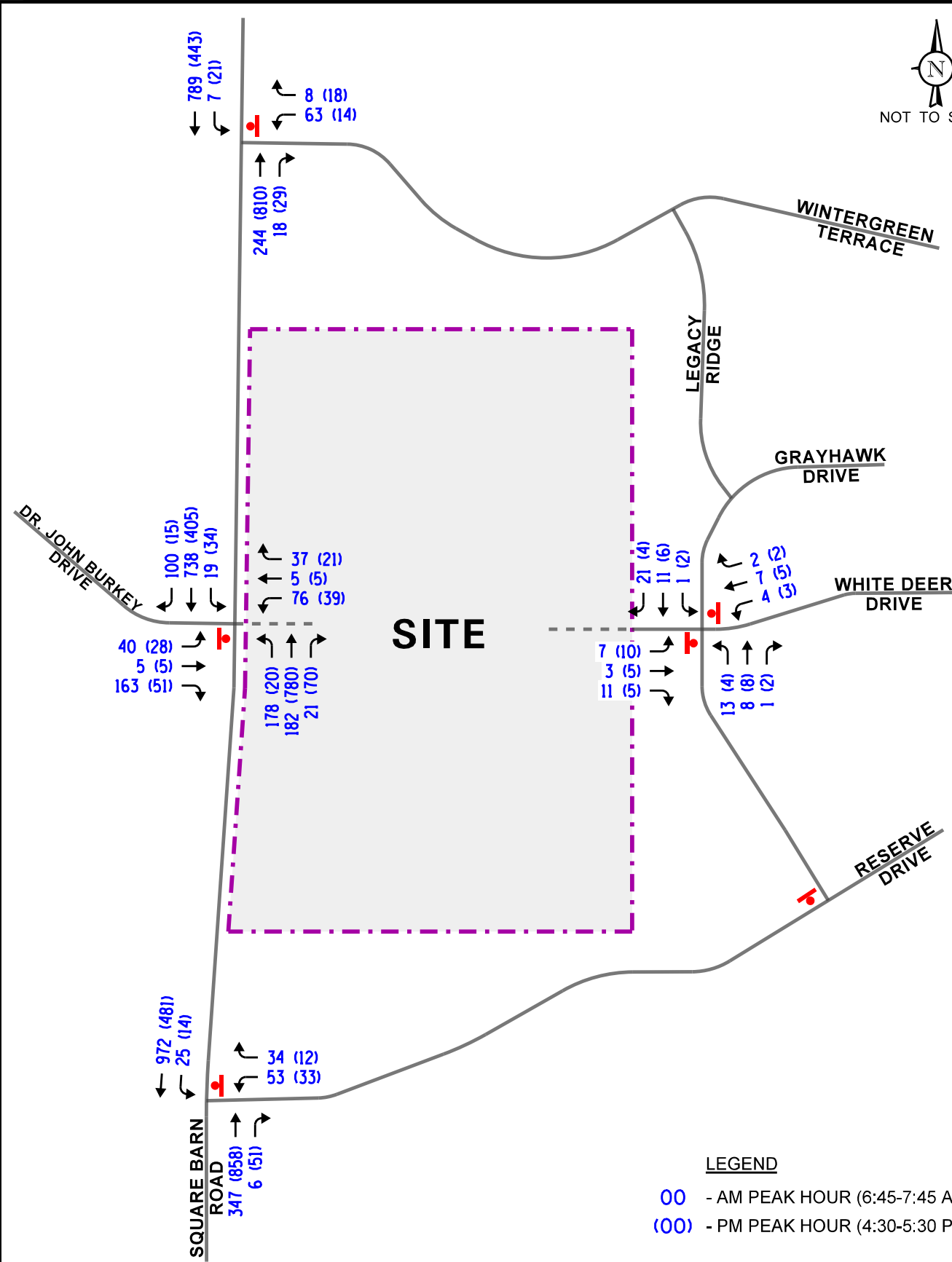


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NOT TO SCALE



LEGEND

- 00 - AM PEAK HOUR (6:45-7:45 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)

Proposed Residential Development
Algonquin, Illinois

Year 2028 Total Projected Traffic Volumes

KLOA
Kenig, Lindgren, O'Hara, Aboona, Inc.
Job No: 22-036 Figure: 9

5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and weekday evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modifications are required.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and weekday evening peak hours for the base (Year 2022), no-build (Year 2028), and future projected (Year 2028) traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 6th Edition and analyzed using Synchro/SimTraffic 11 computer software.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the Year 2022 base, Year 2028 no-build, and Year 2028 total projected conditions are presented in **Tables 2** through **4**. A discussion of the intersections follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 2
CAPACITY ANALYSIS RESULTS – YEAR 2022 BASE CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Square Barn Road with Wintergreen Terrace¹				
• Westbound Approach	D	26.7	C	22.2
• Southbound Left Turn	A	7.7	A	9.6
Square Barn Road with Dr. John Burkey Drive¹				
• Eastbound Left Turn	D	31.7	C	18.02
• Eastbound Right Turn	D	34.5	B	11.2
• Northbound Left Turn	B	13.2	A	8.4
Square Barn Road with Reserve Drive¹				
• Westbound Left Turn	D	19.4	C	19.0
• Westbound Right Turn	B	11.2	C	15.4
• Southbound Left Turn	A	8.4	A	9.8
Grayhawk Drive with White Deer Drive¹				
• Eastbound Approach	A	8.5	A	0.0
• Westbound Approach	A	8.8	A	8.6
• Northbound Left Turn	A	7.2	A	0.0
• Southbound Left Turn	A	7.2	A	7.2
LOS = Level of Service 1 – Two-way stop sign control Delay is measured in seconds				

Table 3
CAPACITY ANALYSIS RESULTS – YEAR 2028 NO-BUILD CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Square Barn Road with Wintergreen Terrace¹				
• Westbound Approach	D	28.2	C	23.2
• Southbound Left Turn	A	7.8	A	9.7
Square Barn Road with Dr. John Burkey Drive¹				
• Eastbound Left Turn	D	33.2	C	18.4
• Eastbound Right Turn	E	37.1	B	11.4
• Northbound Left Turn	B	13.6	A	8.5
Square Barn Road with Reserve Drive¹				
• Westbound Left Turn	D	30.4	C	19.4
• Westbound Right Turn	B	11.3	C	15.8
• Southbound Left Turn	A	8.4	A	9.9
Grayhawk Drive with White Deer Drive¹				
• Eastbound Approach	A	8.5	A	0.0
• Westbound Approach	A	8.8	A	8.6
• Northbound Left Turn	A	7.2	A	0.0
• Southbound Left Turn	A	7.2	A	7.2
LOS = Level of Service 1 – Two-way stop sign control Delay is measured in seconds				

Table 4

CAPACITY ANALYSIS RESULTS – YEAR 2028 TOTAL PROJECTED CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Square Barn Road with Wintergreen Terrace¹				
• Westbound Approach	D	26.0	C	22.8
• Southbound Left Turn	A	7.8	A	9.7
Square Barn Road with Dr. John Burkey Drive¹				
• Eastbound Left Turn	F	99+	F	51.2
• Eastbound Through/Right Turn	E	45.0	B	13.7
• Westbound Left Turn	F	99+	F	65.2
• Westbound Through/Right Turn	C	19.6	C	19.6
• Northbound Left Turn	B	13.1	A	8.4
• Southbound Left Turn	A	7.8	A	9.9
Square Barn Road with Reserve Drive¹				
• Westbound Left Turn	D	31.9	C	20.4
• Westbound Right Turn	B	11.2	C	16.6
• Southbound Left Turn	A	8.4	B	10.1
Grayhawk Drive with White Deer Drive¹				
• Eastbound Approach	A	8.9	A	8.9
• Westbound Approach	A	9.4	A	9.0
• Northbound Left Turn	A	7.3	A	7.2
• Southbound Left Turn	A	7.2	A	7.2
LOS = Level of Service 1 – Two-way stop sign control Delay is measured in seconds				

Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identifies any roadway and traffic control improvements to accommodate the development-generated traffic.

Square Barn Road with Dr. John Burkey Drive/Proposed Access Drive

The results of the capacity analysis indicate that the eastbound left-turn movement currently operates at Level of Service (LOS) D during the weekday morning peak hour and at LOS C during the weekday evening peak hour. The eastbound right-turn movement currently operates at LOS D during the morning peak hour and at LOS B during the evening peak hour. The northbound left-turn movement currently operates at LOS B during the weekday morning peak hour and at LOS A during the weekday evening peak hour.

Under Year 2028 no-build conditions, the eastbound left-turn movement is projected to continue operating at LOS D during the weekday morning peak hour and at LOS C during the weekday evening peak hour. The eastbound right-turn movement is projected to operate at LOS E during the morning peak hour and at LOS B during the evening peak hour. The northbound left-turn movement is projected to continue operating at the current levels of service during both peak hours.

Access to the development is proposed to be provided via a full access drive located on the east side of Square Barn Road opposite Dr. John Burkey Drive. The proposed access drive will provide one inbound lane and two outbound lanes striped to provide an exclusive left-turn lane and a combined through/right-turn lane. In addition, the existing median along Square Barn Road will be restriped to provide an exclusive southbound left-turn lane serving the access drive. Further, the exclusive right-turn lane on Dr. John Burkey Drive will be restriped as a combined through/right-turn lane.

Under Year 2028 total projected conditions, the eastbound left-turn movement is projected to operate at LOS F during the weekday morning and evening peak hours. The eastbound through/right-turn movement is projected to operate at LOS E during the weekday morning peak hour and at LOS B during the weekday evening peak hour. The westbound left-turn movement is projected to operate at LOS F during both peak hours, the westbound through/right-turn movement is projected to operate at LOS C during both peak hours, and the northbound and southbound left-turn movements are projected to operate at LOS B or better during both peak hours.

In addition, the subject intersection was evaluated assuming the installation of a traffic signal in addition to the improvements proposed as part of the development. The results of the intersection capacity assuming the traffic signal are shown in **Table 5**. From Table 5 it can be seen that the intersection is projected to operate at an overall LOS C during the weekday morning peak hour and at an overall LOS B during the weekday evening peak hour. Further, all the intersection movements are projected to operate at LOS D or better during both the morning peak hour and LOS C or better during the evening peak hour. It should be noted that due to the surge of traffic generated by the schools during the morning drop-off and afternoon pick-up periods, several of the movements at this intersection will experience some additional delay and queueing. However, this is anticipated to only occur for a 15- to 20-minute period in the morning and in the afternoon and is inherent with most schools.

Table 5

CAPACITY ANALYSIS RESULTS – SQUARE BARN ROAD WITH DR. JOHN BURKEY DRIVE/PROPOSED ACCESS DRIVE SIGNALIZED

	Peak Hour	Eastbound			Westbound			Northbound			Southbound			Overall
		L	T	R	L	T	R	L	T	R	L	T	R	
Year 2028 Projected Traffic Volumes	Weekday Morning Peak Hour	C 32.6	B 16.1		D 36.9	B 18.2		D 40.7	A 9.6		A 6.3	C 33.9	A 2.9	C 27.0
		B – 19.2			C – 30.3			C – 24.1			C – 29.6			
	Weekday Evening Peak Hour	C 32.6	B 18.6		C 33.3	C 22.7		A 4.8	B 17.3		A 5.1	A 8.7	A 0.0	B 15.2
		C – 23.3			C – 29.1			B – 17.0			A – 8.1			
Letter denotes Level of Service Delay is measured in seconds.		L – Left Turn		R – Right Turn		T – Through								

To determine if a traffic signal is warranted at the subject intersection, the existing intersection traffic volumes were compared to traffic signal warrants provided in the *Manual of Uniform Traffic Control Devices* (MUTCD). The results of the comparison, which are shown in the Appendix, revealed that the existing traffic volumes meet Warrant 2 (Four-Hour Volumes) and Warrant 3 (Peak Hour Volumes). As such, a traffic signal is warranted at the subject intersection under existing conditions. In addition to enhancing the operation of the intersection, the installation of the traffic signal will provide the following additional benefits:

- The traffic signal will provide for controlled pedestrian/bicycle crosswalks on Square Barn Road and the access drive. With the completion of the development, this intersection is anticipated to be the main pedestrian crossing between the school campus on the west side of Square Barn Road and the residential areas on the east side of Square Barn Road.
- The traffic signal will provide more efficient access to and from the school bus yard located on Dr. John Burkey Drive. Given the three schools and the bus yard, the intersection carries a higher volume of school bus traffic.

Square Barn Road with Wintergreen Terrace

The results of the capacity analysis indicate that the westbound approach currently operates at LOS D during the weekday morning peak hour and at LOS C during the weekday evening peak hour. The southbound left-turn movement currently operates at LOS A during both peak hours.

Under Year 2028 no-build conditions, the westbound approach and southbound left-turn movement are projected to continue operating at the current levels of service, with increases in delay of less than one second.

Under Year 2028 total projected conditions, the westbound approach is projected to continue operating at LOS D during the weekday morning peak hour and at LOS C during the weekday evening peak hour. The southbound left-turn movement is projected to continue operating at LOS A during both peak hours.

As such, this intersection has sufficient capacity to accommodate the traffic estimated to be generated by the proposed development and no roadway or traffic control improvements will be required.

Square Barn Road with Reserve Drive

The results of the capacity analysis indicate that the westbound left-turn movement currently operates at LOS D during the weekday morning peak hour and at LOS C during the weekday evening peak hour. The westbound right-turn movement currently operates at LOS B during the morning peak hour and at LOS C during the evening peak hour. The southbound left-turn movement currently operates at LOS A during both peak hours.

Under Year 2028 no-build conditions, the westbound left-turn movement is projected to continue operating at LOS D during the weekday morning peak hour and at LOS C during the weekday evening peak hour. The westbound right-turn movement is projected to continue to operate at LOS B during the weekday morning peak hour and at LOS C during the evening peak hour. The southbound left-turn movement is projected to continue to operate at LOS A during both peak hours.

Under Year 2028 total projected conditions, the westbound left-turn movement is projected to continue to operate at LOS D during the weekday morning peak hour and at LOS C during the weekday evening peak hour. The westbound right-turn movement is projected to continue to operate at LOS B and LOS C during the weekday morning and evening peak hours, respectively. The southbound left-turn movement is projected to operate at LOS B or better during both peak hours.

As such, this intersection generally has sufficient reserve capacity to accommodate the traffic projected to be generated by the development and no roadway or traffic control improvements will be required.

Grayhawk Drive with White Deer Drive

The results of the capacity analysis indicate that the eastbound and westbound approaches currently operate at LOS A during the weekday morning and evening peak hours. The northbound and southbound left-turn movements currently operate at LOS A during both peak hours.

Under Year 2028 no-build conditions, all approaches and movements are projected to continue operating at LOS A during the weekday morning and evening peak hours.

Under Year 2028 total projected conditions, the eastbound and westbound approaches are projected to continue operating at LOS A during the weekday morning and weekday evening peak hours. The northbound and southbound left-turn movements are projected to continue operating at LOS A during both peak hours.

As such, this intersection has sufficient reserve capacity to accommodate the traffic projected to be generated by the development and no roadway or traffic control improvements will be required.

6. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- Access to the development is proposed via the following two access drives:
 - A full access drive located on the east side of Square Barn Road opposite Dr. John Burkey Drive. The proposed access drive will provide one inbound lane and two outbound lanes striped to provide an exclusive left-turn lane and a combined through/right-turn lane. In addition, the existing median along Square Barn Road will be restriped to provide an exclusive southbound left-turn lane serving the access drive. Further, the exclusive right-turn lane on Dr. John Burkey Drive will be restriped as a combined through/right-turn lane.
 - The extension of White Deer Drive, which currently terminates at the east side of the site, into the development. As proposed, the extension will provide one eastbound lane and one westbound lane.
- When the existing traffic volumes at the intersection of Square Barn Road with Dr. John Burkey Drive/proposed access drive are compared to the four-hour volumes and peak hour volumes traffic signal warrants published in the MUTCD, a traffic signal is warranted. In addition to improving the operation of this intersection, the installation of a traffic signal will provide for controlled pedestrian/bicycle crosswalks on Square Barn Road and the proposed access drive. With the completion of the development, this intersection is anticipated to be the main pedestrian crossing between the school campus on the west side of Square Barn Road and the residential areas on the east side of Square Barn Road.
- With the proposed improvements to be provided by the development and the installation of a traffic signal at the Square Barn Road/Dr. John Burkey Drive/proposed access drive, the proposed access system will be adequate in accommodating the traffic estimated to be generated by the proposed development and will ensure efficient and flexible access is provided.
- The existing roadway system has sufficient reserve capacity to accommodate the traffic to be generated by the development and no additional roadway or traffic control modifications are required.



Village of Algonquin

COMMUNITY DEVELOPMENT DEPARTMENT

(847) 658-2700 | permits@algonquin.org | www.algonquin.org
2200 Harnish Drive, Algonquin, IL

Date: June 15, 2022
To: John McFarland
From: Patrick M Knapp, AICP Senior Planner
Re: Village of Algonquin Staff Review for Westview Crossings, PZ-2022-04

Mr. McFarland,

This letter is to inform you that Staff has reviewed your third set of revised plans. Based on our review, Staff is recommending approval of your third set of revised plans. However, the comments and marked-up plans contained in this memorandum shall be addressed prior to submitting your Final PUD. Please note that additional comments and conditions may be added by the Village Board which must also be addressed in your Final PUD submission.

Patrick M. Knapp, AICP
Senior Planner
Village of Algonquin Community Development Department
847.658.5808
patrickknapp@algonquin.org

Plan Name:		Preliminary Subdivision Plat	Date:	5/13/2022	
#	Page No.	Staff Comment	Type	Applicant Response	Status
1	1	Flip lot 123 and Outlot D to provide proper access to the well house, or	Required		
1.b	1	PW is willing to forgo dedication of current Outlot D for access if a small area at NE tip of Outlot E is dedicated to Village for the construction of a turnaround at the end of the existing service road.	Required		
2	1	What is the meaning of this darker line?	Required		
3	1	Locations of required subdivision monuments (2) are missing from plat.	Required		
4	1	Relocate sidewalk crossing to the north side of intersection of Ellis Rd & West Point Cir as engineer has relocated location of driveway.	Required		
5	1	Relocate sidewalk crossing to south side of intersection of West Point Cir & Rhineback Way due to revised location of driveway.	Required		
6	1	Delete land connection to West Point Circle and redistribute land to lots 93-97 at discretion of developer. An enlarged sideyard easement will need to be dedicated thru lot 97 for the proposed storm sewer	Required		
7	1	Road names still need to be approved by Village Staff and Huntley FPD	Note		

Plan Name:		Preliminary Civil Engineering	Date:	5/13/2022	
#	Page No.	Staff Comment	Type	Applicant Response	Status
1	1	Flip lot 123 and Outlot D to provide proper access to the well house, or	Required		
1b	1	PW is willing to forgo dedication of current Outlot D for access if a small area at NE tip of Outlot E is dedicated to Village for the construction of a turnaround at the end of the existing service road.	Required		
2	1	Relocate sidewalk crossing to the north side of intersection of Ellis Rd & West Point Cir as engineer has relocated location of driveway.	Required		
3	1	Relocate sidewalk crossing to south side of intersection of West Point Cir & Rhineback Way due to revised location of driveway.	Required		
4	1	Engineer to verify value of T/F of Lot 97	Required		
5	1	Specify fittings at all locations (typical).	Required		
6	1	Final engineering to include soil borings taken along the proposed roadway alignment at 400'-500' spacing to determine if any additional sub-grade preparation measures are required to construct the roadways properly.	Required		
7	1	Standard detail for sump pump connection structure shall be added to the final engineering plans.	Required		
8	1	All structures shall have openings for sump pump discharge lines cast into them for use with flexible connectors. The invert of the sump pump lines shall be above the flow line of sewer (minimum). Use of 4' diameter manhole is required when more than 2 sump lines are connected.	Required		
9	1	Flagging for existing underdrain was removed from plan sheet. Final engineering shall include the removal of the existing underdrain pipe to protect future basements.	Required		
10	1	Final engineering to include details on how existing underdrain underlying pond footprint will be plugged to prevent leakage from bottom of pond.	Required		
11	1	Move streetlight at NW corner of Ellis Rd & John Burkey Dr to opposite side of street.	Required		
12	1	New light pole location will encroach upon sanitary service line for Lot 117. Relocate light pole as required.	Required		
13	1	Relocate manhole to the north and out of proposed driveway apron of Lot 111	Required		

14	1	Pave existing access road to Well 13. Project to include storm sewer extension to improve drainage at well site.	Required		
15	1	Soils report states that soils are poor at pond bottom elevation. Final engineering to include details on how pond bottom will be stabilized.	Required		
16	1	The engineer shall obtain concurrence letter from the IDNR that embankment that impounds water is a Class III, no permit required dam.	Required		
17	1	Location of control structure shall be within Outlot E and not within roadway right-of-way.	Required		
18		Delete land connection to West Point Circle and redistribute land to lots 93-97 at discretion of developer. An enlarged sideyard easement will need to be dedicated thru lot 97 for the proposed storm sewer	Required		

Plan Name:	Autoturn Exhibit	Date:	5/10/2022		
#	Page No.	Staff Comment	Type	Applicant Response	Status
1	General	No Comments	Note		

Plan Name:		Landscape Plan	Date:	5/11/2022	
#	Page No.	Staff Comment	Type	Applicant Response	Status
1	General	Public Works staff reserves the right to approve final design of park improvements and pathways. Conceptual drawing shows desired park elements, but no necessarily in locations recommended by staff.	Note		

Plan Name:	Home Floorplans & Elevations	Date:	5/16/2022		
#	Page No.	Staff Comment	Type	Applicant Response	Status
1	General	No Comments	Note		



STAFF REPORT FROM THE DEPARTMENT OF COMMUNITY DEVELOPMENT

Jason C. Shallcross, AICP
Director of Community Development

Patrick M. Knapp, AICP
Senior Planner

Date: April 22, 2022

Case Number:
PZ 2022-04

Applicant/Property Owner:
CalAtlantic Group, Inc./Jack Lucania, Court Appointed
Independent Administrator for the Estate of D. SanGiorgio

Public Hearing Date:
May 9, 2022

Property Address/Location:
East Side of Square Barn Road Across From Dr. John Burkey Dr.

Brief Summary of Request and Background

CalAtlantic Group Inc, (a Lennar Corporation), the “Petitioner”, applied for Annexation, Preliminary PUD Plat, Preliminary PUD Plan, and Rezoning upon annexation for the 59.4 acre property located on the east side of Square Barn Road and across from Dr. John Burkey Drive as shown in the Preliminary PUD Plat and PUD Plan as “Westview Crossing” referred herein as the “Subject Property.” Proposed site improvements include 150 single family home lots, a public park with a playground, 3 stormwater basins, and related improvements including public utilities, public roads, sidewalks, a multiuse path along Square Barn Road, and a traffic signal at Square Barn Road and Dr. John Burkey Drive.

Staff supports the Petitioner’s requests, subject to the conditions listed in this report, as the proposal satisfies the long-term goals of the Village’s Comprehensive Plan and Future Land Use Map.



Existing Zoning	Existing Land Use/Improvements	Surrounding Zoning & Land Use	Property Size
A1, Agriculture Unincorporated	Agriculture	North: R-1E Residential East: R-1E Residential South: R-1E Residential West: R-1E Huntley School District Campus	59.4 ac

Staff Recommendation Summary

Approve

Deny

Approve with Conditions

Discussion of Staff Recommendation

CalAtlantic Group Inc, (a Lennar Corporation), the “Petitioner”, applied for Annexation, Preliminary PUD Plat, Preliminary PUD Plan, and Rezoning upon annexation for the 59.4 acre property located on the east side of Square Barn Road and across from Dr. John Burkey Drive as shown in the Preliminary PUD Plat and PUD Plan as “Westview Crossing” referred herein as the “Subject Property.” The Subject Property is currently unimproved, agricultural land that is zoned A1-Agricultural, and is located in unincorporated McHenry County. The proposal includes 150 single family home lots, a public park with a playground, 3 stormwater management areas, and related improvements including public utilities, public roads, sidewalks, a multiuse path along Square Barn Road, and a traffic signal at Square Barn Road and Dr. John Burkey Drive.

Annexation – The total acreage of the Subject Property to be annexed into the Village from unincorporated McHenry County is 59.4 acres with an additional 1.49 acres from the annexation of Square Barn Road. Below is a breakdown of the acreage to be annexed.

Table 1: Areas to be Annexed into the Village of Algonquin

Residential Acreage:	35.77 acres
Internal Road ROW:	11.45 acres
Square Barn Road ROW:	1.49 acres
Common Open Space:	11.14 acres
Park Space:	1.02 acres
Total Annexed Area:	60.87 acres

Preliminary PUD Plat – The Subject Property currently exists as two parcels (PINs 18-36-300-015 and 18-36-300-016) that would be resubdivided into 150 single family lots and 5 outlots that would be utilized for stormwater management, green infrastructure, and public access and amenities. In addition, 11.45 acres would be dedicated to Square Barn Road and the internal public roadway system.

Rezoning – The current zoning of the Subject Property is A1-Agricultural which is a zoning designation in unincorporated McHenry County. All adjacent property surrounding the Subject Property is zoned R1-E which requires the largest minimum lot size and setbacks. However, there are adjacent lots that do not meet the required lot size and setbacks of the R1-E Zoning District and some that do not even meet the bulk requirements of the R-2 Zoning District which allows for the smallest lot size. See Tables 2 and 3 below.

Table 2: Bulk Limits for R-1E and R-2 Zoning

	Min. Sq Ft	Min. Lot Width
R-1E Zoning	18,000	100 ft
R-2 Zoning	8,700	66 ft

Table 3: Adjacent Lot Sizes

	Lot Size Information			Lot Width <i>Measured at building setback line</i>		
	Min.	Avg.	Max.	Min.	Avg.	Max.
Adjacent Lots to the North	18,047 sq ft	22,149 sq ft	29,117 sq ft	82 ft	97 ft	112 ft
Adjacent Lots to the East	17,143 sq ft	20,726 sq ft	27,855 sq ft	85 ft	1.5 ft	140 ft
Adjacent Lots to the South	7,172 sq ft	10,683 sq ft	19,073 sq ft	54 ft	68 ft	82 ft
Westview Crossing	8,890 sq ft	10,390 sq ft	24,563 sq ft	66 ft	70 ft is typical	

Based on the lot size information in Tables 2 and 3, the lot sizes proposed on the Subject Property are most comparable to the adjacent lots to the south of the subdivision, but not out of character with the subdivisions to the east or north. The Petitioner is requesting that the Subject Property be rezoned as R-2 One-Family Dwelling Zoning District. All lots are proposed to meet the R-2 Zoning District setbacks of 7 ft minimum side yard and 30

ft minimum front, rear, and corner side yards. The lots on the northern and eastern periphery of the Subject Property have been enlarged so that they are more compatible with the adjacent subdivisions.

Preliminary PUD Plan & Engineering – Proposed public roadway improvements include the extension of Dr. John Burkey Drive and White Deer Drive into the proposed subdivision as well as three additional public roads which total approximately 1.5 miles of new public roadway. These will connect the Subject Property to Square Barn Road to the west and to The Coves subdivision to the east. It is not possible to connect the Subject Property to the subdivisions north and south due to a lack of connection points in the existing subdivisions. All streets within the Subject Property meet the Village’s standard for a Local Street which is a minimum 66-foot ROW and a minimum pavement width of 31 feet back of curb to back of curb. A 31-foot pavement width allows for parking on both sides of the street. Street lighting is also included along the roadway and staff will ensure that the lighting meets Village standards prior to final approval.

Driveways within the subdivision will be at least 30 feet long (the required building setback) between the garage and the sidewalk and at least 20 feet wide. Sidewalks will be included on both sides of every roadway and at least two crosswalks will be provided at all “T” intersections. Mailbox locations have not yet been provided. Staff recommends the Petitioner work with the local Post Office to find out if they require individual mailboxes or Cluster Box Units (CBUs) to centralize and speed up delivery. Should CBUs be preferred, the Petitioner shall include the location(s) of the CBUs in their Final Planned Development submittal.

Square Barn Road will also be improved to meet the design standards of an urban cross-section along the entire length of the subdivision, and; the existing multiuse path will be extended from Dr. John Burkey Drive to Reserve Drive along the east side of Square Barn Road. The Traffic Study has indicated that a traffic signal is currently warranted at Square Barn Road and Dr. John Burkey Drive due to a.m. and p.m. school traffic, therefore the Petitioner has agreed to improve this intersection with a traffic signal as part of their overall improvements to Square Barn Road. See the Traffic section below for additional details.

The Petitioner will also be constructing three stormwater management facilities in the Westview Crossing subdivision, labeled as Outlots B, C, and E on the Site Plan, which will total approximately 11 acres. Outlot C is proposed to be a naturalized wet bottom management area and will be dedicated to the Village of Algonquin for future ongoing maintenance. The Village is requesting a wooden split rail fence be constructed around Outlot C to protect the integrity of the naturalized area and plantings.

Utilities to be constructed by the developer for the development will include water, fire hydrants, storm sewer, sanitary sewer, and street lights.

Traffic – A Traffic Impact Study was prepared by KLOA (Kenig, Lindgren, O’Hara, Aboona, Inc.) which analyzed the traffic impacts of the proposed development. KLOA analyzed existing roadway conditions, vehicle trip generation for the proposed development, future traffic conditions, and weekday morning and weekday evening peak hour conditions.

The Traffic Impact Study by KLOA found that a traffic signal is currently warranted at Square Barn Road and Dr. John Burkey Drive even without the proposed development on the subject property because of the existing four-hour volumes of school traffic during the a.m. and p.m. peak hour periods. Due to the existing warrant and the level of service, “LOS”, not improving if the subdivision is constructed, the Petitioner is proposing to construct a traffic signal at the intersection of Square Barn Road and Dr. John Burkey Drive.

The construction of the traffic signal will improve the LOS of the intersection for vehicles exiting the Huntley School District property on Dr. John Burkey Drive. Based on the future year 2028, the projected no-build condition of the eastbound left turns (LOS E) and right turns (LOS D) is considered an excessive delay. With the installation of the traffic signal and the construction of Westview Crossing, the projected build condition of the eastbound left turns (LOS C) and eastbound right turns (LOS B) is improved to a satisfactory level with minimal

delay. With a traffic signal, northbound and southbound Square Barn Road thru traffic will operate at a LOS A through C (depending on the time of day) which is considered satisfactory.

Full intersection improvements will include 1) the striping of a southbound left turn lane in the exiting striped median on Square Barn Road, 2) converting the eastbound right turn lane on Dr. John Burkey Drive to a right turn/through lane, 3) including a right turn/through lane and left turn lane at the new westbound exit from the subdivision, and 4) providing a crosswalk with countdown timers across the north and east legs of the intersection to increase the safety of pedestrians and bicyclists using the multiuse path along Square Barn Road and also creates a safer street crossing to access the school property from neighborhoods to the south and east.

Preliminary Landscape Plan – The Westview Crossing subdivision will include two stormwater management areas on the northwest and southeast corners of the development and one large naturalized stormwater management area in the center of the subdivision that will be dedicated to the Village after three years of successful upkeep. A 1-acre public park with amenities will also be included on the west side of the naturalized management area.

In addition, street trees will be planted along the roadways throughout the subdivision and additional trees will be planted along Square Barn Road to screen the adjacent homes from the roadway. Two evergreen trees are proposed in the backyards of lots 11-24 and 98-122 to increase the screening between the existing adjacent subdivisions and Westview Crossing. The petitioner is proposing to fully landscape the front and rear yards of each new home.

Subdivision Identification – A 103.5 square foot monument sign is proposed to be constructed at the southeast corner of the intersection of Square Barn Road and Dr. John Burkey Drive. This sign exceeds the allowable square footage by 71.5 square feet and is 9” higher than the allowable height. The monument sign is proposed to be decorated with cultured stone veneer and will feature a precast concrete sign panel and precast concrete cap. The appropriate amount of landscaping has been provided around the monument sign.

Preliminary Elevations – The Westview Crossing proposal includes 6 different model homes – Adams, Biscayne, Bryce, Rainer, Santa Rosa, and Sequoia. There are 5 elevations included for each model – D, E, F, G, and H – however, the Petitioner will no longer be pursuing elevation “D” due to feedback from staff. The square footage of the homes range from 2,148 square feet (Adams Model) to 3,237 square feet (Sequoia Model) and will include 3 or 4 bedrooms depending on the home model. To achieve a variety of home types and avoid monotony, the Petitioner is proposing that a minimum of 20% of all homes in Westview Crossing have masonry on 40% or more of the front elevations and would include stone or cultured stone wainscot across the entire front of the “E” elevations.

All models will include

- 30-year architectural shingles
- Maintenance free aluminum soffit, fascia, and gutter
- .042 inch premium grade vinyl siding with double 5 exposure with multiple color options
- Full thickness face brick on front elevations
- Cast Stone on front elevations
- 4” window surrounds and/or shutters at front elevations
- Front elevations supplemented by dormers, porch columns, pillars, and decorative garage doors
- Corbeling, brackets, decorative gable vents, shakes, and battens
- In-glass window grills on front, side, and rear elevations

Phasing Plan – At this time, it is the developer’s intention to build the entirety of Westview Crossing at one time.

Findings of Fact

Staff has reviewed the Petitioner's request and is supportive. The following findings of fact should be accepted if the Commission recommends approval of the Preliminary PUD Plat, Rezoning upon Annexation, and Preliminary PUD Plan:

1. The proposed uses of the Subject Property are appropriate and desirable in this location and will be compatible both with the Comprehensive Plan designation and surrounding uses. The proposed uses will contribute to the general welfare of the neighborhoods around Square Barn Road;
2. The proposed uses of this site will not be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity, or injurious to the property values or improvements in the vicinity;
3. The proposed uses will comply with all zoning requirements of the Village and conditions stipulated as part of the approval. The Subject Property is proposed to be zoned R-2 Residential - One Family Dwelling. The proposed single-family homes are allowed in the R-2 Zoning District.

Staff Recommendation

Staff recommends approval of the Preliminary PUD Plat, Rezoning upon annexation, and Preliminary Planned Unit Development Plan consistent with the findings of fact outlined above, and subject to the conditions listed below. Based on these findings, staff recommends that the Planning and Zoning Commission make a motion to adopt staff's findings as the findings of the Planning and Zoning Commission and recommend **approval** of the following motion:

1. "To approve the Preliminary PUD Plat titled "Preliminary Subdivision Plat and P.U.D. for Westview Crossing", as prepared by Cemcon, Ltd, with the latest revision date of March 29, 2022, approve Rezoning upon annexation wherein the proposed subdivision will be zoned R-2 Residential, and approve a Preliminary Planned Unit Development Plan for the Subject Property located on the east side of Square Barn Road and across from Dr. John Burkey Drive referred to as the "Westview Crossing," as outlined in the staff report for case PZ 2022-04, subject to the following conditions:
 - a. That site construction, utility installation, and grading shall not commence until a Final Plat and Final PUD Plan have been approved by the Planning and Zoning Commission and the Village Board in substantial conformity to the Preliminary PUD Plan and Preliminary PUD Plat, a Site Development Permit has been issued by the Village, and water and sanitary sewer permits have been issued by the Illinois Environmental Protection Agency;
 - b. The developer shall dedicate approximately 4.6 acres of their proposed open space areas – Outlot C in the center of the Subject Property - to the Village for maintenance and ownership as a naturalized area. The developer shall have an ecological firm prepare a design and perform the initial installation and establishment of the native areas for a minimum of three years, prior to turning the land over to the Village;
 - c. The Home Floorplans and Elevations, as prepared by Lennar, with the latest revision date of February 28, 2022, shall be revised to remove Elevation "D" and include stone or cultured stone wainscot across the entire front elevation of the "E" Elevations from all home models;
 - d. The Petitioner shall address the items in the attached Staff Memorandum dated April 18, 2022, reach out to the local Post Master to see if they prefer individual mailboxes or Cluster Box

Units, and provide roadway photometrics in accordance with the Village public street light standards, prior to Final Plat and Final PUD submittal;

- e. The Petitioner shall use conservation design principles in the final design of the naturalized stormwater management area located in Outlot C;
- f. The Village will require the provision for a private Owners Association(s) to regulate and maintain the common elements of this development. The developer shall submit, with the Final Plat, a set of restrictive covenants and conditions for the entire development to address issues including, but not limited to, easements and access to common areas, common area property maintenance, stormwater detention, restrictions on the rental of dwellings, the parking of boats and RVs, anti-monotony provisions, and similar restrictions and joint responsibilities between the owners. The covenants shall be subject to review and approval by the Community Development Director prior to recording the Final Plat;
- g. Street names are subject to final review and approval by the Public Works Director and the Huntley Fire Department;
- h. A back-up Special Service Area shall be required for the stormwater detention facilities to be retained and maintained by the subdivision's HOA.

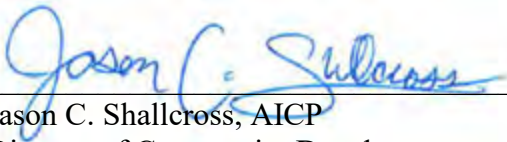
The Village Board's decision is final for this case.

Attachments:

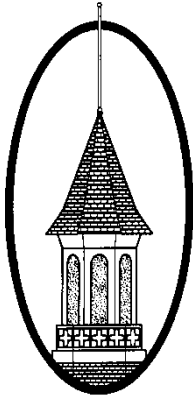
Administrative Content
April 18, 2022 Staff memorandum

Plans
Survey, Annexation Plat, Preliminary Plat, Elevations,
Engineering Landscaping, Traffic Study

I concur:



Jason C. Shallcross, AICP
Director of Community Development



Village of Algonquin

The Gem of the Fox River Valley

Planning and Zoning Commission Minutes May 9, 2022

Roll Call - Establish Quorum

Chair Patrician called the meeting to order at 7:00 pm.

Community Development Deputy Director Natalie Zine called the roll to check attendance. All seven commissioners were present and could hear and be heard:

- Chair Patrician
- Commissioner Neuhalfen
- Commissioner Kennealy
- Commissioner Laipert
- Commissioner Rasek
- Commissioner Sturznickel
- Commissioner Szpekowski

Members absent: None

Staff Present: Community Development Deputy Director Natalie Zine, Senior Planner Patrick Knapp, and Attorney Brandy Quance

Public Comment

Chair Patrician asked for public comments.

Approval of Minutes

Chair Patrician asked for approval of the March 14, 2022, Planning and Zoning Commission minutes. A motion from Commissioner Kennealy and seconded by Commissioner Rasek to approve the minutes was made. The motion was approved on a 7-0 vote.

Public Hearing Case Number PZ-2022-04

Request for Preliminary Planned Development Plat, Rezoning Upon Annexation, and Preliminary Planned Unit Development Plan for Westview Crossing

John McFarland, the Petitioner, presented an overview of their request for Preliminary Planned Development Plat, Rezoning Upon Annexation, and Preliminary Planned Unit Development Plan Subject Property. Village Staff also presented an overview of the request.

Commissioner Rasek asked about the need for a crossing guard and the Petitioner responded by stating that the Huntley School District would bus students in Westview Crossing.

Commissioner Szpekowski asked about the landscaping on the perimeter of the development. Rich Olson, representing the Petitioner in regards to landscaping, responded that the landscaping would be emphasized along a berm separating Westview Crossing and Square Barn Road. The Petitioner also stated that landscape screening between single-family residential uses is not typical, but they are accommodating the neighbors to the east and north with larger lots and 2 trees in the rear.

Chair Patrician asked about the continuation of the berm along Square Barn Road to the coves in the south. The Petitioner stated that they would take a look at the berm and make sure it transitions properly.

Commissioner Kennealy requested info about the timeline for the project. The Petitioner stated that the project would begin construction later this year with the first home construction starting next Spring. The full buildout would be approximately 4 years. Commissioner Kennealy also asked about the common areas and asked for clarification on which areas were public and which were going to be maintained by the HOA. The Petitioner stated that the park and naturalized detention would be dedicated to the Village Of Algonquin and the rest would be maintained by the HOA.

Commissioner Laipert asked where people will park when they visit the public park. The Petitioner stated that the park is meant to be a local neighborhood park and is built with the intention that residents walk. The Petitioner did note that there will be available on-street parking. Commissioner Laipert was also concerned about only two entrances to the subdivision and the risk of vehicles backing up. The Petitioner stated that the warranted traffic signal will allow the residents to safely exit the subdivision.

Chair Patrician asked about the anti-monotony provisions. The Petitioner stated that they have standards and would have staff review the standards prior to Final Approval.

Chair Patrician called for the public comment to be open. No one from the audience commented.

Commissioner Kennealy requested additional information regarding HOAs and stated his disapproval of HOAs. Staff was directed to get back to Commissioner Kennealy on the cost for the Village Of Algonquin to maintain all of the outlots.

Motion was made by Commissioner Rasek and seconded by Commissioner Laipert to accept the Findings of Fact as stated in the staff report for Case PZ-2022-04 and to approve the Preliminary PUD Plat titled “Preliminary Subdivision Plat and P.U.D. for Westview Crossing”, as prepared by Cemcon, Ltd, with the latest revision date of March 29, 2022, approve Rezoning upon annexation wherein the proposed subdivision will be zoned R-2 Residential, and approve a Preliminary Planned Unit Development Plan for the Subject Property located on the east side of Square Barn Road and across from Dr. John Burkey Drive referred to as the “Westview Crossing,” with the findings of fact and conditions outlined in the staff report. The motion was approved on a 7-0 vote.



Village of Algonquin

2200 Harnish Drive, Algonquin, IL
(847) 658-2700 | www.algonquin.org

AGENDA ITEM

<u>MEETING TYPE:</u>	Committee of the Whole
<u>MEETING DATE:</u>	June 21, 2022
<u>SUBMITTED BY:</u>	Jason C. Shallcross, AICP Patrick M. Knapp, AICP
<u>DEPARTMENT:</u>	Community Development
<u>SUBJECT:</u>	Approval of Final PUD Plat, Final PUD Plan, and Rezoning for Riverview Townhomes

ACTION REQUESTED:

Ed Kling, Inc., is requesting approval of a Final PUD Plat, Final PUD Plan, and Rezoning for the 0.32 acre property located at the northeast corner of Algonquin Road and River Road to allow for the consolidation of two (2) parcels into one, rezoning of the Subject Property from B-1 Limited Retail to O-T Old Town District, and construction of three (3) attached townhomes with guest parking.

BOARD/COMMISSION REVIEW

The Planning and Zoning Commission reviewed the request and held a Public Hearing for Final PUD Plat, Final PUD Plan, and Rezoning at the June 13, 2022, Planning and Zoning Commission Meeting (See the attached P&Z staff report for Case No. PZ-2022-01). No one from the public made comment at the Public Hearing.

After some discussion regarding the traffic patterns/concerns and the condition to require a HUD crime free lease addendum on all leases, the Planning and Zoning Commission accepted staff's findings as the findings of the Planning and Zoning Commission and recommended approval of the zoning requests (approved 5-1) subject to the following conditions:

- a. That site construction, utility installation, and grading shall not commence until all comments are addressed in the attached Staff Memorandum dated June 3, 2022, the retaining walls are designed by a Structural Engineer Licensed in the State of Illinois, a Site Development Permit has been issued by the Village, and water and sanitary sewer permits have been issued by the Illinois Environmental Protection Agency;
- b. Any satellite dishes or other appurtenances shall be restricted to the east or north walls, and shall not be visible from Algonquin Road or River Road;
- c. Leases shall be of a minimum term of 12 months and the owner shall include the HUD Crime Free Lease Addendum;

- d. Prior to any sale of individual units on the property, either a condominium declaration or covenants shall be prepared to regulate the maintenance and use of common areas, and shall be submitted to the Village for review and approval.

DISCUSSION:

History – The Planning and Zoning Commission held a public hearing on October 12, 2020, and unanimously approved a four (4) townhome project on the Subject Property. During the discussion at the Committee of the Whole meeting on October 20, 2020, the Committee of the Whole recommended that the development group revise their plans with the following improvements:

- Revised development showing less density
- Address the concerns pertaining to traffic, stormwater runoff, and grading
- Request rezoning to O-T

Following the October 2020 Committee of the Whole Meeting, the original Petitioner walked away from the project. The current Petitioner is now pursuing the development and had been directed by Staff to modify the 2020 proposal by:

- Reducing the overall density from four (4) to three (3) townhomes
- Providing guest parking on-site and efficient site circulation
- Addressing grading and stormwater concerns
- Improving the River Road access by moving the curb cut/access further north
- Providing an upscale design as well as increasing the architectural elements on the south elevation with brick and stone.

All of these conditions were understood by the new Petitioner and have been incorporated in the Petitioner's submittal.

Rezoning – The current zoning of the Subject Property is B-1 Limited Retail and is surrounded by residential on the north and east sides of the property, commercial on the south side of the property across Algonquin Road, and vacant property owned by IDOT on the west side of the Subject Property. Due to the slope, location, and size of the Subject Property, commercial use is not a viable option. The Petitioner is seeking to rezone the Subject Property as O-T Old Town Zoning District as required by the Village Code and by the direction given by the Village Board and Staff. The proposed townhomes meet all bulk regulations in the O-T Old Town Zoning District except for the minimum rear yard requirement, and that deviation from code is only six inches.

Engineering – The three townhomes are accessed on River Road by a single twenty-four-foot (24') wide driveway that leads to three (3) twenty-foot (20') long driveways and four (4) guest parking spaces. A five-foot (5') to nine-foot (9') tall retaining wall is required along the north and east sides of the Subject Property to stabilize the soil behind the townhomes.

In terms of water and sanitary sewer service, each townhome will have a separate connection to the watermain located under River Road and the sanitary sewer located in the parkway. All stormwater will be collected onsite and connect to the existing storm sewer under River Road.

A Traffic Impact Study was prepared by Eriksson Engineering Associates, LTD. (EEA) which analyzed the traffic impacts of the proposed development. EEA concluded that the development of the three (3) townhomes would not adversely impact the level-of-service of area intersections due to an average of only twenty (20) daily vehicle trips generated by the development.

Landscaping – The landscaping includes screening along River Road and Algonquin Road and additional plantings on the site. Dwarf Burning Bushes, Korean Boxwood, Japanese Yews, America Arborvitae, Victory Golden Privets, and a berm are proposed to screen the development and guest parking from the surrounding roadways. Additional plantings on the site include Knockout Roses, a Honey Locust tree, an Ornamental Pear tree, a Red Oak tree, and a Techny Arborvitae. A Red Maple tree is proposed in the parkway.

Due to the required grading of the Subject Property, all existing trees will need to be removed. A tree survey indicates that there are twelve (12) existing trees on the Subject Property with four (4) in good condition, five (5) in fair condition, and three (3) in poor condition. Of the fair and good condition trees, six (6) are desirable trees but the tree survey letter notes that the trees are overcrowded and not well maintained. The Public Works Department has approved the removal of all existing trees as a part of the overall landscape plan.

Townhome Elevations – The roof of the proposed townhomes will consist of architectural shingles and a portico over the front balcony located above the garage will be metal. The first and second floor elevations will be wrapped in tan plank siding and the third floor will have shake siding. The west and south elevations of the basement will be covered in stone veneer in a similar manner to the 2020 submittal and the north basement elevation will be covered in plank siding.

Due to the Subject Property's location in the Old Town District, a Certificate of Appropriateness (COA) is required to be issued before a building permit can be issued. The Subject Property had a COA hearing at the February 9, 2022, Historic Commission meeting where the Historic Commission recommend a COA with the condition that the Petitioner add vertical elements and hardware on the garage doors that imitate carriage house doors and incorporate non-removable mullions on the front windows. The Petitioner accepted the changes and included these elements in their latest architectural drawings.

RECOMMENDATION:

Staff recommends approval of the Final PUD Plat, Final PUD, and Rezoning as outlined in the staff report for case PZ-2022-01, subject to the following conditions, attachments, and staff approval of final engineering plans:

- a. The Final PUD Plat and Final PUD shall be in conformance with the Plat of Consolidation, the Architectural and Landscaping plans, and the Engineering Plans. These plans and documents shall be revised to address and satisfy all outstanding comments in the Staff Review Memo dated June 3, 2022;

- b. That site construction, utility installation, and grading shall not commence until all comments are addressed in the attached Staff Memorandum dated June 3, 2022, the retaining walls are designed by a Structural Engineer Licensed in the State of Illinois, a Site Development Permit has been issued by the Village, and necessary water and sanitary sewer permits have been issued by the Illinois Environmental Protection Agency;
- c. Any satellite dishes or other appurtenances shall be restricted to the east or north walls, and shall not be visible from Algonquin Road or River Road;
- d. Leases shall be of a minimum term of 12 months and the owner shall include the HUD Crime Free Lease Addendum;
- e. Prior to any sale of individual units on the property, either a condominium declaration or covenants shall be prepared to regulate the maintenance and use of common areas, and shall be submitted to the Village for review and approval.

ATTACHMENTS:

- Exhibit A Legal Description
- Exhibit B Plat of Survey as prepared by Compass Surveying Ltd, with the latest revision date of April 28, 2022
- Exhibit C Plat of Consolidation titled “Final Plat of Subdivision Piper Kling Consolidation” as prepared by Compass Surveying Ltd, with the latest revision date of March 28, 2022
- Exhibit D Architectural and Landscaping plans titled “Design and Development Set” as prepared by LaPage Architects, Ltd, with the latest revision date of May 5, 2022
- Exhibit E Engineering Plans titled “Engineering Plans for River Townhomes” as prepared by Siteworks, with the latest revision date of April 10, 2022
- Exhibit F Existing Tree Survey as prepared by Bartlett Tree Experts
- Exhibit G Traffic Study as prepared by Eriksson Engineering Associates Ltd, with the latest revision date of February 9, 2021
- Exhibit H June 3, 2022 Staff Memorandum
- Exhibit I Planning & Zoning Commission Staff Report for Case No. PZ-2022-01
- Exhibit J Planning & Zoning Commission Minutes (June 13, 2022)

Riverview Townhome Legal Description

LOTS 5 AND 6 IN BLOCK 3 IN HUBBARD'S ADDITION TO ALGONQUIN, A SUBDIVISION OF PART OF THE EAST FRACTION OF THE NORTHWEST FRACTIONAL SECTION 34, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 26, 1848 IN BOOK "B" OF MORTGAGES, PAGE 183 IN MCHENRY COUNTY, ILLINOIS,

EXCEPTING THERE FROM THE FOLLOWING DESCRIBED PARCEL:

THAT PART OF THE SOUTHWEST HALF OF LOTS 5 AND 6 IN BLOCK 3 IN HUBBARD'S ADDITION TO THE VILLAGE OF ALGONQUIN, SAID BLOCK BEING A PART OF THE SOUTHEAST FRACTION OF THE NORTHWEST FRACTIONAL QUARTER SECTION ON THE EAST SIDE OF FOX RIVER OF SECTION 34, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, MCHENRY COUNTY, ILLINOIS, AS RECORDED IN WARRANTY DEED DATED DECEMBER 14, 1962 AS DOCUMENT NO. 411723, LYING SOUTHWESTERLY OF A LINE THAT IS NORMALLY 60.0 FEET NORTHEASTERLY OF AND PARALLEL WITH THE CENTER LINE OF FAS ROUTE 157 (ILLINOIS ROUTE 62).

SITUATED IN THE COUNTY OF MCHENRY AND STATE OF ILLINOIS.

PLAT OF SURVEY

GRAPHIC SCALE



LEGAL DESCRIPTION

LOTS 5 AND 6 IN BLOCK 3 IN HUBBARD'S ADDITION TO ALGONQUIN, A SUBDIVISION OF A PORT OF THE EAST PART OF THE NORTHWEST QUARTER SECTION 34, TOWNSHIP 43 NORTH, RANGE 3 EAST OF THE THIRD PRINCIPAL MERIDIAN, COUNTY OF ILLINOIS, EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL THAT PART OF THE SOUTHWEST HALF OF LOT 5 AND 2 IN BLOCK 3 IN HUBBARD'S ADDITION TO THE VILLAGE OF ALGONQUIN, THE SUDAS ADDITION, A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER SECTION 34, TOWNSHIP 43 NORTH, RANGE 3 EAST OF THE THIRD PRINCIPAL MERIDIAN, COUNTY OF ILLINOIS, AS RECORDED IN WARRANTY DEED DATE 07/05/2014, THIS ADDITION BY AFRICA LINDA SOUTHWESTELY OF A LINE THAT IS VIRTUALLY 200 FEET NORTH-WESTERLY OF AND PARALLEL WITH THE CENTER LINE OF ROAD 107 (ILLINOIS ROUTE 92), STATE 11, THE COUNTY OF McHENRY AND STATE OF ILLINOIS.



ABBREVIATIONS

- CDLH = CENTER DAVEIT FOR THE
- DI = DESIGN DISTANCE OR DISTANCE
- MA = MEASURED BEARING OR DISTANCE
- CA = CALCULATED BEARING OR DISTANCE
- DI = DESIGN DISTANCE OR DISTANCE
- MA = MEASURED BEARING OR DISTANCE
- CA = CALCULATED BEARING OR DISTANCE
- DI = DESIGN DISTANCE OR DISTANCE
- MA = MEASURED BEARING OR DISTANCE
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- DI = DESIGN DISTANCE OR DISTANCE
- MA = MEASURED BEARING OR DISTANCE
- CA = CALCULATED BEARING OR DISTANCE
- DI = DESIGN DISTANCE OR DISTANCE
- MA = MEASURED BEARING OR DISTANCE
- CA = CALCULATED BEARING OR DISTANCE

LEGEND

- ROAD PAVEMENT
- CONCRETE MONUMENT
- IRON PIN
- WOOD POST
- GALVANIZED IRON PIPE
- TELEPHONE NETWORK INTERFERENCE
- IRON PIPE
- TELEPHONE NETWORK INTERFERENCE
- IRON PIPE
- TELEPHONE NETWORK INTERFERENCE
- IRON PIPE
- TELEPHONE NETWORK INTERFERENCE
- IRON PIPE
- TELEPHONE NETWORK INTERFERENCE
- IRON PIPE
- TELEPHONE NETWORK INTERFERENCE

AREA SUMMARY
 (TO HEAVY LINES)
 13884 SQUARE FEET
 OR
 3.17 ACRES
 (BASED ON MEASURED VALUES)

SURVEYOR'S CERTIFICATION

STATE OF ILLINOIS
 COUNTY OF ILLINOIS
 I, DANIEL W. WALTER, a duly licensed Professional Land Surveyor in the State of Illinois, do hereby certify that the above described property was surveyed under the direction of an Illinois Professional Land Surveyor on 05/26/2022. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS SURVEYING STANDARDS FOR A SURVEY.
 COMPASS SURVEYING LTD.
 PROFESSIONAL DESIGN FIRM
 LAND SURVEYOR CORPORATION NO. 124-000771
 LICENSE EXPIRES 11/30/2023
 Daniel W. Walter
 DANIEL W. WALTER
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2586
 LICENSE EXPIRES 11/30/2023



1 OF 1		PROJECT: SEC River & Algonquin Roads Algonquin	DATE: 04-20-22	DRAWN BY: RHM	PG: 05	
		481 GINGER WOOD PARKWAY, STE. 100 AURORA, IL 60102 PHONE: (630) 224-9100 FAX: (630) 224-7029 EMAIL: ADMIN@COMPASSSURVEYING.COM	CLIENT: Ed Kling, Inc. 4701 E. Calumet Avenue, Suite 200 St. Charles, IL 60154	CHECKED BY: LW	BOOK: 583 PG: 18	REVISIONS:

GENERAL NOTES AND SPECIFICATIONS

DIVISION I. GENERAL

- ALL WORK PERFORMED SHALL COMPLY WITH ALL STATE AND LOCAL CODES, AND WITH THE BEST STANDARD OF PRACTICE AND WORKMANSHIP FOR EACH BUILDING TRADE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS, INCLUDING UNDERGROUND SERVICES, PIPES AND UTILITIES BEFORE PROCEEDING WITH WORK AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES IMMEDIATELY OR BE HELD RESPONSIBLE FOR INSTALLATION OF SAME.
- INSTALL ALL NECESSARY TEMPORARY SHORING TO SUPPORT CONSTRUCTION DURING INSTALLATION OF ANY WORK.
- CONTRACTOR SHALL SUBMIT SAMPLES AND SHOP DRAWINGS OF ALL BUILDING FIXTURES, FINISHES, MATERIALS AND EQUIPMENT TO OWNER FOR REVIEW AND SELECTION QUALITY, COLORS, FINISH, GUARANTEE, ETC. ANY SUBSTITUTIONS OF SPECIFIED ITEMS EQUALS SHALL BE SUBMITTED TO OWNER FOR APPROVAL, BEFORE PURCHASE OF SAME.
- CONTRACTOR SHALL FULLY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FROM DATE OF THE FINAL COMPLETION OF THE ENTIRE PROJECT. THIS GUARANTEE IS EXCLUSIVE OF ANY MANUFACTURED ITEMS AND MATERIALS GUARANTEED FOR LONGER PERIODS.
- ANY CHANGE ORDERS SHALL BE SUBMITTED TO OWNER IN WRITING AND APPROVED BY SAID OWNER IN WRITING PRIOR TO PROCEEDING WITH WORK.

DIVISION II. SITE WORK

- ALL EXCAVATED EXCESS FILL IN NEW AREAS SHALL BE EITHER HAULED AWAY OR KEPT AT SITE AT THE DISCRETION OF THE OWNER / BUILDER FOR FUTURE USE. INSTALL 4" MINIMUM CLEAN BLACK DIRT TOPSOIL IN ALL NEW GRADED AREAS OVER MURKILL.
- IT SHALL BE THE RESPONSIBILITY OF THE EXCAVATING CONTRACTOR TO PROTECT REMAINING TREES AND REMOVAL OF ALL TREES AND ROOT SYSTEMS WITHIN THE EXCAVATION AREA.
- EXTREME CARE WILL BE TAKEN NOT TO COMPACT THE EARTH WITHIN THE CROWN OF REMAINING TREES. IF COMPACTION SHOULD OCCUR THE SOIL WILL BE AERATED THOROUGHLY IN THE ROOT ZONE.
- IN AREAS WHERE EXPANSIVE OR COLLAPSIBLE SOILS ARE KNOWN TO EXIST, ALL DWELLINGS SHALL HAVE CONTROLLED METHOD OF WATER DISPOSAL FROM ROOF THAT WILL COLLECT & DISCHARGE ROOF DRAINAGE TO GROUND SURFACE AT LEAST 1 FT AWAY FROM FOUNDATION WALLS OR TO AN APPROVED STORM DRAINAGE SYSTEM (IF REQUIRED).

DIVISION III. CONCRETE

- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY ON 3000 PSF IN NO CASE SHALL A FOOTING BEAR ON FILL MATERIAL. ALL FOOTINGS SHALL BE A MINIMUM OF 3" - 6" BELOW GRADE. PROVIDE CITY WITH SOIL REPORT UPON REQUEST FROM STATE OR ILLINOIS LICENSED ENGINEER ORDERED BY 4 PAGES FOR THE JOB.
- ALL CONCRETE FOR FOUNDATIONS, WALLS AND FOOTINGS TO BE FC=3000 PSI AT 28 DAYS CURING. ALL CONCRETE FOR FLOOR SLABS, STEPS, STAIRS AND WALKS, ETC. TO BE FC=4000 PSI AT 28 DAYS CURING. EXTERIOR STAIRS, STEPS AND WALKS SHALL BE AIR ENTRAINED AND BROOK FINISHED. GARAGE FLOOR SLABS SHALL BE AIR ENTRAINED AND STEEL TROUZE FINISH. ALL CONCRETE REINFORCING SHALL COMPLY WITH CURRENT A.C.I. STANDARDS.
- ROUND ALL BASEMENT WALL FORM JOINTS WHILE CONCRETE IS GREEN. SEAL ALL FORM JOINT HOLES WITH "MOX-PUFF" GROUT AND TAPE. INSTALL DOWNDRAINING TO EXTERIOR WALLS AND FOOTINGS.
- CONCRETE SHALL NOT BE POURED OVER WET SOIL OR FILL.

DIVISION IV. MASONRY

- CONCRETE SHALL NOT BE POURED WHEN IT WILL BE EXPOSED TO TEMPERATURES THAT ARE EXPECTED TO FALL BELOW 40 DEG. F. UNLESS COLD WEATHER RECOMMENDATIONS OF THE PORTLAND CEMENT ASSOCIATION ARE STRICTLY FOLLOWED.
- NOT APPLICABLE
FULL MASONRY IS NOT ON THIS PROJECT - ONLY MASONRY IS THIN STONE VENEER

DIVISION V. METALS

- ALL STEEL TO CONFORM TO AISC SPECIFICATIONS FOR A-36 STEEL.
- ALL REINFORCING TO BE GRADE 60 STEEL.
- UNLESS OTHERWISE NOTED, PROVIDE STEEL LINTELS IN BEARING CONDITIONS AND OVER OPENINGS IN MASONRY WALLS FOR EACH HOUR HIGH NOMINAL THICKNESS OF MASONRY IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

WIDTH OF OPENING	ANGLE SIZE
UP TO 3'-6"	3 1/2" x 3 1/2" x 5/16"
3'-6" TO 4'-6"	4" x 3 1/2" x 5/16"
4'-6" TO 6'-0"	4" x 3 1/2" x 5/16"
6'-0" TO 6'-6"	6" x 4" x 3/8"
6'-6" TO 12'-0"	6" x 4" x 1/2"

DIVISION VI. WOOD AND PLASTIC

- PROVIDE DOUBLE JOIST UNDER ALL PARALLEL WALL, BATHUBS, STAIRWELL OPENINGS, CUT IN ROOF OR FLOORS. ALL JOIST HEADERS SHALL BE INSTALLED WITH MIN. (2) 2X BEARING EACH SIDE.
- ALL LIPBER SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LIPBER AND ITS FASTENERS' LATEST EDITION.
- CROSS-BRIDGING SHALL BE 1/3 OR AT MIDSPAN OR 8'-0" WHICHEVER IS SMALLER.
- 2-2X10'S HEADERS OVER ALL BEARING OPENING UNLESS NOTED OTHERWISE.
- EXTERIOR FRAME WALLS SHALL BE WIND BRACED WITH 4x8x1/2" EXTERIOR GRADE PLYWOOD PANELS ON EACH OUTSIDE CORNER MINIMUM, AND FASTENED TO STUDS WITH NOT LESS THAN 8 PERRY COATED NAILS EVERY 6 INCHES AT PERIMETER AND 12 INCH OC. 1 THE FIELD SHEAR PANELS TO EXTEND FROM WALL BOTTOM PLATE TO TOP PLATE.
- FIRESTOP ALL OPENINGS THROUGH THE FLOOR AND/OR CEILING.
- ALL EXTERIOR FASCIAS AND TRIM SHALL BE FINISHED ALUMINUM.
- PROVIDE 1/4" UNDERLAMENT GRADE PLYWOOD AT ALL TILED FLOOR AREAS.
- ALL WOOD WALL FRAMING SHALL BE SPPF CONSTRUCTION GRADE.
- ALL WOOD FLOOR FRAMING SHALL BE GRADE 4 SPECIES AS INDICATED ON PLANS.
- ALL WOOD IN PERMANENT CONTACT WITH CONCRETE TO BE PRESURE TREATED.
- ALL WALL STUDS SHALL BE CROWNED TO BE EXTERIOR OF THE BUILDING.
- TOP PLATES AND DOUBLE TOP PLATES OF WALL FRAMING SHALL HAVE SPLICES STAGGERED BY NO LESS THAN 4'-0"
- MINIMUM STAIN HEADROOM HEIGHT SHALL BE 6'-0"
- MINIMUM STAIN TREAD SHALL BE 10" NOSE TO NOSE
- MAXIMUM RISER SHALL BE 1 3/4"
- MINIMUM HANDRAIL HEIGHT SHALL BE 34" TO 36" HIGH.

DIVISION VII. THERMAL AND MOISTURE PROTECTION

- ATTIC BRACES SHALL BE VENTILATED BY PROVIDING A MINIMUM FREE VENTILATION AREA OF 1/300TH OF THE HORIZONTALLY PROJECTED ROOF OR FLOOR AREA OR AS FURTHER REQUIRED BY LOCAL MODEL BUILDING OR ENERGY CODE.

DIVISION VIII. DOORS AND WINDOWS

- ALL WINDOWS SHALL BE PROVIDED WITH INSULATING GLASS AND SCREENS, AS SHOWN ON THE DRAWINGS. ALL EXTERIOR FRENCH DOOR UNITS SHALL BE GLAZED WOOD WITH THERMO-INSULATING GLASS AND SCREENS. ALL UNITS SHALL BE COMPLETELY INSTALLED ROUGH-IN AND FINISH HARDWARE, LEATHERSTRIPPING AND TRIM. INTERIOR CASING AND SHALL BE FINISHED NATURAL WOOD FOR FINISH BY THE PAINTING CONTRACTOR. PAINTING CONTRACTOR TO VERIFY COLOR CHOICES WITH OWNER OR GENERAL CONTRACTOR.
- PROVIDE FLASHING AT HEAD AND SILL OF ALL EXTERIOR OPENINGS.
- ALL INTERIOR DOORS TO BE SUPPLIED WITH PRIVACY OR PASSAGE LOCKSET OF A FINISH AND STYLE SELECTED BY OWNER. BI-FOLD DOORS TO BE SUPPLIED WITH STATIONARY FULL ENTRY DOORS TO BE EQUIPPED WITH ONE DEADBOLT AND ONE KEYS CYLINDER LOCK INCLUDING THE DOOR BETWEEN GARAGE AND HOUSE, AND GARAGE EXTERIOR SERVICE DOOR. ALL EXTERIOR LOCKS TO BE KEYS ALIKE. ALL DOORS TO HAVE DOOR STOPPERS.

DIVISION IX. FINISHES

- ALL INTERIOR WALLS, CEILING AND SOFFITS SHALL BE 1/2" GYPSUM BOARD, (EXCEPT WHERE OTHERWISE NOTED) INSTALLED WITH METAL CORNERS BEADS, TAPED JOINTS AND CORNER REINFORCING AND MINIMUM 3 COAT EMBEDDING AND TAPPING PROCESS. INCLUDING ROUGH AND FINISH SANDING READY FOR PAINTING. GYPSUM BOARD SHALL BE INSTALLED USING MASTIC AND SCREENS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. PROVIDE WATER RESISTANT GYPSUM IN ALL BATHROOMS AND WET AREAS. EXCEPT WHERE CEMENT IS SPECIFIED ON DRAWINGS. ALL CUTAWAY EDGES OF WIR BOARD TO BE SEALED BEFORE INSTALLATION OR TAPPING.
- PROVIDE 5/8" FIRE CODE GYPSUM BOARD AT ALL WALLS, CEILING, BEAMS, COLLINS IN GARAGE AND ANY ROOM THAT HAS FURNACES, I/A.
- ALL TILE INSTALLED AS FLOORING SHALL BE NON-SLIP OVER UNDERLAYMENT.
- EXTERIOR PAINTING (DOORS, FRAMES, FASCIA AND TRIM) SHALL BE WITH 1 COAT OIL PRIMER AND 2 COAT OIL BASED SEMI-GLOSS. INTERIOR PAINTING SHALL BE WITH 1 COAT LATEX PRIMER AND 2 COAT LATEX BATH OR FLAT. INTERIOR WELLSHORE DOORS, TRIM, ETC. SHALL HAVE A FINISH DESIGNATED BY OWNER. NATURAL FINISH WELLSHORE SHALL HAVE AN APPROVED TIE SEALER PENETRATING STAIN, AND 2 COAT BATH VARNISH FINISH. PAINTED WELLSHORE SHALL HAVE 1 COAT SEMI-GLOSS OIL BASE FINISH OVER OIL BASE PRIMER. ALL EXTERIOR WOOD FOR NATURAL FINISH SHALL HAVE 2 COAT PREMIUM BRAND STAIN SEALER.

DIVISION X. SPECIALTIES

NOT INCLUDED-SEE GENERAL CONTRACTOR /OWNER FOR ANY.

DIVISION XI. EQUIPMENT

NOT INCLUDED-SEE GENERAL CONTRACTOR /OWNER FOR ANY.

DIVISION XII. FURNISHINGS

NOT INCLUDED-SEE GENERAL CONTRACTOR /OWNER FOR ANY.

DIVISION XIII. SPECIAL CONSTRUCTION

NOT INCLUDED-SEE GENERAL CONTRACTOR /OWNER FOR ANY.

DIVISION XIV. CONVEYING SYSTEMS

NOT INCLUDED-SEE GENERAL CONTRACTOR /OWNER FOR ANY.

DIVISION XV. MECHANICAL & PLUMBING

- ALL SUPPLY AND DRAINAGE PIPING SHALL BE METAL AND NON-METAL AS REQUIRED BY LOCAL CODES AND SPECIFIED HERE-IN. ALL PLUMBING FIXTURE SHALL BE SELECTED BY OWNER.
- ALL PIPE IN WATER SUPPLY SYSTEM INSIDE THE HOUSE SHALL BE TYPE-L COPPER SOLDERED JOINTS.
- ALL EXHAUST FANS (BATHS & KITCHEN) CLOTHES DRYER TO BE VENTED TO EXTERIOR.
- ALL SOIL AND WASTE PIPE 4" SHALL BE 1/2" CAST IRON WITH SLEEVE COUPLINGS. PROVIDE ALTERNATE BID FOR PVC IF PERMITTED BY LOCAL CODE.
- ALL STOP VALVES SHALL BE BRASS. ALL TRIM SHALL BE CHROME PLATED.
- ALL PIPE THROUGH WALL SHALL BE SLEEVED WITH IRON PIPE TWO SIZES LARGER THAN PIPE SIZE THROUGH WALL.
- BILL COCKS SHALL BE PROVIDED WITH FULL OPEN VALVES.
- ALL BILL COCKS AND THREADED HOSE ATTACHMENTS SHALL BE PROTECTED BY VACUUM BREAKERS.
- ALL OUTSIDE SANITARY PIPE TO SEWER (MATERIAL & SIZE) SHALL BE AS REQUIRED BY LOCAL CODE.
- HEATING UNITS TO BE ADEQUATE SIZE TO PROVIDE A MINIMUM OF 72 DEGREES (F) IN ALL ROOMS UNLESS OUTSIDE TEMPERATURE IS MIN 10 DEGREES (F).
- PROVIDE GAS FIRED FURNACE, CONDENSER UNIT AND DUCTWORK FOR HEATING AND CENTRAL COOLING. LOCATION OF FURNACE AND CONDENSER UNIT SHALL BE COORDINATED WITH OWNER AND CODE ACCEPTANCE.
- MAKE ALL FINAL CONNECTIONS REQUIRED OF APPLIANCES SUPPLIED BY OWNER.
- ALL VENTS THROUGH ROOF SHALL BE ON THE REAR SIDE OF THE ROOF RIDGE.

DIVISION XVI. ELECTRICAL

- THE ELECTRICAL CONTRACTOR SHALL EXTEND SERVICES TO CIRCUIT BREAKER PANEL BOARD AND NETWORK TO ALL REQUIRED LOCATIONS. CONDUIT RECEPTACLES IN KITCHEN, BATHROOMS, LAUNDRY ROOM, GARAGE, AND ON EXTERIOR OF BUILDING SHALL BE GF WITH TEST SWITCH.
- ALL RECEPTACLES IN BEDROOM TO BE "ARC-FAULT PROTECTED".
- ALL DECORATIVE WALL MOUNTED CEILING LIGHTS AND EXTERIOR LIGHT FIXTURES & BULBS WILL BE SUPPLIED BY THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR. ALL REMAINING FIXTURES SHALL BE SUPPLIED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- PROVIDE AND INSTALL APPROVED SMOKE, CARBON MONOXIDE AND FIRE DETECTORS AS REQUIRED BY LOCAL CODE.
- ELECTRICAL CONTRACTOR TO MAKE ALL CONNECTIONS REQUIRED OF APPLIANCES SUPPLIED BY OWNER.
- ELECTRICAL CONTRACTOR TO SUPPLY ANY INFORMATION REQUIRED BY LOCAL AGENCY TO OBTAIN PERMITS.
- WIRE ALL NEW HVAC AND PLUMBING EQUIPMENT AS SHOWN ON THE DRAWINGS AND AS REQUIRED.
- ELECTRICAL CONTRACTOR TO VERIFY THE EXACT LOCATION OF TELEPHONES, CABLE TV, AND DATA RECEPTACLES WITH OWNER. THE ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL SUCH WIRING AND RECEPTACLES.
- ELECTRICAL CONTRACTOR TO VERIFY THE EXACT LOCATION OF DOOR CHIME WITH OWNER. DOOR CHIME WIRING SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. OWNER TO SUPPLY ACTUAL CHIME UNIT OR INTERCOM UNIT.

RIVERVIEW TOWNHOUSE BLDG.

ALGONQUIN, ILLINOIS

A EDWARD KLING PROJECT

3 UNIT BUILDING

2018 IECC MANDATORY REQUIREMENTS RESIDENTIAL ENERGY EFFICIENT CODE PRESCRIPTIVE METHOD

INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT WINDOW SKYLIGHT AND SLIDING PATIO DOOR SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN MORE THAN 0.3 CFM PER SQFT. AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQFT. LEAVE MANUFACTURER STICKERS ON WINDOWS AND DOORS UNTIL AFTER THE INSULATION / ENERGY INSPECTION IS COMPLETE AND APPROVED.

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME R-VALUE	MASG WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAIL SPACE WALL R VALUE
5 AND MARINE 4	0.30	0.35	NOT REQUIRED	4.9	20 OR 13.5	13/11	30	10/13	R10, TO 2 FT.	10/13

ENERGY CONSERVATION NOTES:

- METHOD OF COMPLIANCE IS "PRESCRIPTIVE" METHOD ON THIS PROJECT
- PIPING SERVING HEATING & COOLING TO BE THERMALLY INSULATED IN ACCORDANCE WITH IECC TABLE C403.2.10.
- DUELLING TO BE TESTED AND VERIFIED AS HAVING AN LEAKAGE RATE NOT EXCEEDING FIVE(5) AIR CHANGES PER HOUSE (ACH). A WRITTEN REPORT OF THE RESULT OF THE TEST SHALL BE SIGNED BY THE THIRD PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING OFFICIAL.
- PROVIDE A PROGRAMMABLE T-STATS CONTROLLING THE PRIMARY HEATING & COOLING.
- AS PER IECC R-404.1 NOT LESS THAN 15% OF THE LUMINAIES IN PERMANENT LIGHTING TO BE HIGH-EFFICIENCY LAMPS.
- WHERE THE AIR INFILTRATION RATE OF THE DUELLING IS 5 ACH OR LESS WHERE TESTED WITH A BLOWER TEST PER IECC, THE DUELLING SHALL PROVIDE WHOLE HOUSE MECH. VENTILATION SYSTEM PER M107.3. MECH.CONTR. SHALL PROVIDE METHOD OF COMPLIANCE.

U-VALUES FOR DOORS AND WINDOWS USED		INSULATION & FENESTRATION NOTES:	
DOOR / WINDOW NAME & DESCRIPTION	U-VALUE		
ALL WINDOWS TO BE DOUBLE PANE LOW E 4 GLASS DOORS	30	<ul style="list-style-type: none"> A CERTIFICATE PREPARED BY THE BUILDER SHALL BE POSTED ON A WALL NEAR THE FURNACE. THIS CERTIFICATE SHALL LIST THE PREDOMINANT INSULATION R-VALUES THROUGHOUT AND INSULATION FOR DUCTS OUTSIDE CONDITIONED SPACES AND U-FACTORS OF FENESTRATION GLAZING. 	
GARAGE TO HOUSE SERVICE DOOR- NO GLAZING - SOLID	35	<ul style="list-style-type: none"> PROVIDE PIPING MIN R-5 INSULATION AROUND PIPES INSTALLED INSIDE OF BUILDING BUT OUTSIDE CONDITIONED SPACE (GARAGE PIPING WORK INCLUDED) 	
MAIN FRONT DOOR -NO GLAZING - SOLID	35	<ul style="list-style-type: none"> SUPPLY 1 RETURN DUCT INSULATION OUTSIDE OF THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM R-8 (WHERE 3' OR MORE) AND R-6 (WHEN LESS THAN 3' (IECC R403.3.1) 	
SKYLIGHTS	55	<ul style="list-style-type: none"> ALL ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACED SHALL BE WEATHERSTRIPPED & INSULATED TO A LEVEL EQUAL TO THE SURROUNDING INSULATION (IECC R402.1) 	

ENERGY COMPLIANCE IS "PRESCRIPTIVE" - NO RECHECK IS BEING SUBMITTED

MECHANICAL NOTE:

- ALL RESIDENTS' BATHROOMS TO BE VENTILATED PER 2015 IMC
- MECHANICAL DESIGN IN ACCORDANCE WITH ASHRAE HANDBOOK OF FUNDAMENTALS

SEE SHEET MFI FOR ADDITIONAL MECHANICAL NOTES, SPECIFICATION & DETAILS

MANDATORY MECH. VENTILATION

DWELLING HAS AN APRILAIRE MODEL 8106X VENTILATOR CONTROL SYSTEM. IT'S 100 CFM AND WILL RUN 50% OF THE TIME. IN COMPLIANCE WITH 2018 IECC SECTION R403.6.



DESIGN DEVELOPMENT SET ONLY - NOT ISSUED FOR PERMIT OR CONST. (DETAIL SHEETS & MPE SHEETS NOT INCLUDED IN DD SET)

BUILDING DATA

- USE CLASS: "R3" - RESIDENTIAL (REFER TO IBC CHAPTER 101.2 FOR SCOPE OF IBC EXCEPTIONS) -2 HOURS REQUIRED SEPARATION REQUIRED BETWEEN DWELLING UNITS since no Fire Sprinkler is proposed on this project
- CONSTRUCTION TYPE : VB
- 1st FLOOR AREA: 2,951 SQ.FT.
- OPEN PERIMETER: 1.00%
- FIRE SPRINKLERS & ALARM: NOT PROPOSED

DRAWING SHEET INDEX

- T1 COVER SHEET GENERAL NOTES & PROJECT INFORMATION.
- L1.0 LANDSCAPE PLAN & PLANT SCHEDULE
- A1.0 ARCHITECTURAL SITE PLAN
- A2.0 EXTERIOR ELEVATIONS & ROOF PLAN
- A2.1 EXTERIOR ELEVATIONS, NOTES & LIGHT/VENT SCHEDULE
- A3.0 LOWER LEVEL FLOOR PLAN & NOTES
- A3.1 FIRST FLOOR PLAN & NOTES
- A3.2 SECOND FLOOR PLAN & NOTES
- A4.0 FOUNDATION PLAN & NOTES
- A5.0 BUILDING SECTIONS & NOTES
- A6.0 WALL SECTIONS & DETAILS /NOTES
- A6.1 SECTION DETAILS & NOTES
- M1.0 MECHANICAL PLAN & NOTES / SCHEDULES
- M1.1 MECHANICAL SCHEDULE & SPECS
- E1.0 ELECTRICAL PLAN - LOWER & FIRST FLOOR
- E1.1 ELECTRICAL PLAN - SECOND FLOOR PLAN
- E1.2 ELECTRICAL SPECIFICATIONS & PANEL SCHEDULES

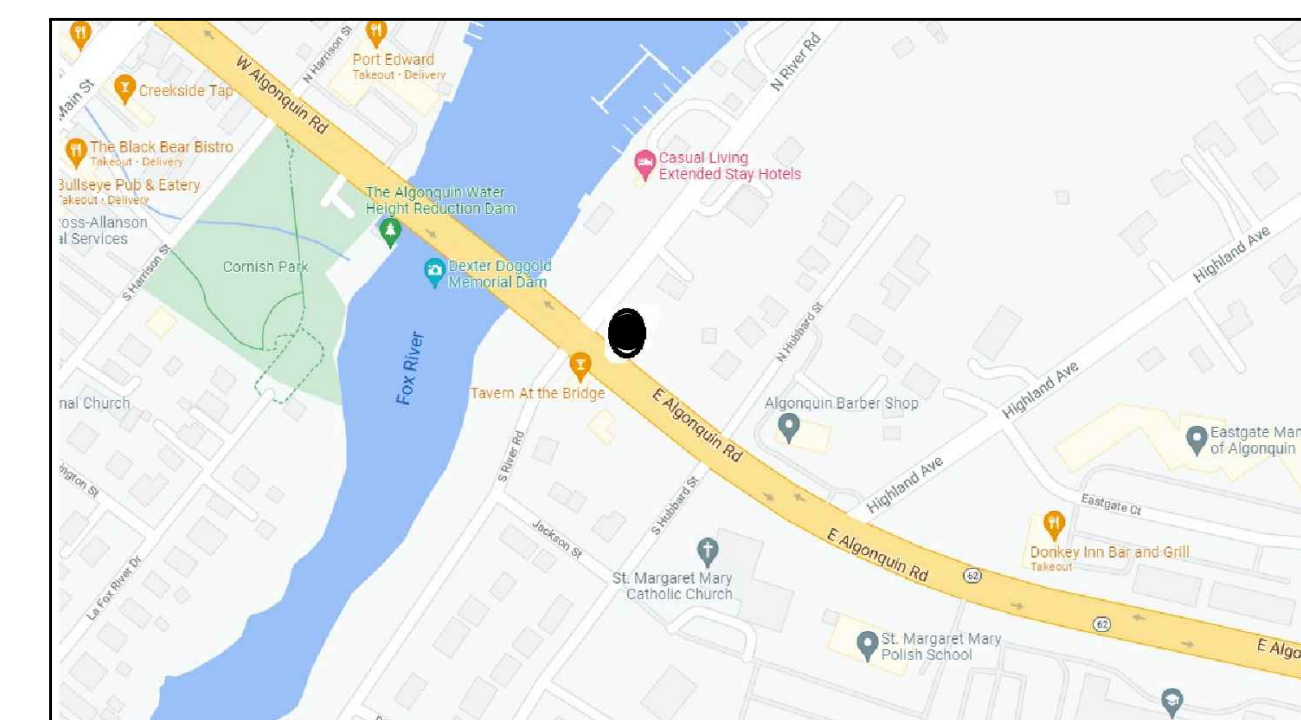
BUILDING CODES

AS APPLICABLE TO THE PROJECT SCOPE

- 2006 (IRC) International Residential Code
- 2006 (IBC) International Building Code
- 2006 (IFC) International Fire Code
- 2006 (IMC) International Mechanical Code
- 2006 (IFGC) International Fuel Gas Code
- 2002 (NEC) National Electrical Code
- 2006 (IEBC) International Existing Building Code
- 2006 (IPMC) International Property Maintenance Code
- CURRENT Illinois Accessibility Code
- Illinois Energy Conservation Code, current Edition (2018 IECC)
- Illinois State Plumbing Code, current Edition
- Sign Code

ADDITIONAL NOTES

- THE BUILDING PERMIT SHALL BE KEPT ON THE SITE OF WORK, UNTIL COMPLETION OF THE PROJECT AND POSTED IN SUCH A POSITION AS TO BE VISIBLE FROM THE STREET.
- ADDRESS NUMBERS, VISIBLE FROM THE STREET SHALL BE POSTED PRIOR TO ISSUANCE OF PERMIT AND PERMANENT ADDRESS SHALL BE POSTED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- FIRE BLOCKING AND DRAFT STOP SHALL BE PROVIDED AT ALL CEILING, SOFFITS AND CONCEALED SPACES.



SITE LOCATION MAP SCALE: NTS



NORTH

design development set rev 05.02.2022
ISSUED FOR PUD & RE-ZONING APPROVAL
IN COLLABORATION WITH:

Project # 021044
Drawn: RNL-MNA
Date: 12.10.2021
Issue/Revision Date:

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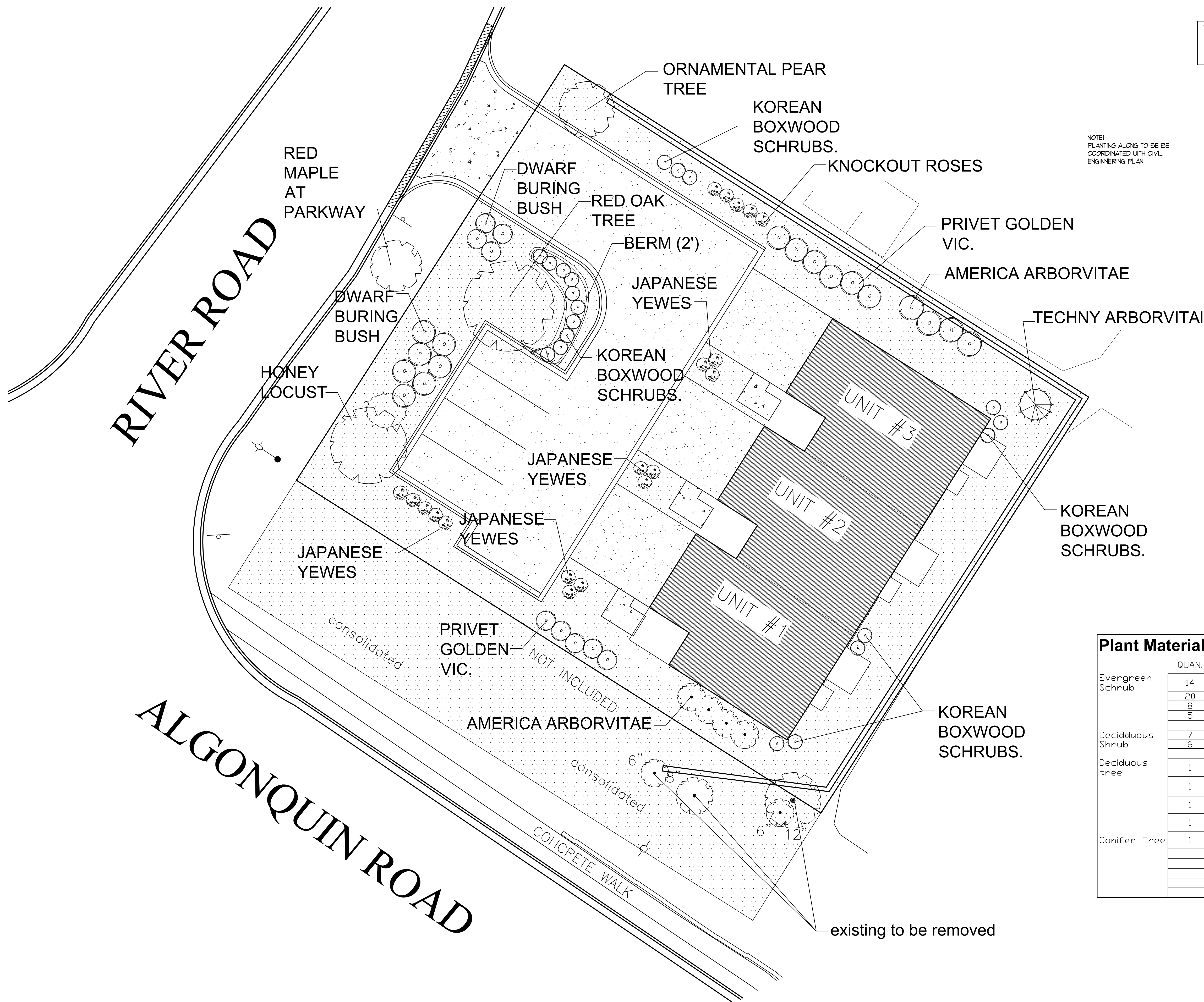
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3 UNIT BUILDING:
RIVERVIEW TOWNHOUSE
ALGONQUIN, ILLINOIS

Drawing
COVER/TITLE SHEET

Sheet
T1

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NOTE:
THIS IS LANDSCAPE PLAN ONLY - DO NOT SCALE
SEE CIVIL SHEETS FOR CIVIL DETAILS & LEGAL DESCRIPTION

NOTE:
PLANTING ALONG TO BE BE
COORDINATED WITH CIVIL
ENGINEERING PLAN

Plant Material List

	QUAN.	Botanical Name	Common Name
Evergreen Shrub	14	Taxus Cuspidata	Japanese Yew
	20	Buxus Microphylla	Korean Boxwood
	8	Thuja Occidentalis	American Arborvitae
	5	Rosa 'Knockout'	Knockout Rose
Deciduous Shrub	7	Euonymus Alatus	Dwarf Burning Bush
	6	Ligustrum x Vicaryi	Vicary Golden Privet
Deciduous tree	1	Gleditsia Triacanthos	Honey Locust
	1	Pyrus Calleryana	Ornamental Pear
	1	Querus Rubra	Red Oak
	1	Acer Rubrum	Red Maple
Conifer Tree	1	Thuja Occidentalis	Techney Arovitae

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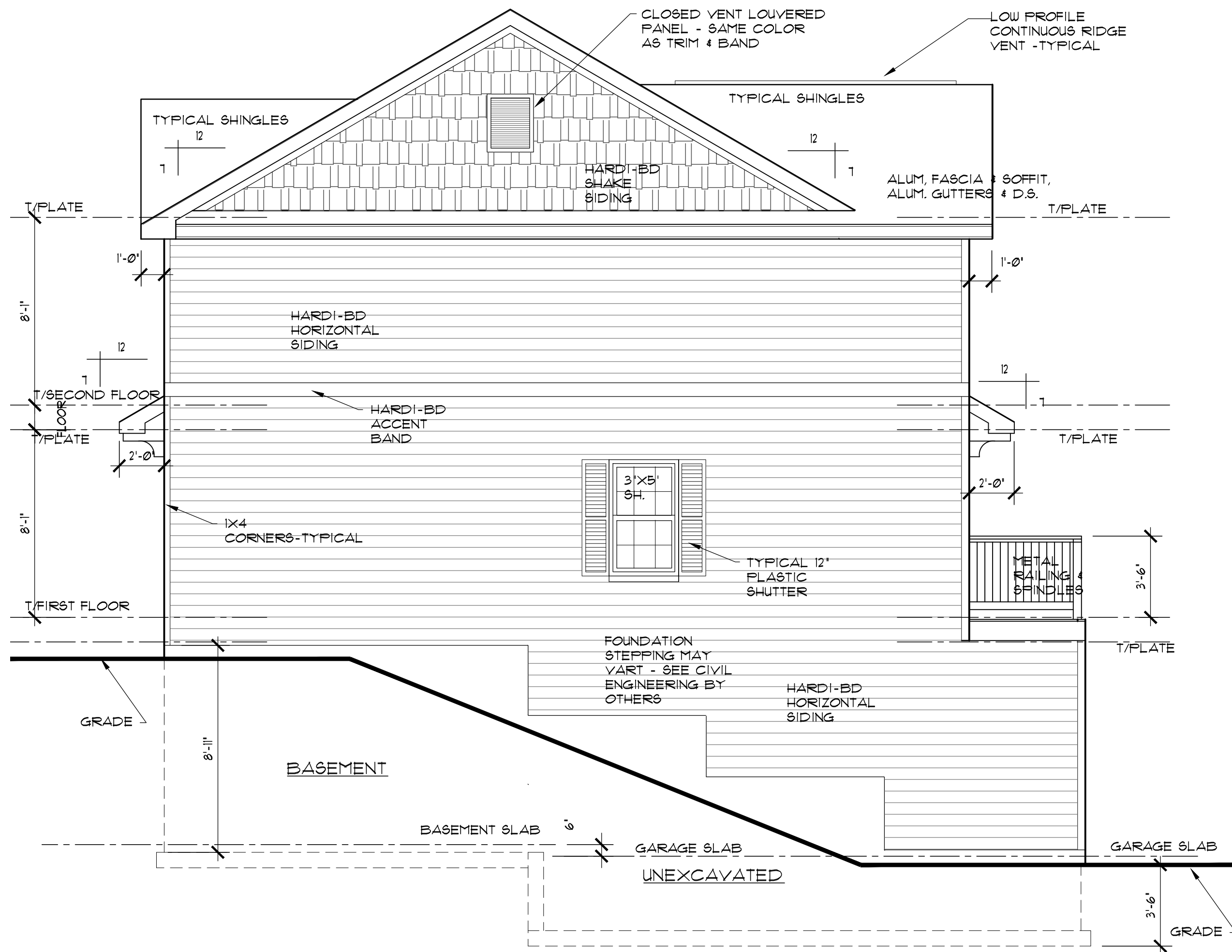
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Drawing
LANDSCAPE PLAN

Sheet
L1.0

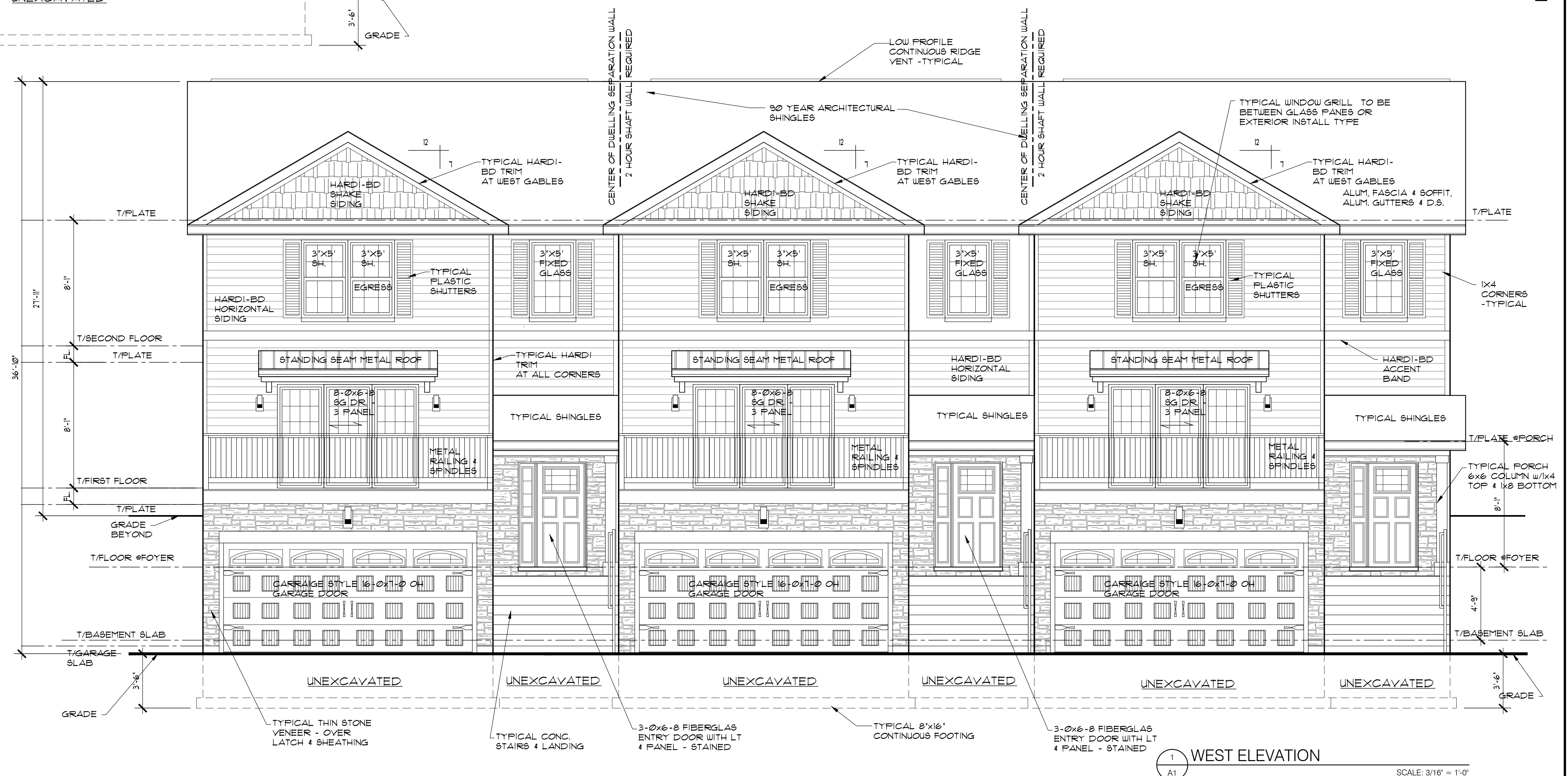
LANDSCAPE SITE PLAN
SCALE: 3/32" = 1'-0"



TYPICAL WINDOW GRILL TO BE BETWEEN GLASS PANES OR EXTERIOR INSTALL TYPE

ALTERNATE BID: HORIZ VINYL DOUBLE 5 DUTCH LAF SIDING WITH VINYL CORNERS & SHAKE LOOK VINYL SIDING AT GABLES

3 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



PROVIDE FLASHING AS REQUIRED REQUIRED - SUCH FLASHING TO BE TUCKED BEHIND BUILDING WRAP (TYVEK) TYPICAL

EGRESS WINDOWS: MARKED 'EGRESS' AT LEAST ONE WINDOW IN BEDROOM TO BE EGRESS APPROVED MIN OPENING OF 5.7 SF AND CLEAR HEIGHT OF 24" AND WIDTH OF 20" MAXIMUM SILL HT. FROM FF = 44"

NOTE: ALL EXTERIOR DOORS - SLIDING OR HINGED AND ALL WINDOWS SHALL BEAR THE LABEL IDENTIFYING MANUFACTURER PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO COMPLY WITH AIAA/UL/MA/CSA 1011.52/1440 (R612.3)

1 WEST ELEVATION
SCALE: 3/16" = 1'-0"

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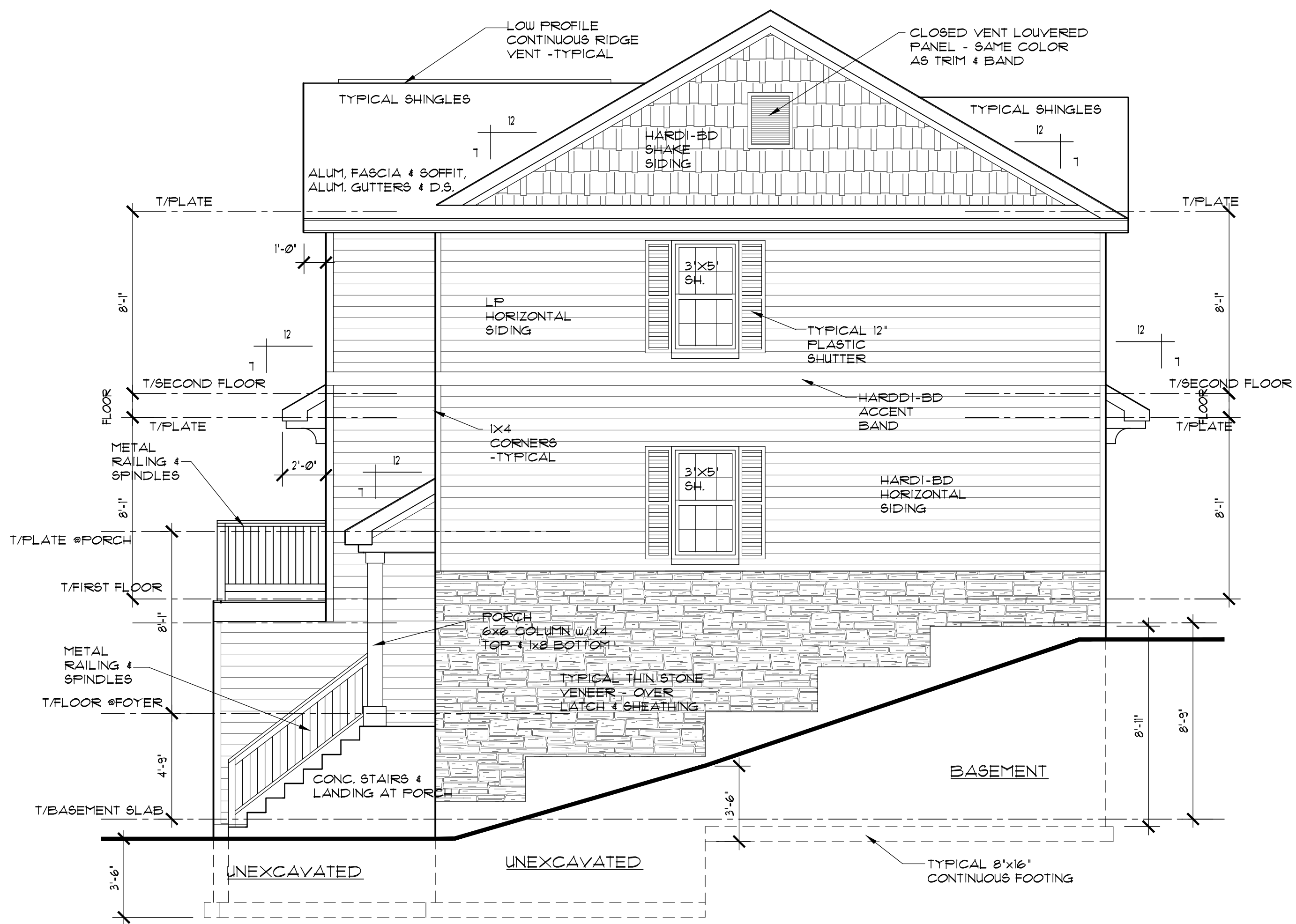
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Drawing
EXTERIOR ELEVATIONS & ROOF PLAN

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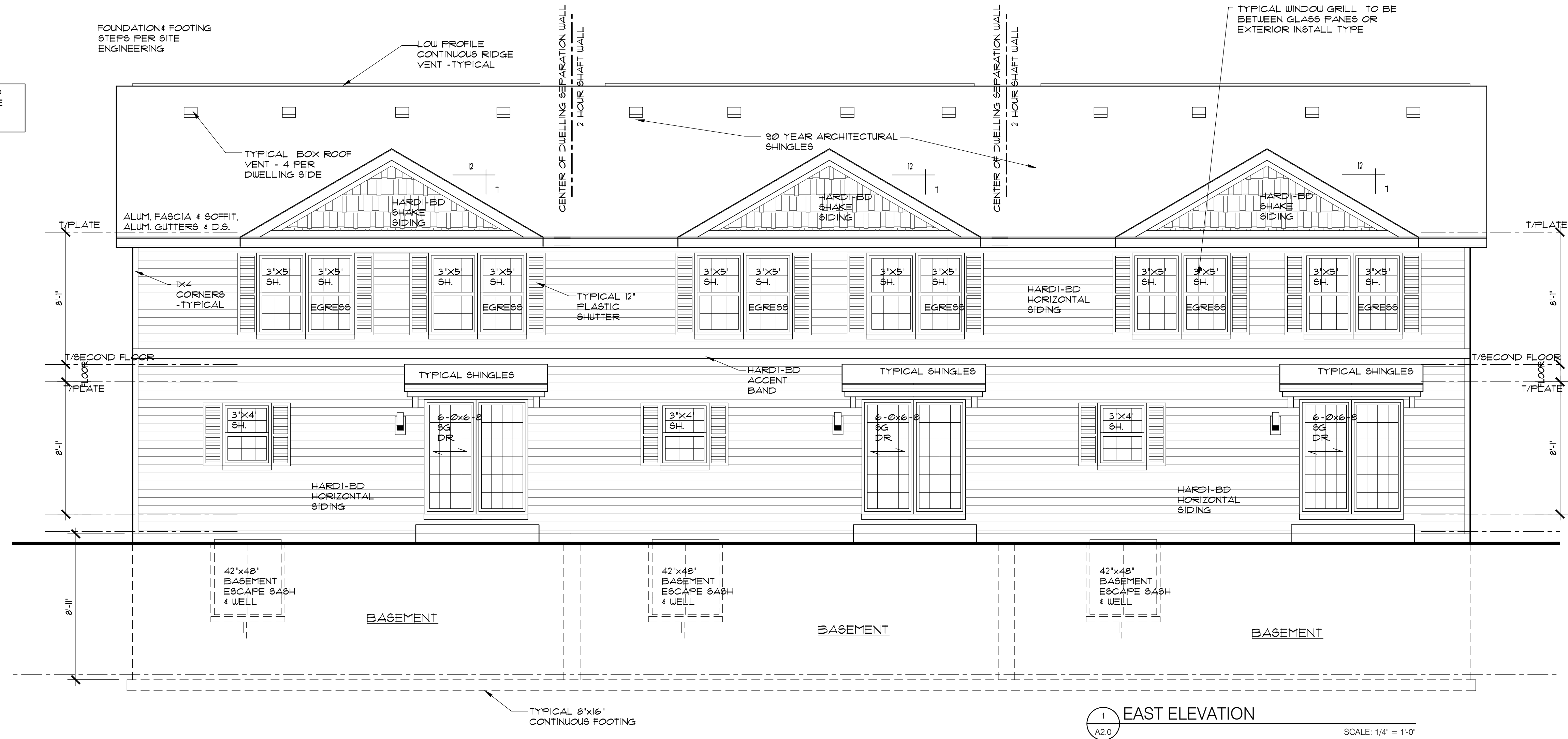


2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

PROVIDE FLASHING AS REQUIRED - SUCH FLASHING TO BE TUCKED BEHIND BUILDING WRAP (TYVEK) TYPICAL

FOUNDATION & FOOTING STEPS PER SITE ENGINEERING



1 EAST ELEVATION

SCALE: 1/4" = 1'-0"

TYPICAL WINDOW GRILL TO BE BETWEEN GLASS PANES OR EXTERIOR INSTALL TYPE

ALTERNATE BID: HORIZ VINYL DOUBLE 5 DUTCH LAP SIDING WITH VINYL CORNERS & SHAKE LOCK VINYL SIDING AT GABLES

EGRESS WINDOWS: MARKED 'EGRESS' AT LEAST ONE WINDOW IN 'BEDROOM' TO BE EGRESS APPROVED MIN. OPENING OF 5.7 SF. AND CLEAR HEIGHT OF 24" AND WIDTH OF 20" MAXIMUM SILL HT. FROM FF = 44"

NOTE: ALL EXTERIOR DOORS - SLIDING OR HINGED AND ALL WINDOWS SHALL BEAR THE LABEL IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO COMPLIANCE WITH AAMA/WDMA/CSA 1011.2/1444 (R0123)

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3 UNIT BUILDING:
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Drawing
 EXTERIOR ELEVATIONS

Sheet
A2.1

STRUCTURAL FRAMING LUMBER
JOISTS, HEADERS, AND RAFTERS
GRADE # 2 SPECIES: HEM-FIR
DOMESTIC. BASE VALUE: Fb: 850
OR BETTER UNO.

BEAM PRODUCTS

TRUS-JOIST 2@ E L.V.L. Fb: 2600 P.S.I.
OR BETTER UNO.

**CLIMATIC & GEOGRAPHIC DESIGN
CRITERIA:**

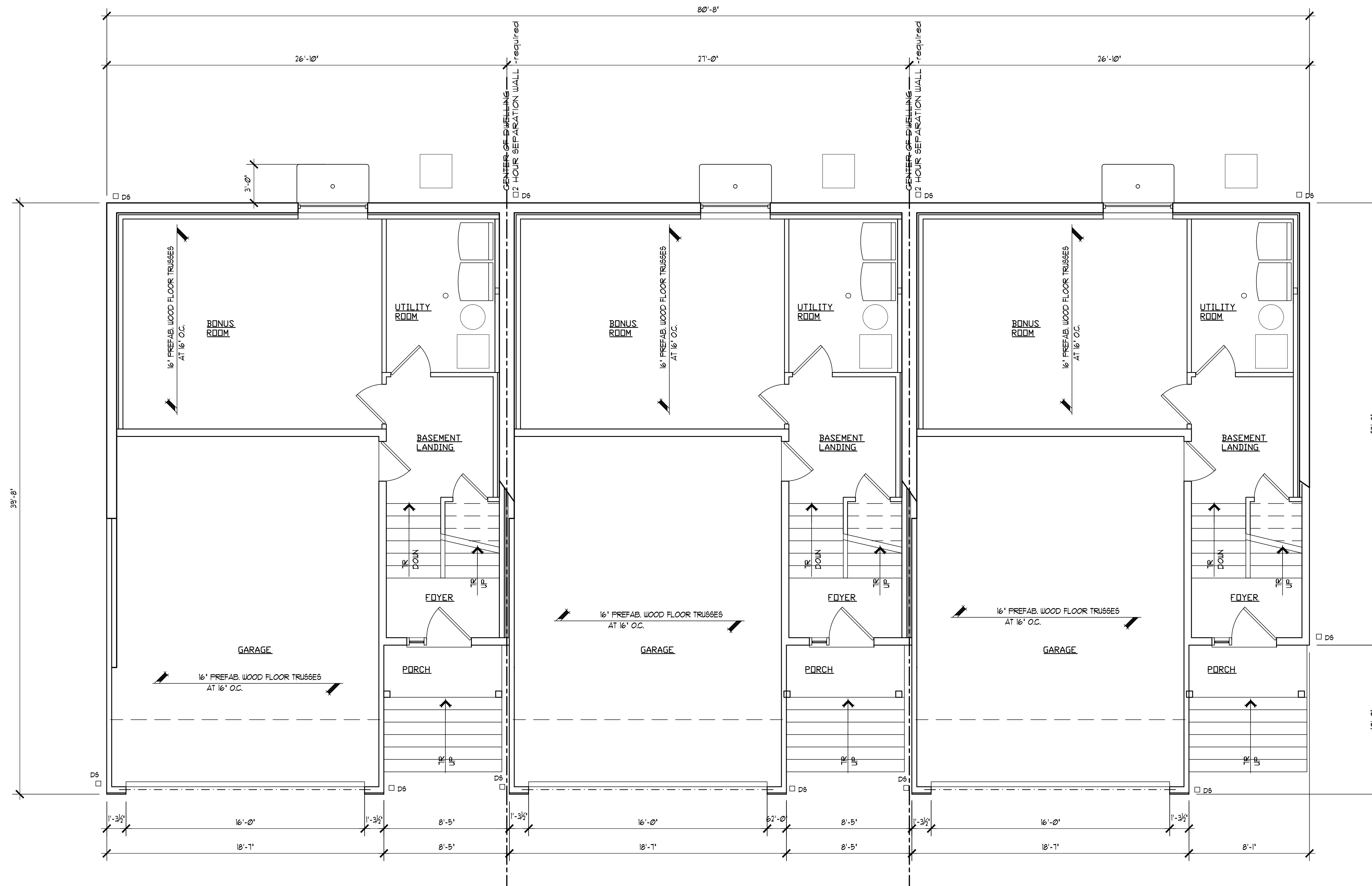
- GROUND SNOW LOAD - 30 P.S.F.
- WIND SPEED - 75 M.P.H. NORMAL 3
SECOND 90 M.P.H.
- SEISMIC DESIGN CATEGORY - A
- WEATHERING AREA - SEVERE
- FROST LINE DEPTH - 42"
- TERMITE DAMAGE - MODERATE
- TERMITE SHIELD REQ.
- WINTER DESIGN TEMP - 4° F
- ICE BARRIER UNDERLAYMENT - YES

DESIGN CRITERIA

- FLOOR 4@ LL, 10" DL. ALL AREAS
- WALL 6@ PLF. OR ACTUAL LOAD
- CEILING 2@ LL, 10" DL.
- ROOF SLOPES OVER 3 IN 12
- CEILING 10" LL, 5" DL
- ROOF SLOPES 3 IN 12 OR LESS
- ROOF 3@ LL, 10" DL. ALL SLOPES
- CATHEDRAL 3@ LL, 15" DL. ALL SLOPES

PLAN NOTES:

- OPENINGS IN EXTERIOR WALLS TO HAVE
MIN. 2" x 2" x 1/4" MIN. FIBER OR BETTER
- ALL FLUSH BEAMS, GIRDERS, JOISTS
CONNECTIONS BY SHIPSON STONGIE
CONNECTORS AND JOIST HANGERS.
- ALL INTERIOR WALL ARE SHOWN 3/4"
UNLESS FLOPING WALL WHICH IS SHOWN
5/4"
- ALL EXTERIOR WALL FROM HABITABLE
SPACES OR SHOW 6" (5/4" + 1/2"
SHEATHING)
- SHEATHING TO BE FLUSH WITH
FOUNDATION FACE



REV. 05.02.2022

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3 UNIT BUILDING:
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Drawing
LOWER LEVEL
FLOOR PLAN

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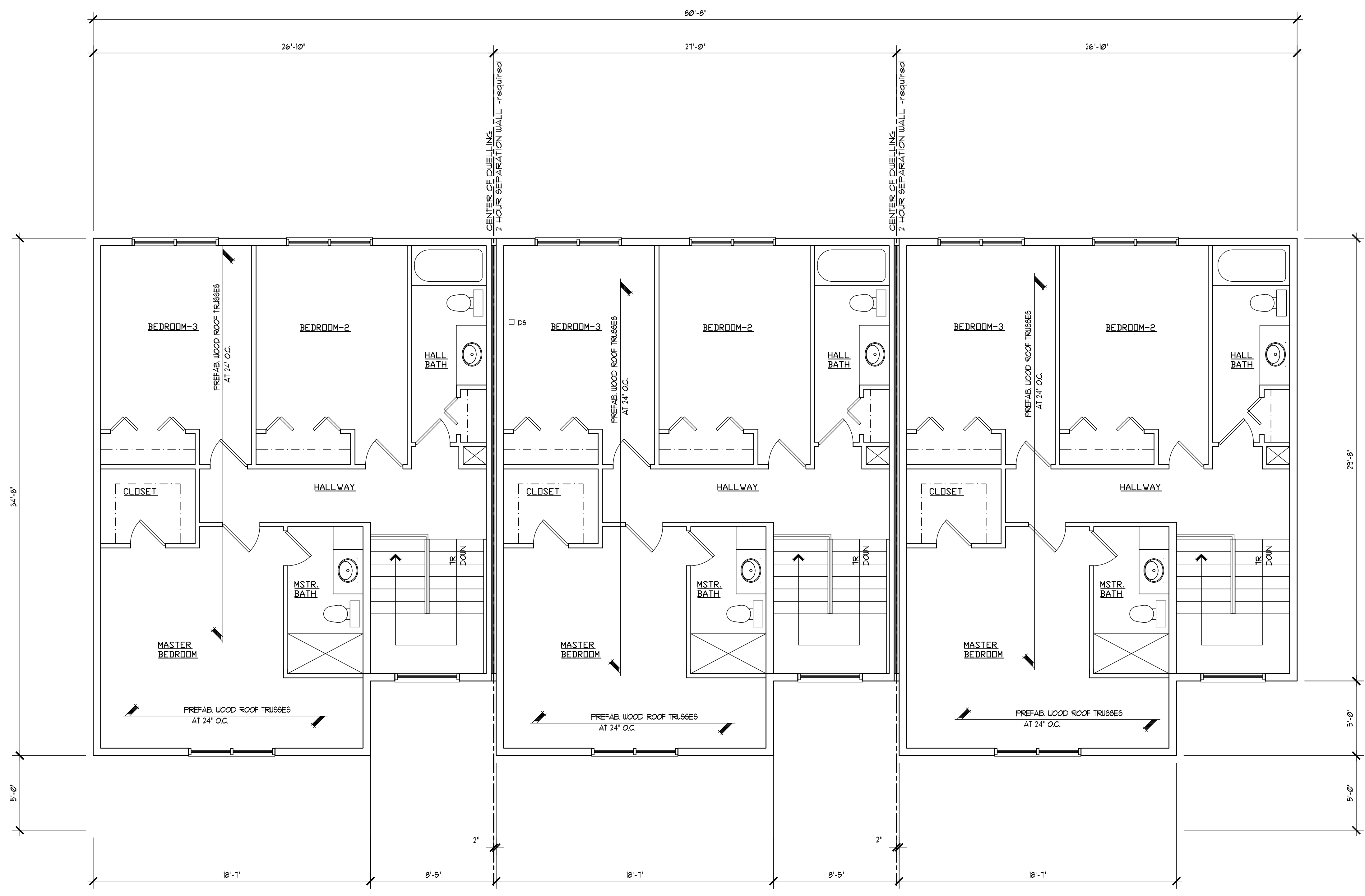
STRUCTURAL FRAMING LUMBER
 JOISTS, HEADERS, AND RAFTERS
 GRADE # 2 SPECIES: HEM-FIR
 DOMESTIC BASE VALUE: Fb = 850
 OR BETTER UNO.

BEAM PRODUCTS
 TRUS-JOIST 2.0 E L.V.L. Fb = 2600 P.S.I.
 OR BETTER UNO.

CLIMATIC & GEOGRAPHIC DESIGN
 CRITERIA:
 • GROUND SNOW LOAD - 30 P.S.F.
 • WIND SPEED - 75 M.P.H. NORMAL 3
 SECOND 90 M.P.H.
 • SEISMIC DESIGN CATEGORY - A
 • WEATHERING AREA - SEVERE
 • FROST LINE DEPTH - 42"
 • TERMITE DAMAGE - MODERATE
 • TERMITE SHIELD REQ.
 • WINTER DESIGN TEMP - 4° F
 • ICE BARRIER UNDERLAYMENT - YES

DESIGN CRITERIA

- FLOOR 40° LL, 10° DL ALL AREAS
- WALL 60 P.L.F. OR ACTUAL LOAD
- CEILING = 20° LL, 10° DL
- ROOF SLOPES OVER 3 IN 12
- CEILING = 10° LL, 5° DL
- ROOF SLOPES 3 IN 12 OR LESS
- ROOF = 30° LL, 10° DL ALL SLOPES
- CATHEDRAL 30° LL, 15° DL ALL SLOPES



1 SECOND FLOOR PLAN
 A3.2 SCALE: 1/4" = 1'-0"
 NORTH

REV. 05.02.2022

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Project #	021044
Drawn:	RNL-MNA
Date:	12.10.2021
Issue/Revision	Date:
P & C	TBD

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 PROGRAM & PROJECT MANAGER
 TEL: 815-560-7075
 5700 BUCKLE, IL 60178 email: adg@adgmanagement.net

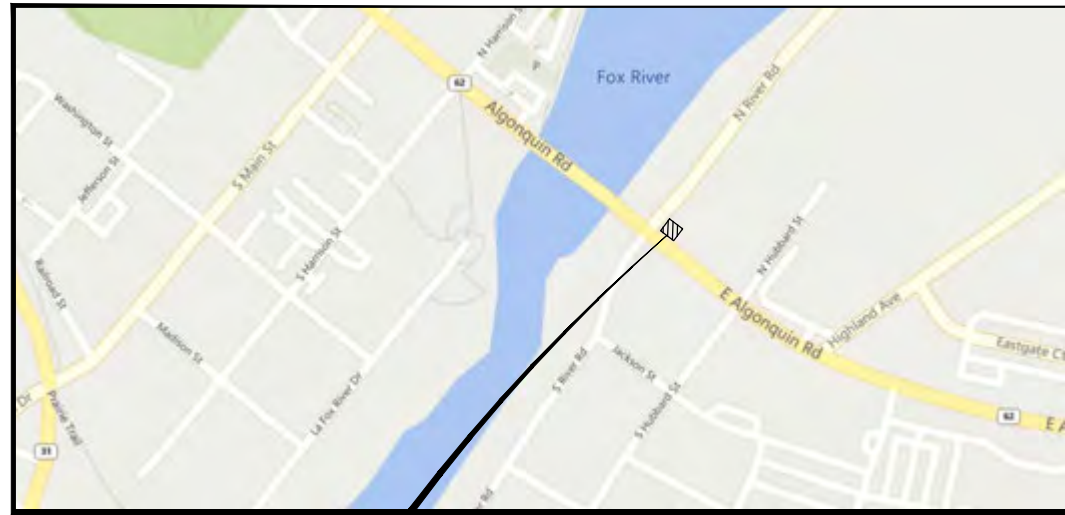
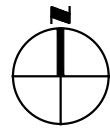
3 UNIT BUILDING:
 RIVERVIEW TOWNHOUSE
 ALGONQUIN, ILLINOIS

Drawing
 SECOND FLOOR PLAN

Sheet
A3.2

ENGINEERING PLANS FOR RIVERVIEW TOWNHOMES

RIVER & ALGONQUIN ROADS
ALGONQUIN, ILLINOIS



**PROJECT
LOCATION**

LOCATION MAP

LOCATED IN THE NE 1/4 OF SECTION 34, T 43 N, R 8 E

DEVELOPER

EDWARD KLING
40W117 CAMPTON CROSSINGS DRIVE
ST. CHARLES, IL 60175-2912
P# (630) 513-6150
E.KLING@CRAMV.COM

LEGEND		
DESCRIPTION	EXISTING	PROPOSED
SANITARY SEWER		
COMBINED SEWER		
STORM SEWER		
UNDERDRAIN		
WATERMAIN		
GAS		
TELEPHONE		
CABLE TV		
ELECTRIC		
OVER HEAD WIRE		
CURB		
FENCE		
STORM CATCHBASIN OR MANHOLE, OPEN LID STRUCTURE		
SANITARY MANHOLE OR STORM MANHOLE		
INLET, FIRE HYDRANT, VALVE		
ELEVATIONS	x XXX.XX	XXX.XX
TOP OF CURB	XXX.XX	XXX.XX
EDGE OF PAVEMENT	x XXX.XX	XXX.XX
GEOMETRIC COORDINATE		
LIGHTS		
DRAINAGE ARROWS		
SEWER CLEANOUT		
WATER METER VAULT		
UTILITY POLE		
SOIL BORINGS	N/A	⊕B-X
TRAFFIC SIGN		
TRAFFIC ARROW		
PARKING STALL COUNT		
TREE		
RELOCATE TREE		
ITEM REMOVAL		N/A
PAVEMENT REMOVAL		N/A
CONCRETE		
WETLAND		
LIMITS OF CONSTRUCTION		
MAIL BOX		FOUND CONCRETE MONUMENT <input checked="" type="checkbox"/>
TRAFFIC SIGNAL BOX		SET CONCRETE MONUMENT <input checked="" type="checkbox"/>
TRAFFIC SIGNAL		MEASURED 50.00'
TELEPHONE BOX		RECORD/DEED (50.00')
GUY WIRE		POINT OF COMMENCEMENT P.O.C.
FOUND IRON PIPE		POINT OF BEGINNING P.O.B.
SET IRON PIPE		ARC A
FOUND IRON ROD		RADIUS R
SET IRON ROD		CHORD BEARING CHDBRG
FOUND CUT CROSS		POINT OF CURVATURE P/C
SET CUT CROSS		POINT OF TANGENCY P/T
FOUND P.K. NAIL		TOP OF FOUNDATION T/F
SET P.K. NAIL		FINISHED FLOOR F/F
TOP OF CURB		EDGE OF PAVEMENT E/P

ALL DIMENSIONS, COORDINATES, AND PROPOSED GRADES ARE REFERENCED TO THE EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE. OPEN SYMBOLS AND DASHED LINES INDICATE EXISTING CONDITIONS

INDEX OF SHEETS

- | | |
|------|-----------------------------------|
| C100 | TITLE SHEET |
| C200 | DEMOLITION PLAN |
| C300 | SITE LAYOUT PLAN |
| C400 | GRADING PLAN |
| C500 | UTILITY PLAN |
| C600 | EROSION AND SEDIMENT CONTROL PLAN |
| C700 | SPECIFICATIONS |
| C800 | CONSTRUCTION DETAILS |
| C801 | CONSTRUCTION DETAILS |

**NOT FOR CONSTRUCTION
FOR REVIEW PURPOSES ONLY**

BENCHMARKS

CONTROL BENCHMARK: VILLAGE OF ALGONQUIN BENCHMARK #44:
PLUG ON HANDRAIL OF BRIDGE OVER FOX RIVER AT INTERSECTION OF RIVER DRIVE AND ALGONQUIN ROAD (RT 62) AT NORTHWEST CORNER INTERSECTION.
ELEVATION: 764.355

JOB BENCHMARK:
NORTHEAST HEADBOLT OF HYDRANT 80'± NORTHWEST OF NORTHWEST CORNER SITE.
ELEVATION: 758.71

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DUTY TO INDEMNIFY

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, DEVELOPER, AND ENGINEER, AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO, THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO, THE ILLINOIS LAWS REGARDING STRUCTURAL WORK (IL. REV. STAT. CH. 48, PAR. 60 AT SEQ.), AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS (IL. REV. STAT. CH.17 1/2 PAR.51 ET. SEQ.). IN THE EVENT OF ANY SUCH INJURY (INCLUDING DEATH) OR LOSS OR DAMAGE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS & METHODS OF CONSTRUCTION AND FOR PROVIDING AND MAINTAINING ADEQUATE SIGNS, BARRICADES, FENCING, TRAFFIC CONTROL DEVICES AND MEASURES, AND ALL OTHER MEASURES THAT ARE NECESSARY TO PROTECT THE SAFETY OF THE SITE AT ALL TIMES.

NO.	DATE	REVISIONS/ISSUANCES
3	4/10/22	LOT CONSOLIDATION
2	2/20/22	VILLAGE REVIEW
1	12/05/21	FOR REVIEW

NO. DATE REVISIONS/ISSUANCES

SITWERKS (847) 921-2390
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GLEN ELLYN, IL 60137

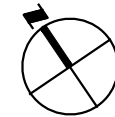
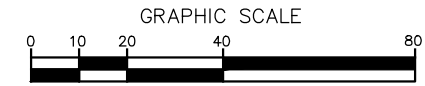
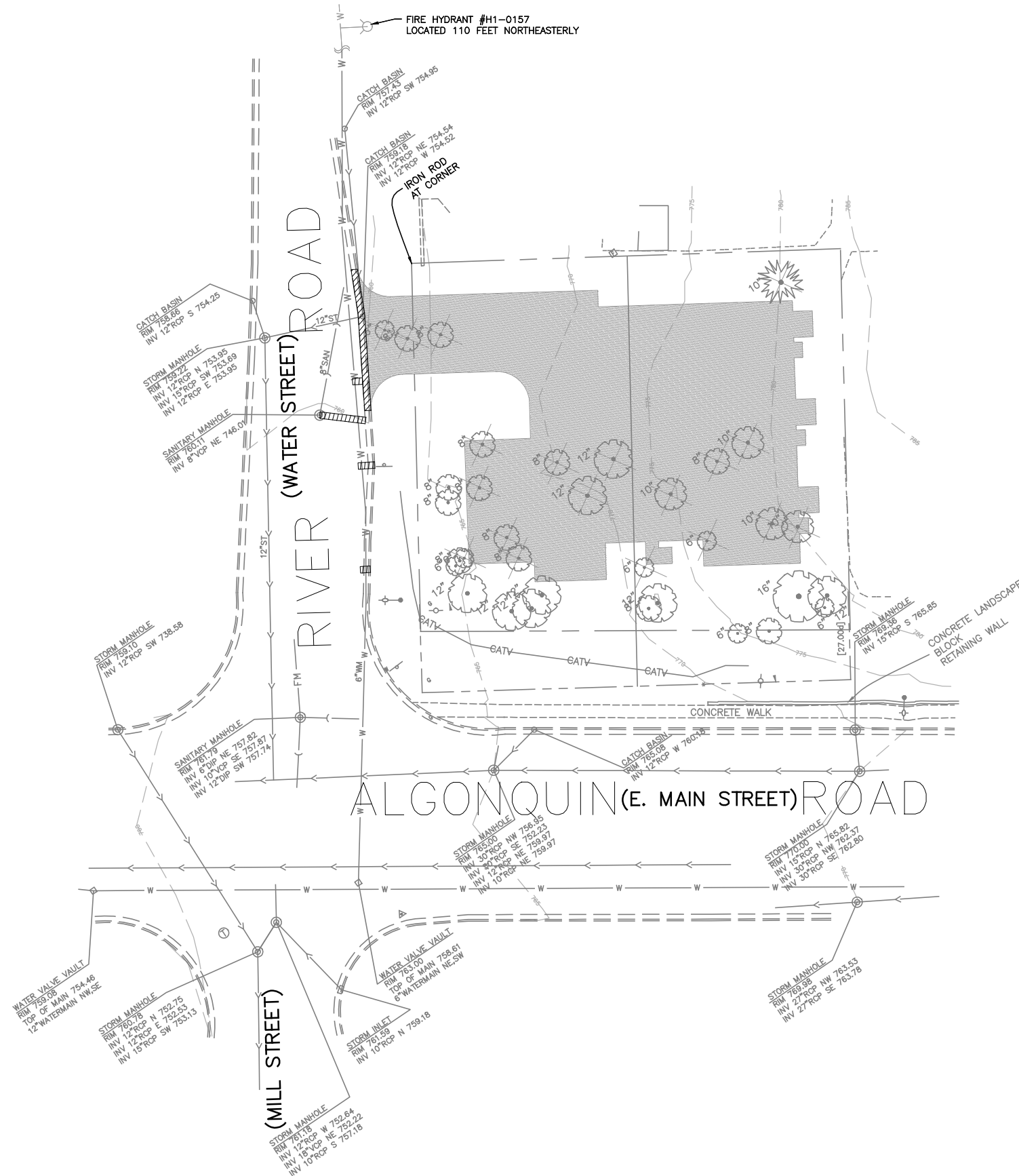


SEAL
EXPIRES 11-30-2023




PROJECT NUMBER:
PROJECT MANAGER: JJP
ARCH/ENG: JJP
SCALE:
DATE 09/30/2021
CHECKED BY: JJP

TITLE SHEET

C100

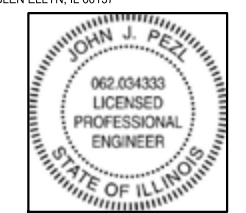


LEGEND:

-  STRIP TOPSOIL UNDER PROPOSED BUILDING AND PAVING
-  SAWCUT AND REMOVE CURB AND PAVEMENT
-  TREE REMOVAL

NO.	DATE	REVISIONS/ISSUANCES
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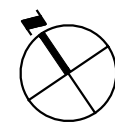
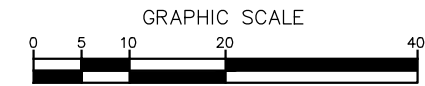
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PROJECT NUMBER:
PROJECT MANAGER: JJP
ARCH/ENG: JJP
SCALE:
DATE 09/30/2021
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DEMOLITION PLAN

C200

NOTES:



LEGEND:

TW = TOP OF WALK

TC = TOP OF CURB

P = PAVEMENT

G = GROUND

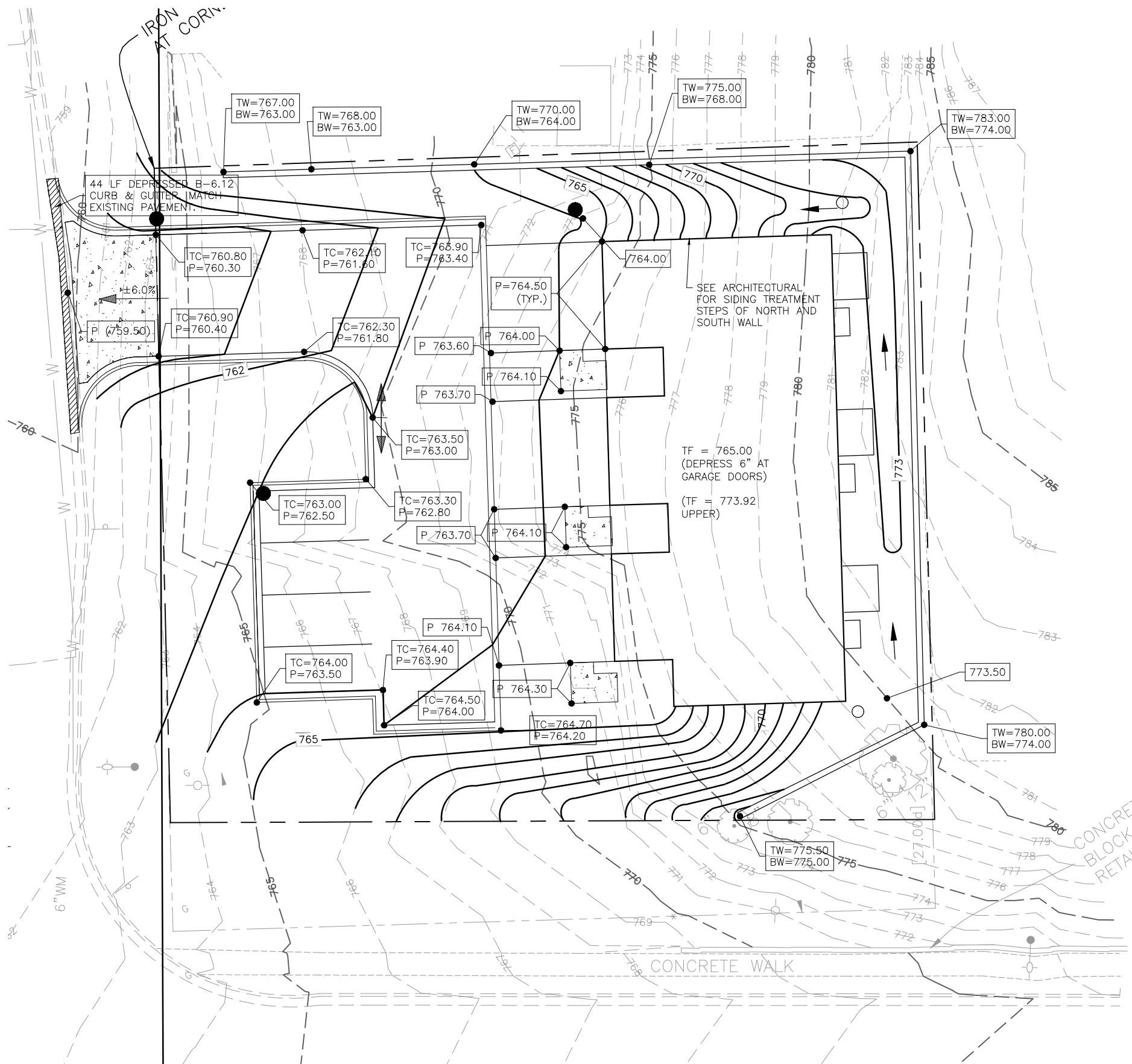
M/E = MATCH EXISTING

E 763.00 = PROPOSED ELEVATION

— = PROPOSED CONTOUR

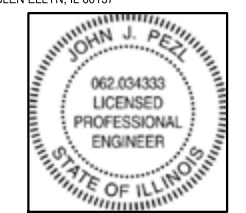
NOTES:

1. ADJUST EXISTING STRUCTURES AS REQUIRED.
2. ALL CURB SHALL BE B-6.12 UNLESS OTHERWISE NOTED. DEPRESS CURB THROUGH DRIVEWAYS.



NO.	DATE	REVISIONS/ISSUANCES
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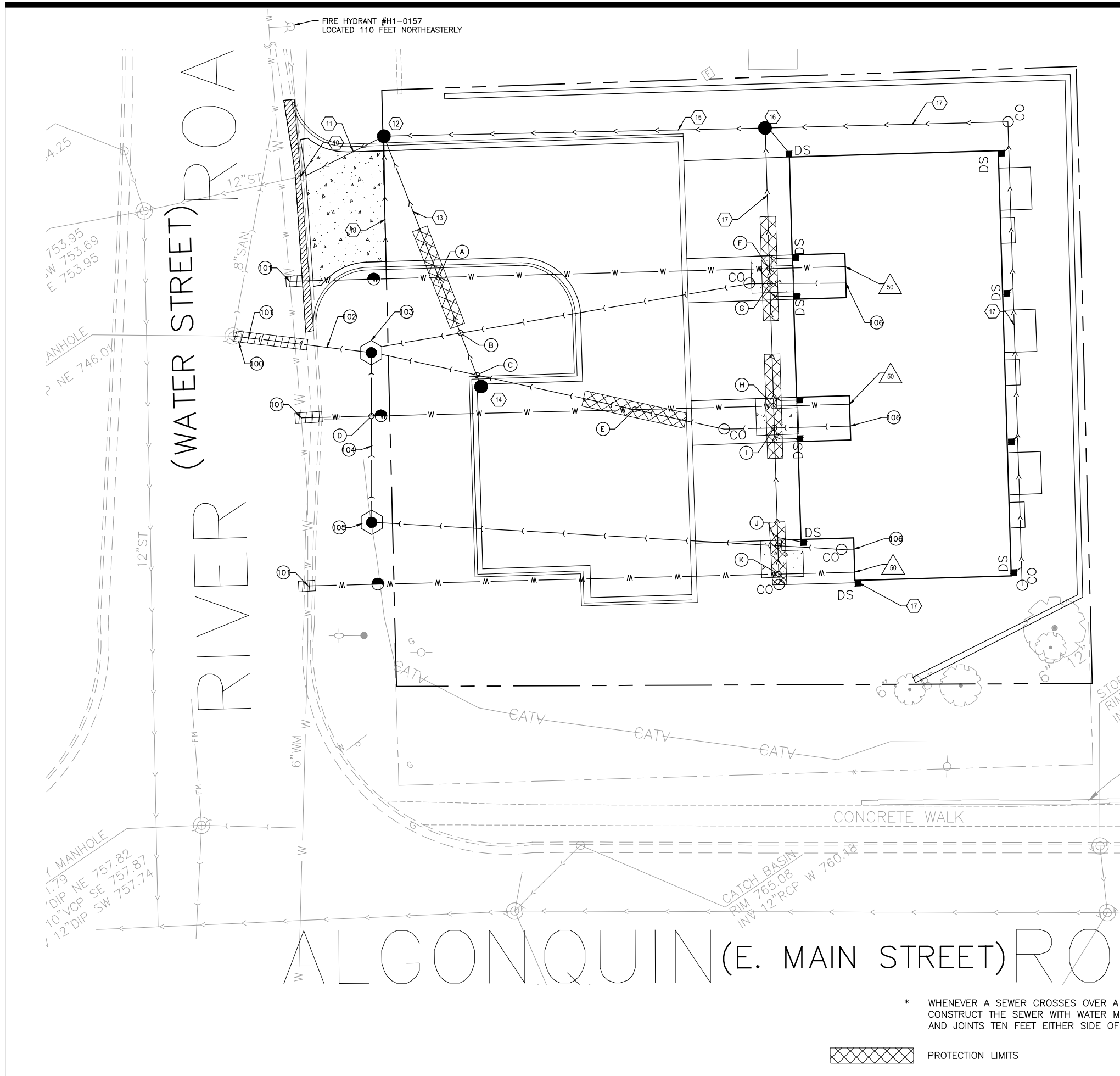
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 PROJECT MANAGER: JJP
 ARCH/ENG: JJP
 SCALE:
 DATE: 09/30/2021
 CHECKED BY: JJP

GRADING AND PAVING PLAN
C400

NOTES:



- PROPOSED UTILITY SCHEDULE
- STORM SEWER**
- CONNECTION TO EXISTING 48-INCH DIAMETER STORM CATCH BASIN RIM = 759.18, EX. 12" INV = 754.54 (NE), EX 12" INV = 754.52 (W) PROPOSED 12" R.C.P. INVERT = 755.00
 - 16 L.F.-12" DIA.REINFORCED CONCRETE PIPE (RCP) @ 6.50%
 - 48"-DIAMETER CATCH BASIN TYPE A, COMPLETE PRO RIM = 761.00, INVERT = 756.04
 - 48 L.F.-12" R.C.P. @ 5.00%
 - 24"-DIAMETER CATCH BASIN TYPE B, COMPLETE RIM = 762.50. INVERT = 760.00
 - 72 L.F.-12" R.C.P. @ 6.00%
 - 48"-DIAMETER CATCH BASIN TYPE A, COMPLETE RIM = 764.00, INVERT = 760.36
 - 250 L.F.± - 6" P.V.C. STORM DRAIN @ 1.00% MINIMUM, INCLUDING FITTINGS AND CLEANOUTS. (FOR ROOF DOWNSPOUTS AND SUMP PUMP DISCHARGE ONLY)
 - 24 L.F. TRENCH DRAIN OR 12' SLOTTED DRAIN, 24 GA., 6" HIGH(CONTECH OR APPROVED EQUAL) ENCASED IN LOW-SLUMP CONCRETE, TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. INCLUDE ALL FITTINGS AND CONNECT TO CATCH BASIN #12. TOP OF DRAIN 760.30.
- WATER SERVICES:**
- THREE (3) - 1-1/2 INCH TYPE K COPPER WATER SERVICE AND VALVE IN BOX, COMPLETE
- SANITARY SEWER**
- CONNECT TO EXISTING SANITARY SEWER MANHOLE. CONSTRUCT NEW BENCH AND RECONSTRUCT FLOW CHANNEL. RIM = 760.11, EX. 8" INV = 746.01 (NE). PROPOSED EXTERNAL DROP CONNECTION, 8" INV = 755.00 (SE)
 - SAWCUT, REMOVE, AND REPLACE EXISTING PAVEMENT WITH SAME TO MATCH EXISTING PAVEMENT.
 - 26 L.F. - 8"-DIAMETER P.V.C., SDR-26, @ 2.00%
 - 48"-DIAMETER MANHOLE TYPE A, COMPLETE RIM=763.00, 8" INV.=755.52
 - 30 L.F.-8" DIA P.V.C. SDR 26 @ 2.00%
 - 48" DIA. MANHOLE, COMPLETE. RIM=762.80 INV.=756.12
 - THREE (3) - 6"-DIAMETER P.V.C HOUSE SERVICES @ 1.00% MINIMUM. 270 L.F.± TOTAL. CONSTRUCT TO FIVE FEET FROM FOUNDATION, WITH REMOVABLE PLUG.

WATER SERVICE AND SEWER CROSSINGS		
LOCATION		
A*	T/W 756.5	ST INV 758.90
B	T/SAN 759.0	ST INV 759.50
C	T/SAN 759.0	ST INV 759.94
D	T/W 757.5	SAN INV 755.70
E*	T/W 758.0	SAN INV 759.7
F*	T/W 759.0	ST INV 761.1
G	T/SAN 760.8	ST INV 761.2
H*	T/W 759.0	ST INV 761.4
I	T/SAN 760.8	ST INV 761.4
J	T/SAN 760.8	ST INV 761.6
K*	T/W 759.0	ST INV 761.6

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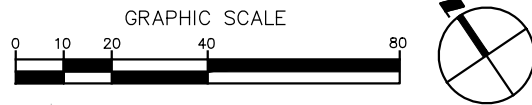
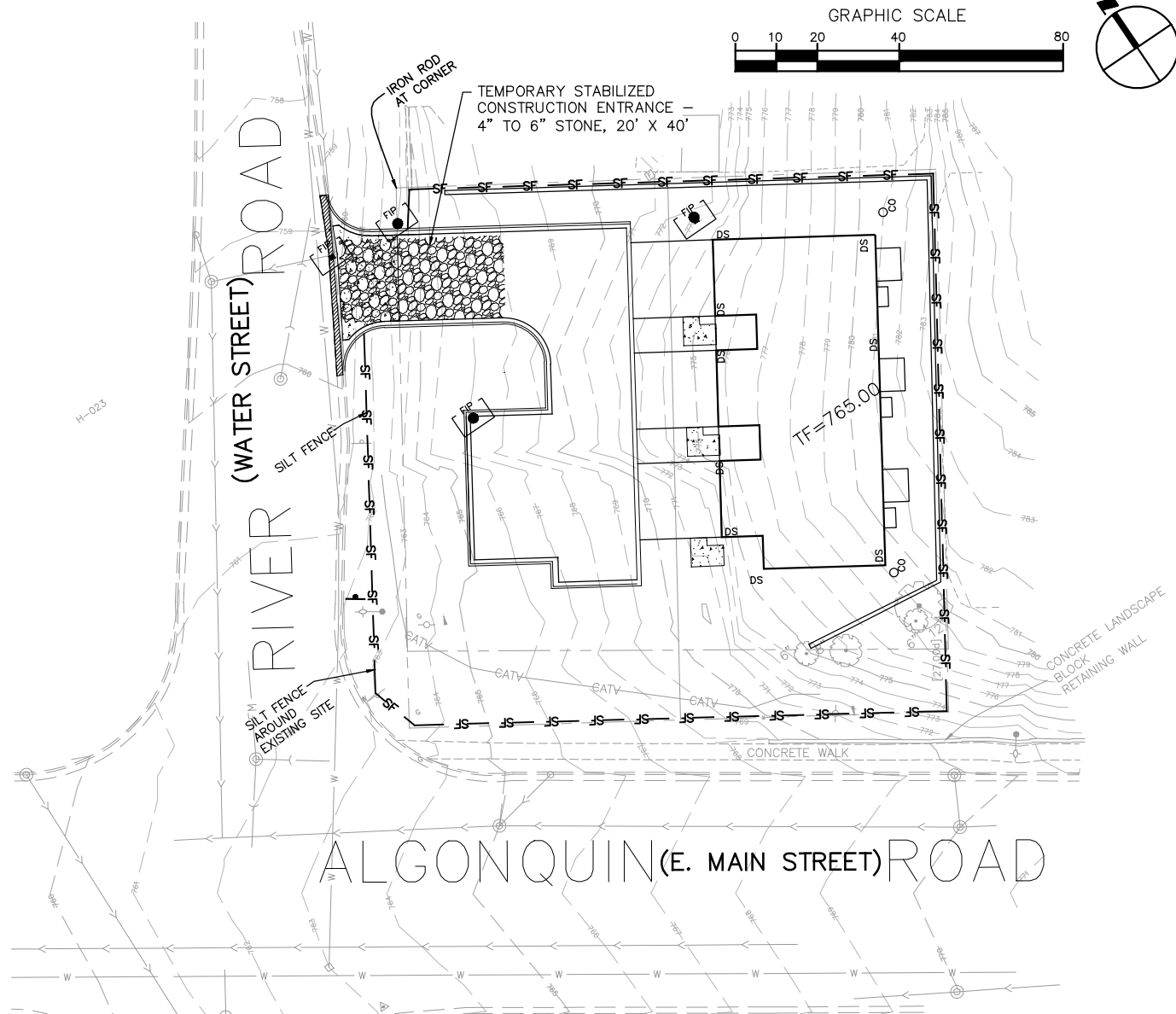
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
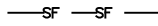


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SCALE:
DATE: 09/30/2021
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UTILITY PLAN
C500

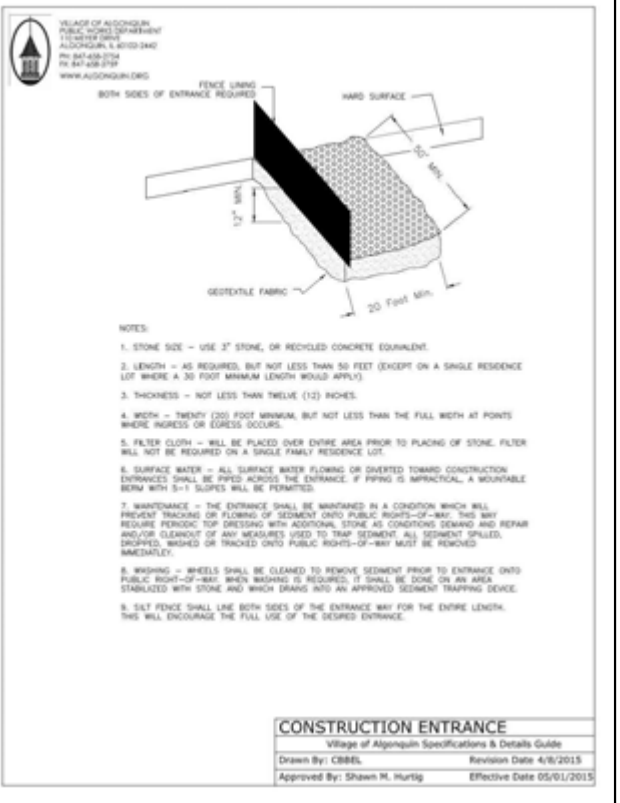
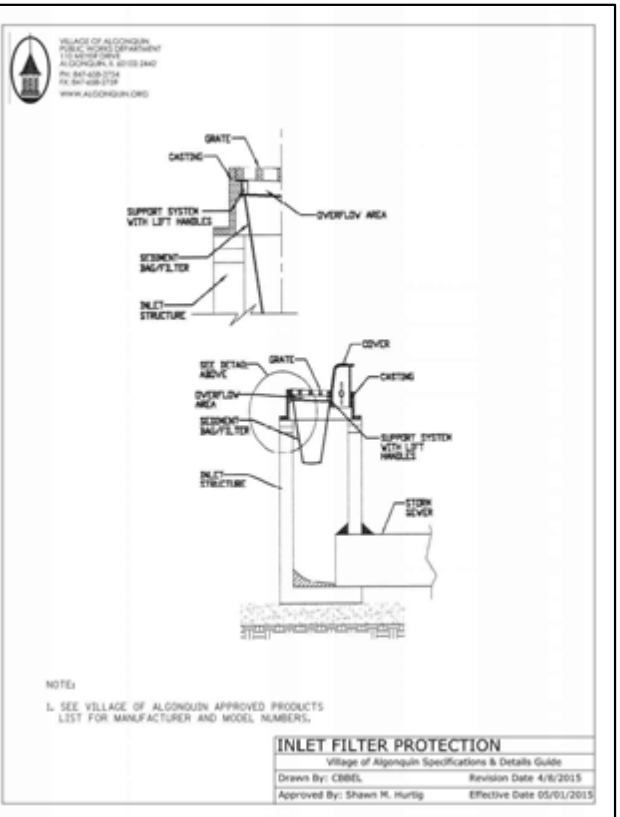
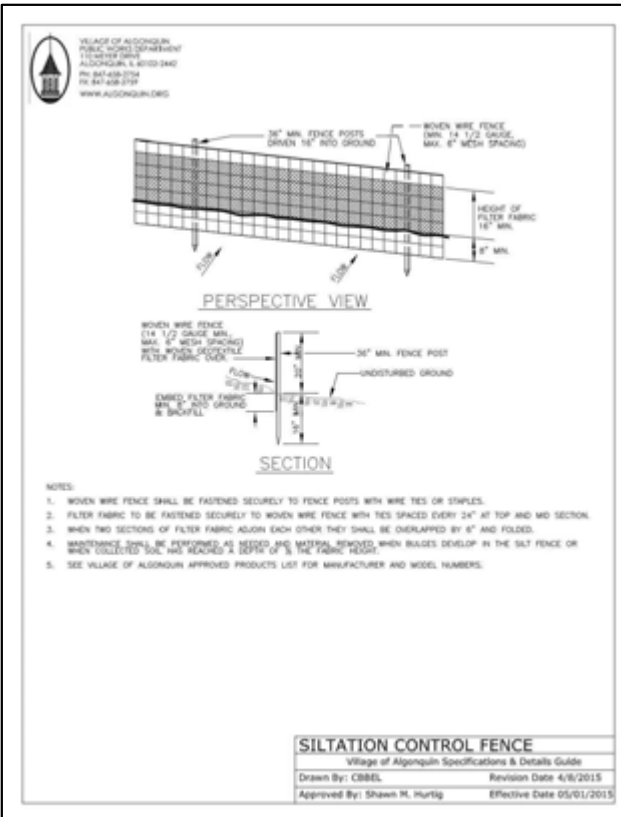


LEGEND:

-  INLET PROTECTION
-  SILT FENCE

NOTES:

1. ANY DISTURBED AREAS WILL BE SEEDED IN ACCORDANCE WITH THE "SEEDING REQUIREMENTS AND SCHEDULE"
2. ALL CONSTRUCTION WORKERS SHALL PARK ON SITE OR APPROVED OFFSITE LOCATIONS. NO PARKING ON ALGONQUIN ROAD OR RIVER ROAD.
3. MUD OR DEBRIS TRACKED OFF SITE SHALL BE IMMEDIATELY CLEANED UP THE CONTRACTOR.



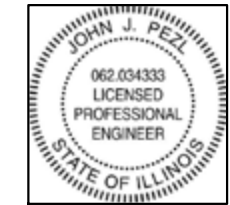
NOTES:

SOIL EROSION AND SEDIMENT CONTROL

1. REASONABLE CARE MUST BE TAKEN TO MINIMIZE SOIL EROSION. REFER TO THE "IL URBAN MANUAL" (IUM) AND NDPES PERMIT ILR10. THE U.S. SOIL CONSERVATION SERVICE IS ALSO AVAILABLE TO PROVIDE GUIDANCE.
2. ANY DISTURBED AREAS SHALL BE LEFT TO A PRACTICAL MINIMUM AND SHALL BE MULCHED, SEEDED, SODDED, OR PAVED AS SOON AS POSSIBLE.
3. ALL INLETS, STRUCTURES, PIPES, SWALES, AND ROADS SHALL BE KEPT CLEAN AND FREE OF DIRT AND SILT.
4. STOCKPILES SHALL HAVE A SILT FENCE AROUND THE CIRCUMFERENCE TO CONTROL SILT IF NEEDED. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT MUST HAVE SUFFICIENT VEGETATION TO CONTROL BOTH WATER AND WIND EROSION AND MUST BE STABILIZED IMMEDIATELY.
5. PERENNIAL RYE GRASS SHALL BE SEEDED AND MAINTAINED IN AREAS WITH HIGH EROSION POTENTIAL.
6. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT.
7. REPLACE SOIL EROSION CONTROL DEVICES WITH TOPSOIL AND SOD AT THE COMPLETION OF THE PROJECT.
8. ALL ADJACENT ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
9. EROSION CONTROL MEASURES SHOWN ARE THE MINIMUM REQUIRED BY THE VILLAGE. ADDITIONAL SOIL EROSION CONTROL MEASURES MY BE REQUIRED AT ANY TIME DURING THE COURSE OF CONSTRUCTION.

NO.	DATE	REVISIONS/ISSUANCES
3	4/10/22	LOT CONSOLIDATION
2	2/20/22	VILLAGE REVIEW
1	12/05/21	FOR REVIEW

SITEWORKS (847) 921-2390
 423 RAMBLEWOOD, STE. A. jhp11@yahoo.com
 GLEN ELLYN, IL 60137



SEAL
 EXPIRES 11-30-2023

PROJECT NUMBER:
 PROJECT MANAGER: JJP
 ARCH/ENG: JJP
 SCALE:
 DATE 09/30/2021
 CHECKED BY: JJP

EROSION AND SEDIMENT CONTROL PLAN
C600

GENERAL NOTES AND CONDITIONS

1. ALL EARTHWORK, GRADING AND PAVING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS, STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION (I.D.O.T.), ADOPTED APRIL 1, 2016, AND ALL REVISIONS AND SUPPLEMENTS THERETO, AND THE REQUIREMENTS AND SPECIFICATIONS OF THE VILLAGE OF ALGONQUIN.
2. ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, SEVENTH EDITION DATED JULY 2014, AND ALL REVISIONS AND SUPPLEMENTS THERETO, AND THE PUBLISHED STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE VILLAGE OF ALGONQUIN THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE VILLAGE OF ALGONQUIN. REQUIREMENTS.
3. THE REQUIREMENTS AND SPECIFICATIONS OF THE VILLAGE OF ALGONQUIN SHALL GOVERN OVER ALL.
4. THE VILLAGE OF ALGONQUIN ENGINEERING DEPARTMENT, MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OR RESUMPTION OF ANY WORK.
5. THE CONTRACTOR SHALL KEEP CAREFUL MEASUREMENTS AND RECORDS OF ALL CONSTRUCTION AND SHALL FURNISH THE ENGINEER AND THE VILLAGE WITH RECORD DRAWINGS UPON COMPLETION OF HIS WORK. ONE SET OF MYLAR-REPRODUCIBLE RECORD DRAWINGS AND COPIES MUST BE FURNISHED TO THE VILLAGE BY THE DEVELOPER.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION. THIS INCLUDES SANITARY SEWER, WATER MAIN, STORM SEWER, TELEPHONE, ELECTRIC GAS, CABLE, ETC. THE JULIE PHONE NUMBER IS 1-800-892-0123.
7. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.
8. ANY DIRT OR MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR OFFSITE AT THE CONTRACTOR'S EXPENSE. THE DISPOSAL LOCATION MUST BE APPROVED BY THE VILLAGE IF IT IS WITHIN VILLAGE LIMITS.
9. ALL STRUCTURES, INLETS, PIPES, SWALES AND ROADS MUST BE KEPT CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
10. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE SIGNS, BARRICADES, FENCING, TRAFFIC CONTROL DEVICES AND MEASURES, AND ALL OTHER MEASURES THAT ARE NECESSARY TO PROTECT THE SAFETY OF THE SITE AT ALL TIMES.
11. THE CONTRACTOR, BY AGREEING TO PERFORM THE WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ENGINEER, THE VILLAGE, AND ALL AGENTS AND ASSIGNS OF THOSE PARTIES, FROM ALL SUITS AND CLAIMS ARISING OUT OF THE PERFORMANCE OF SAID WORK, AND FURTHER AGREES TO DEFEND OR OTHERWISE PAY ALL LEGAL FEES ARISING OUT OF THE DEFENSE OF SAID PARTIES.
12. ALL ELEVATIONS ARE U.S.G.S. DATUM.

EARTHWORK, GRADING, AND PAVING

1. ALL PROPOSED PAVEMENT AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
2. THE SUBGRADE SHALL BE FREE OF ALL UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MINIMUM 95 PER CENT OF MODIFIED PROCTOR DENSITY. PROOF-ROLL SHALL BE PERFORMED BY A SOILS ENGINEER.
3. THE SUBGRADE SHALL BE INSPECTED AND APPROVED BY THE VILLAGE OF ALGONQUIN PRIOR TO PLACING THE BASE MATERIAL.
4. STOCKPILING OF SOIL SHALL BE AT LOCATIONS DESIGNATED BY OWNER.
5. THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SPOIL MATERIAL FROM THE UNDERGROUND CONTRACTORS, PREPARING THE ROADWAY SUBGRADE, PLACING TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES TO FINISHED GRADE, GRADING OF DRAINAGE SWALES, AND ALL OTHER TASKS AS DIRECTED BY THE OWNER OR ENGINEER.
6. ANY QUANTITIES CONTAINED IN THESE DOCUMENTS ARE APPROXIMATE AND ESTIMATED, AND ARE PRESENTED AS A GUIDE TO THE CONTRACTOR IN DETERMINING ALL QUANTITIES AND TO BECOME FAMILIAR WITH THE SITE.
7. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.
8. THE PAVING CONTRACTOR IS RESPONSIBLE FOR THE FINAL SUBGRADE PREPARATION, THE PAVEMENT BASE, BINDER, AND SURFACE, AND ALL FINAL CLEAN-UP AND RELATED WORK ASSOCIATED WITH THE PAVING OPERATION.
9. THE PROPOSED CURB AND GUTTER AND PAVEMENT SHALL BE OF THE TYPE AND THICKNESS AS SPECIFIED IN THE ENGINEERING DRAWINGS, AND CONSTRUCTED IN STRICT CONFORMANCE WITH THE PREVIOUS REFERENCED I.D.O.T. STANDARD SPECIFICATIONS... AND THE REQUIREMENTS OF THE VILLAGE OF ALGONQUIN
10. CONCRETE SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE WITH 5-8% AIR ENTRAINMENT, 6-BAG MIX, WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,500 P.S.I. AT 14 DAYS. ALL CONCRETE SHALL BE BROOM FINISHED.
11. CURING AND PROTECTION OF ALL CONCRETE SHALL BE IN STRICT CONFORMANCE WITH THE PROVISIONS OF SECTION 1020.13 OF THE I.D.O.T. STANDARD SPECIFICATIONS...
12. THE CURB AND GUTTER SHALL HAVE 3/4"-THICK PREMOULDED FIBER EXPANSION JOINTS WITH 3/4"-DIAMETER BY 18-INCH LONG PLAIN ROUND STEEL DOWEL BARS AT 50-FOOT INTERVALS, AT ALL PC'S AND PT'S, AND AT ALL CURB RETURNS. CONTRACTION JOINTS SHALL BE CONSTRUCTED AT 15-FOOT INTERVALS. THE COST OF THESE JOINTS SHALL BE INCIDENTAL TO THE CURB AND GUTTER.
13. DEPRESSED CURB SHALL BE PROVIDED FOR HANDICAPPED RAMPS AT ALL SIDEWALKS ABUTTING THE CURB AND GUTTER.

WATER MAIN

1. ALL WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE CLASS 52 CONFORMING TO ANSI A-21.51 AND WITH JOINTS CONFORMING TO ANSI A-21.11. THE WATER MAIN SHALL BE CEMENT-LINED IN ACCORDANCE WITH ANSI A-21.4, BITUMINOUS COATED.
2. THE MINIMUM COVER FOR ALL WATER MAIN AND WATER SERVICE PIPE IS FIVE AND ONE-HALF FEET (5-1/2') FROM FINISHED GRADE TO TOP OF PIPE. ALL WATER MAINS UNDER AND WITHIN TWO FEET OF ANY EXISTING OR PROPOSED PAVEMENT OR SIDEWALK SHALL BE BACK FILLED WITH GRANULAR BACK FILL MATERIAL I.D.O.T. GRADATION CA-6 CRUSHED STONE OR APPROVED EQUAL.
3. ALL VALVES SHALL BE GATE VALVES AND BE FURNISHED MECHANICAL JOINTED, WITH CAST IRON BODY, BRONZE MOUNTED, BRONZE STEMMED, DOUBLE DISC PATTERN, WITH NON-RISING STEM AND BE DESIGNED FOR 300 POUNDS WORKING PRESSURE. ALL VALVES SHALL OPEN LEFT.
4. ALL WATER MAIN SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AWWA, THE ILLINOIS EPA AND THE VILLAGE OF ALGONQUIN.
5. AFTER THE PRESSURE TEST HAS BEEN ACCEPTED, THE CONTRACTOR SHALL CHLORINATE THE WATER MAINS WITH GAS IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA, THE ILLINOIS EPA, AND THE VILLAGE OF ALGONQUIN CHLORINATION SHALL BE PERFORMED UNDER THE DIRECTION OF THE VILLAGE ENGINEERING DEPARTMENT AND/OR PUBLIC WORKS DEPARTMENT.
6. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY SEWERS WHEN THEY ARE PARALLEL. WHENEVER A SEWER CROSSES A WATER MAIN, A MINIMUM VERTICAL DISTANCE OF 18 INCHES MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE PIPES, AND THE SEWER JOINTS ARRANGED SO THEY ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHEN IT IS NECESSARY FOR A SEWER TO CROSS OVER THE TOP OF A WATER MAIN WITH A MINIMUM 18" SEPARATION, OR THE SEWER CROSSES UNDER THE WATERMAIN WITH LESS THAN 18" VERTICAL SEPARATION, OR 10' HORIZONTAL SEPARATION IS NOT MAINTAINED, THEN ONE OF THE FOLLOWING METHODS MUST ALSO BE CONSTRUCTED: A.) THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER MAIN QUALITY PIPE (FOR A DISTANCE TEN (10) FEET EITHER SIDE OF A CROSSING) AND SHALL BE PRESSURE-TESTED TO INSURE WATER TIGHTNESS PRIOR TO BACK FILLING, OR B.) FOR CROSSINGS ONLY, THE RCP STORM SEWER SHALL BE CONSTRUCTED WITH O-RING GASKETED JOINTS (A.S.T.M. C-361) (FOR A DISTANCE OF TEN (10) FEET EITHER SIDE OF A CROSSING) OR C.) THE WATER MAIN SHALL BE ENCASED IN WATER MAIN QUALITY CASING PIPE (WATERTIGHT) AND SEALED AT BOTH ENDS (FOR A DISTANCE OF TEN (10) FEET EITHER SIDE OF A CROSSING).
7. THE WATER SERVICE PIPE SHALL BE 1 1/2" TYPE K COPPER. THE CORPORATION COCK SHALL BE MUELLER. THE CURB STOP SHALL BE MUELLER AND THE SERVICE BOX SHALL BE MUELLER #H10302. ALL ITEMS SHALL CONFORM TO THE VILLAGE OF ALGONQUIN.
8. EXISTING WELLS (IF ANY) TO BE CAPPED SHALL BE CAPPED BY A PROPERLY LICENSED CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE PROPER GOVERNING AUTHORITIES AND OBTAIN THE REQUIRED PERMITS FROM THEM.

STORM SEWER

1. ALL STORM SEWER SHALL BE CONSTRUCTED OF REINFORCED CONCRETE PIPE CLASS III OR THICKER CONFORMING TO A.S.T.M. C-76, WITH EITHER MASTIC OR PREFORMED JOINTS (A.S.T.M. C-433) UNLESS OTHERWISE NOTED.
2. ALL INLETS, CATCH BASINS, AND MANHOLES SHALL BE PRECAST CONCRETE.
3. ALL STORM SEWERS UNDER AND WITHIN TWO FEET OF ANY EXISTING OR PROPOSED PAVEMENT OR SIDEWALK SHALL BE BACK FILLED WITH GRANULAR BACK FILL MATERIAL I.D.O.T. GRADATION CA-6 CRUSHED STONE OR APPROVED EQUAL.
4. ANY FIELD TILES ENCOUNTERED SHALL BE RECONNECTED OR CONNECTED TO THE STORM SEWER SYSTEM. THE SIZE, LOCATION, AND DEPTH OF THE TILES SHALL BE RECORDED BY THE CONTRACTOR AND IMMEDIATELY REPORTED TO THE VILLAGE OF ALGONQUIN AND THE ENGINEER.
5. ALL DOWNSPOUTS SHALL CONNECT DIRECTLY TO THE STORM WATER SYSTEM.

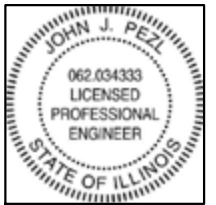
SANITARY SEWER

1. THE VILLAGE OF ALGONQUIN PUBLIC WORKS DEPARTMENT MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK.
2. ALL ELEVATIONS ARE U.S.G.S. DATUM.
3. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER.
4. ALL DOWN SPOUTS, FOOTING DRAINS, AND OUTSIDE DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM OR TO GRADE.
5. ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26, IN ACCORDANCE WITH A.S.T.M. D-2241 AND JOINTS IN ACCORDANCE WITH A.S.T.M. D3139 OR APPROVED EQUAL.
6. VILLAGE APPROVED BEDDING MATERIAL FOR PLASTIC PIPE SHALL CONFORM A.S.T.M. D2321, CLASS II NON-ANGULAR AGGREGATE EXCEPT THE MAXIMUM SIZE SHALL BE 1/2 INCH, CA-6 WASHED STONE (NO LIMESTONE). BEDDING SHALL EXTEND 12" OVER TOP OF PIPE. (SEE DETAIL)
7. "BAND-SEAL" OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPE OF DISSIMILAR MATERIALS.
8. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED
 - 8.1. CIRCULAR SAW-CUT OF THE SEWER MAIN BY PROPER TOOLS ("SE" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.
 - 8.2. REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
 - 8.3. WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND-SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
 - 8.4. INSTALL A NEW MANHOLE.
9. ALL SEPTIC TANKS (IF ANY) BEING ABANDONED SHALL BE FILLED OR REMOVED. APPROVAL MUST BE OBTAINED FROM THE VILLAGE OF ALGONQUIN CONTRACTORS SHALL OBTAIN ANY NECESSARY PERMITS FOR REMOVAL.
10. WATERMAIN & SANITARY SEWER SEPARATION SHALL BE PER SECTION 41-2.01 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, SEVENTH EDITION DATED JULY 2014, AND ALL REVISIONS AND SUPPLEMENTS THERETO OR SECTION 370.350 OF THE ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS.
11. SANITARY SEWER TESTING SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS. SANITARY SEWERS SHALL BE AIR TESTED AND DEFLECTION TESTED.
12. AFTER FINAL APPROVAL PROVIDE A REPRODUCIBLE RECORD DRAWING WHICH HAS BEEN FIELD-CHECKED FOR ACCURACY AND ALL NECESSARY TIES AND LOCATIONS.
13. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY SEWERS WHEN THEY ARE PARALLEL. WHENEVER A SEWER CROSSES A WATER MAIN, A MINIMUM VERTICAL DISTANCE OF 18 INCHES MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE PIPES, AND THE SEWER JOINTS ARRANGED SO THEY ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHEN IT IS NECESSARY FOR A SEWER TO CROSS OVER THE TOP OF A WATER MAIN WITH A MINIMUM 18" SEPARATION, OR THE SEWER CROSSES UNDER THE WATERMAIN WITH LESS THAN 18" VERTICAL SEPARATION, OR 10' HORIZONTAL SEPARATION IS NOT MAINTAINED, THEN ONE OF THE FOLLOWING METHODS MUST ALSO BE CONSTRUCTED:
 - A.) THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER MAIN QUALITY PIPE (FOR A DISTANCE TEN (10) FEET EITHER SIDE OF A CROSSING) AND SHALL BE PRESSURE-TESTED TO INSURE WATER TIGHTNESS PRIOR TO BACK FILLING,
 - B.) FOR CROSSINGS ONLY, THE RCP STORM SEWER SHALL BE CONSTRUCTED WITH O-RING GASKETED JOINTS (A.S.T.M. C-361) (FOR A DISTANCE OF TEN (10) FEET EITHER SIDE OF A CROSSING)
 - C.) THE WATER MAIN SHALL BE ENCASED IN WATER MAIN QUALITY CASING PIPE (WATERTIGHT) AND SEALED AT BOTH ENDS (FOR A DISTANCE OF TEN (10) FEET EITHER SIDE OF A CROSSING).

3	4/10/22	LOT CONSOLIDATION
2	2/20/22	VILLAGE REVIEW
1	12/05/21	FOR REVIEW

NO.	DATE	REVISIONS/ISSUANCES
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SITEWORKS (847) 921-2390
 423 RAMBLEWOOD, STE. A. jjp11@yahoo.com
 GLEN ELLYN, IL 60137

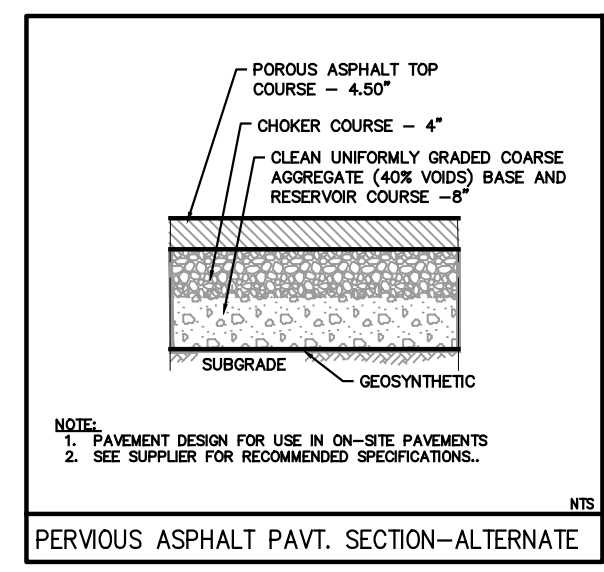
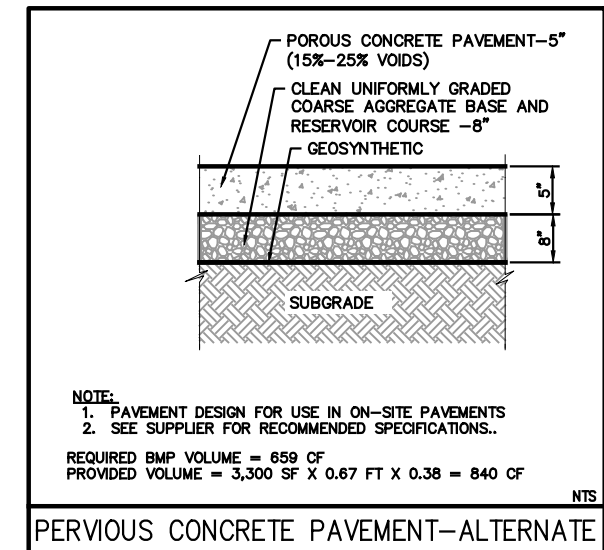
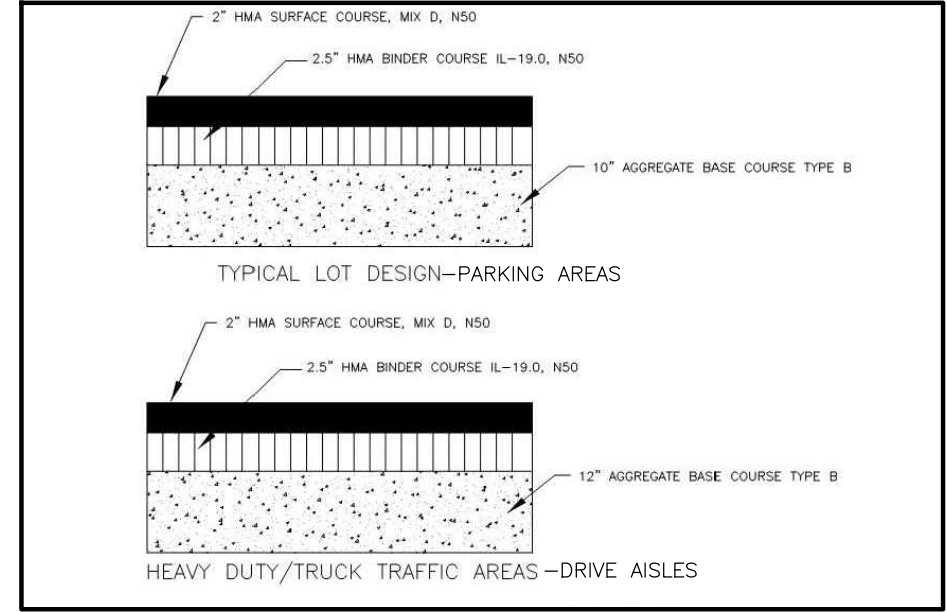
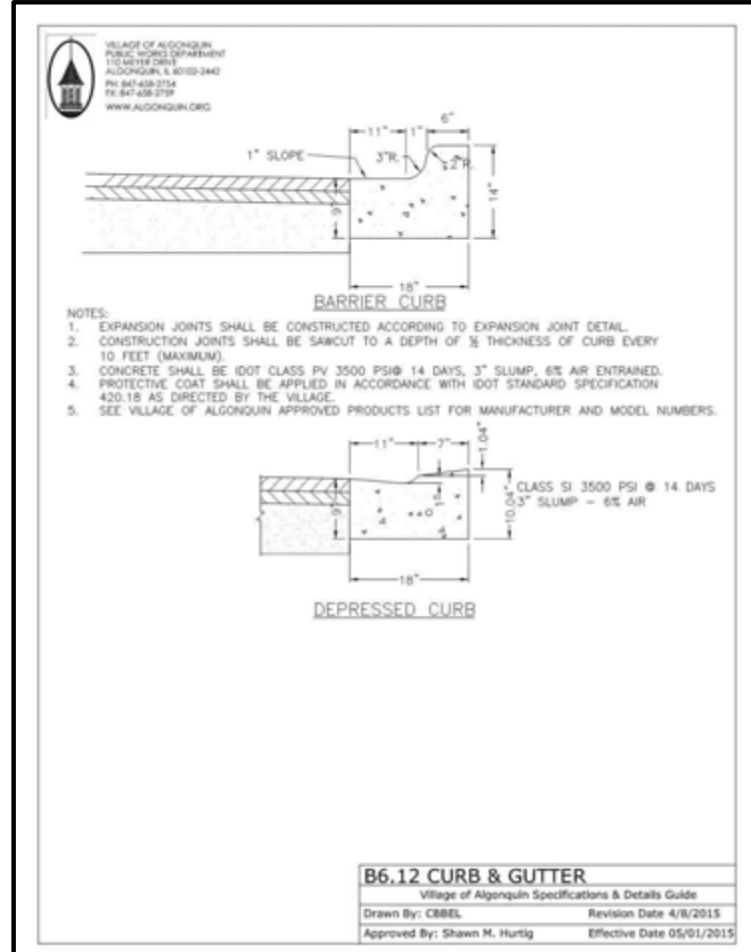
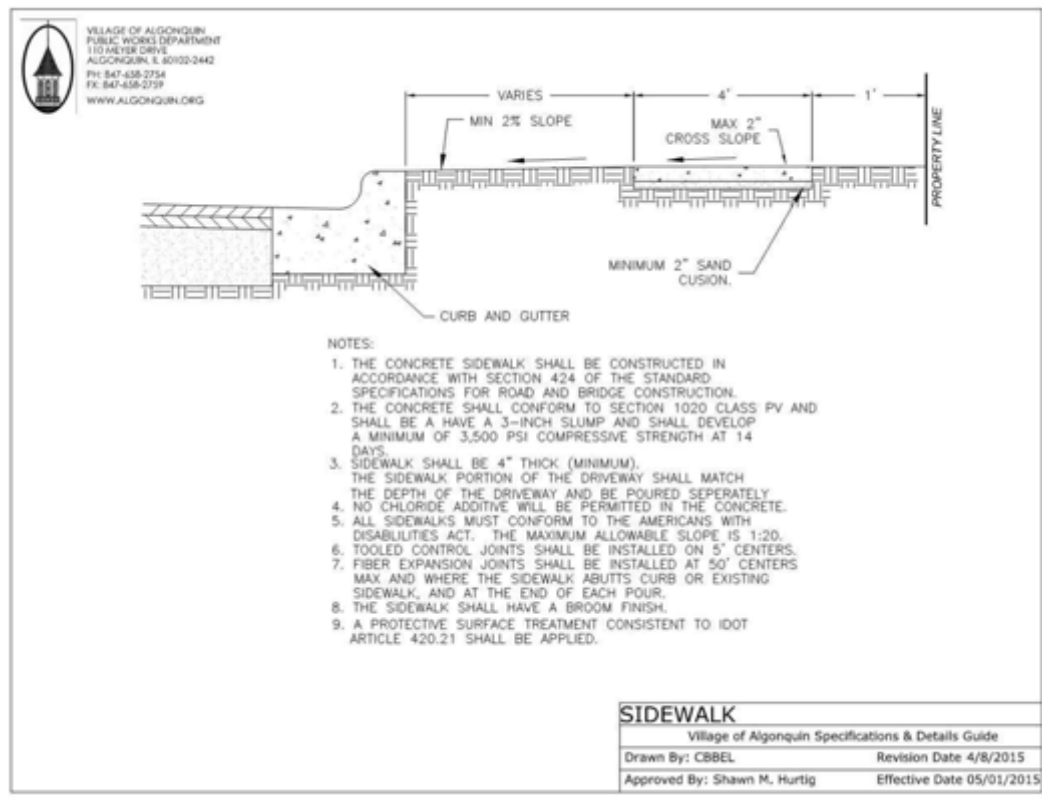
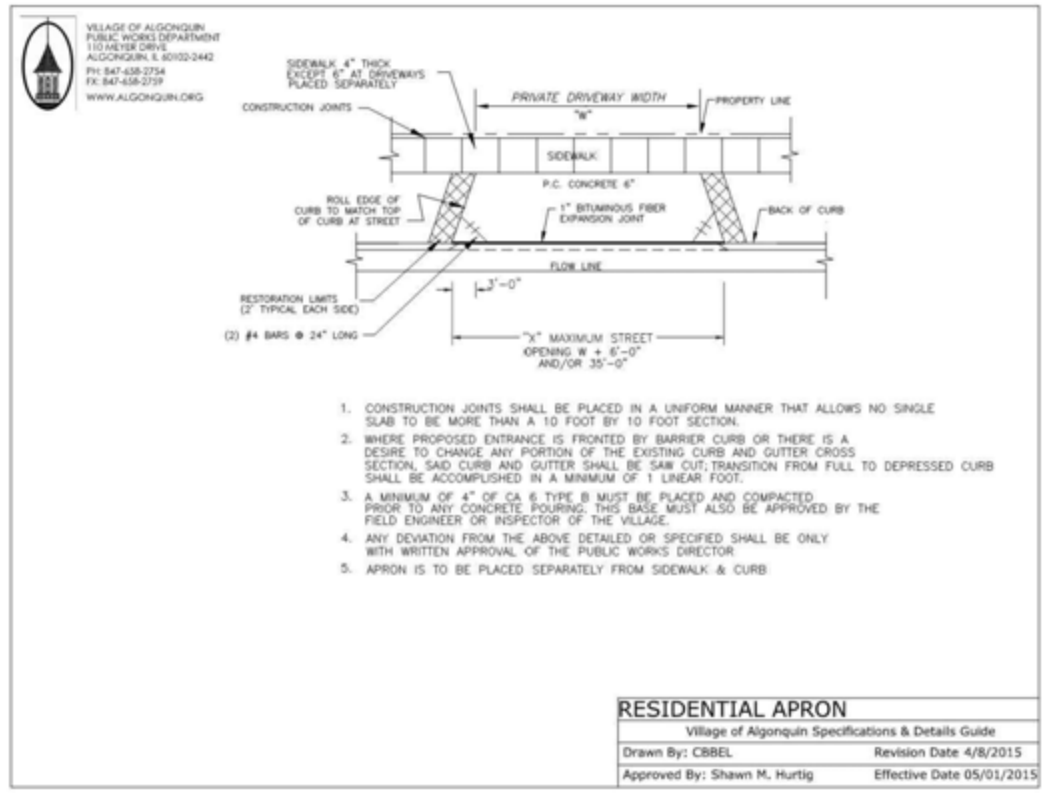


SEAL
 EXPIRES 11-30-2023

PROJECT NUMBER:	
PROJECT MANAGER:	JJP
ARCH/ENG:	JJP
SCALE:	
DATE	09/30/2021
CHECKED BY:	JJP

SPECIFICATIONS

C700



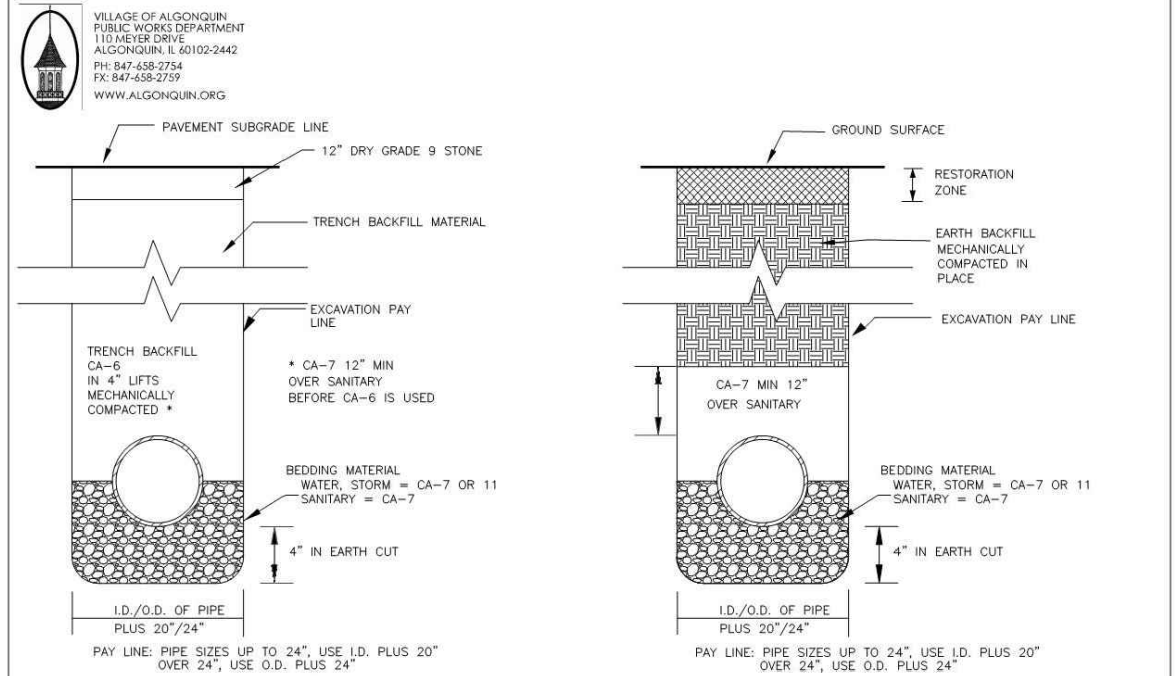
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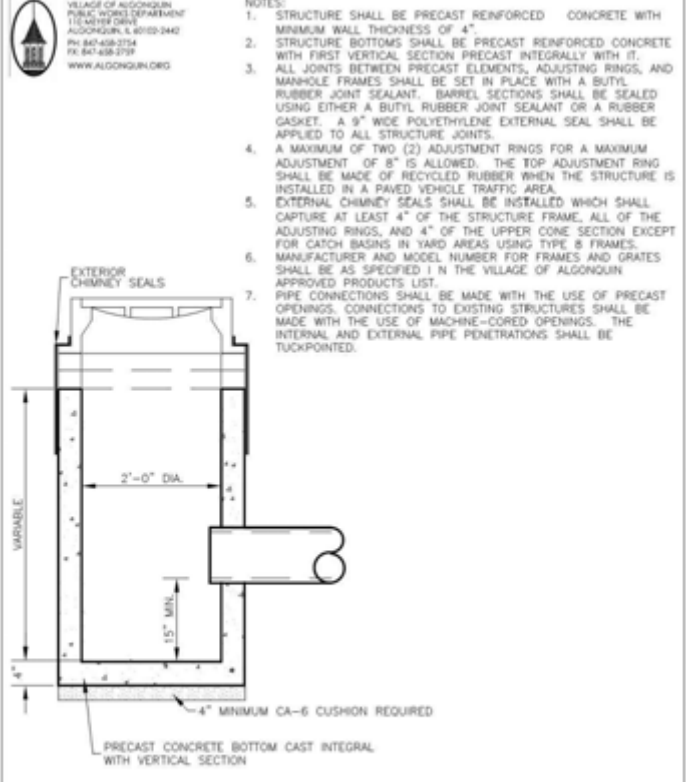
CONSTRUCTION DETAILS
C800



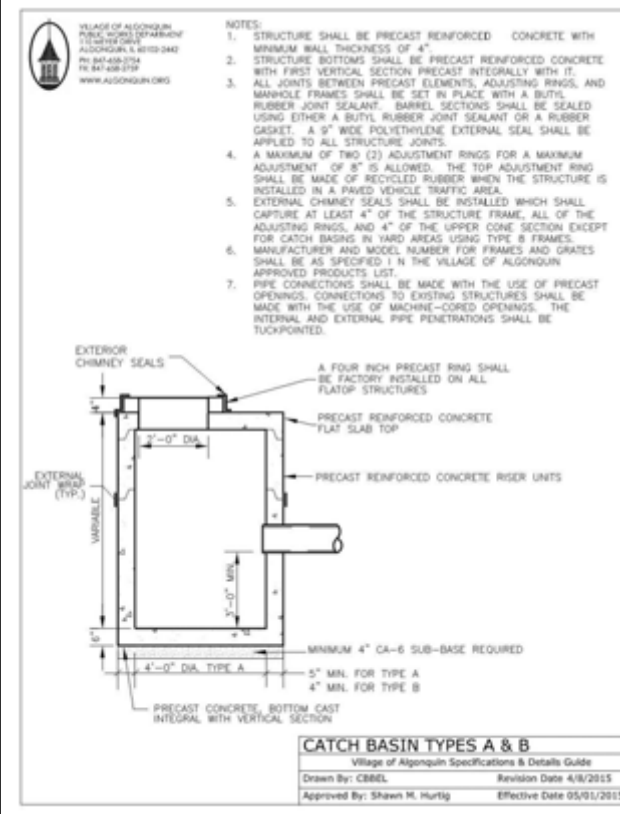
IN PAVED AREA

IN UNPAVED AREA

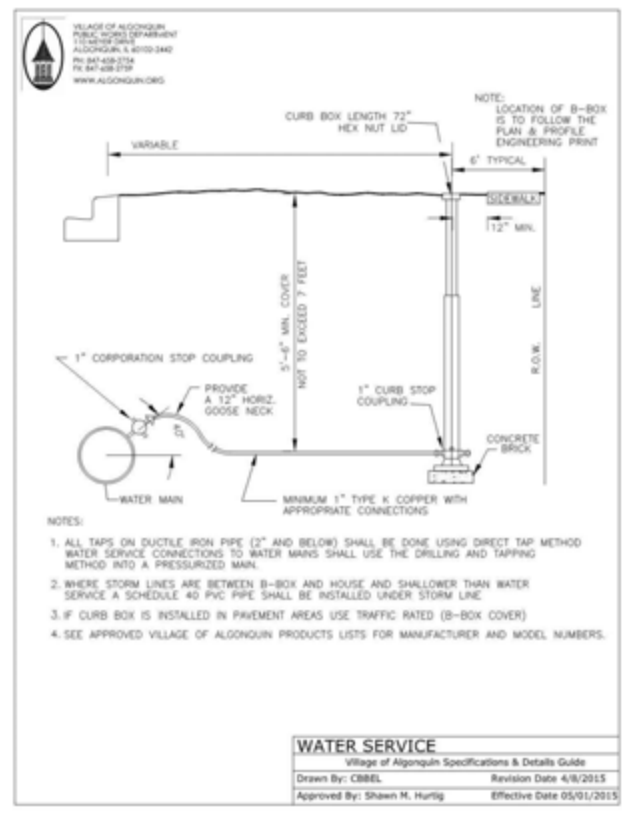
TRENCH SECTIONS
 Village of Algonquin Specifications & Details Guide
 Drawn By: CBDEL Revision Date 4/8/2015
 Approved By: Shawn M. Hurtig Effective Date 05/01/2015



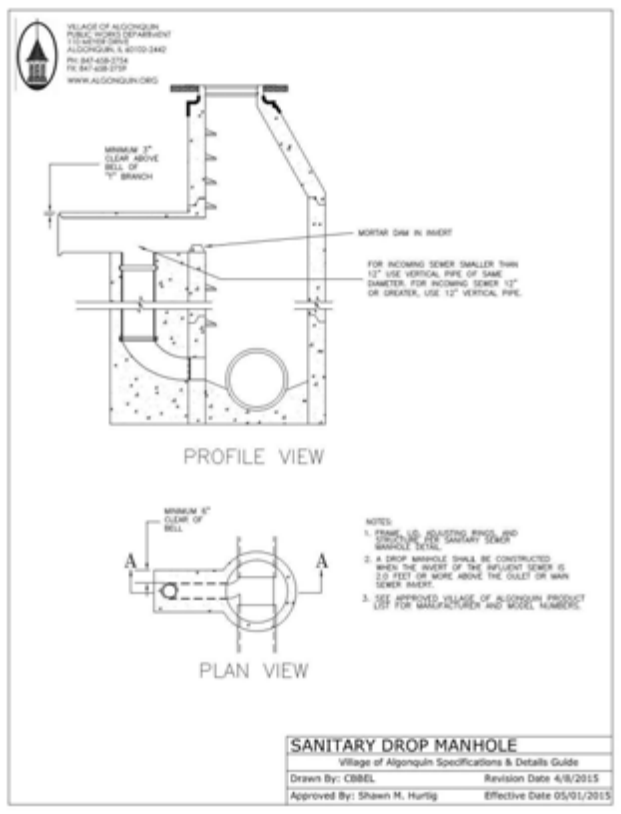
SPECIAL USE ONLY CATCH BASIN TYPE C
 Village of Algonquin Specifications & Details Guide
 Drawn By: CBDEL Revision Date 4/8/2015
 Approved By: Shawn M. Hurtig Effective Date 05/01/2015



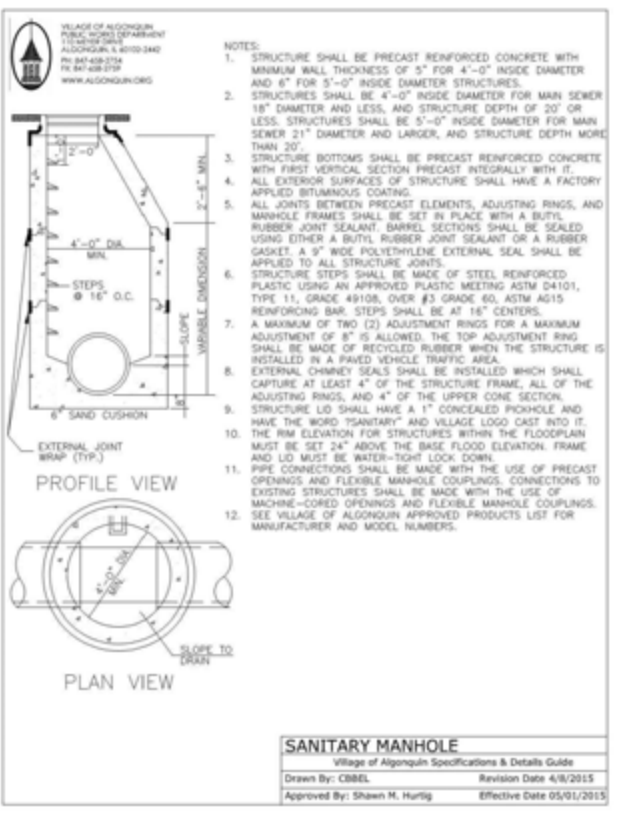
CATCH BASIN TYPES A & B
 Village of Algonquin Specifications & Details Guide
 Drawn By: CBDEL Revision Date 4/8/2015
 Approved By: Shawn M. Hurtig Effective Date 05/01/2015



WATER SERVICE
 Village of Algonquin Specifications & Details Guide
 Drawn By: CBDEL Revision Date 4/8/2015
 Approved By: Shawn M. Hurtig Effective Date 05/01/2015



SANITARY DROP MANHOLE
 Village of Algonquin Specifications & Details Guide
 Drawn By: CBDEL Revision Date 4/8/2015
 Approved By: Shawn M. Hurtig Effective Date 05/01/2015



SANITARY MANHOLE
 Village of Algonquin Specifications & Details Guide
 Drawn By: CBDEL Revision Date 4/8/2015
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NO.	DATE	REVISIONS/ISSUANCES
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2	2/20/22	VILLAGE REVIEW
1	12/05/21	FOR REVIEW

SITWERKS (847) 921-2390
 423 RAMBLEWOOD, STE. A jip11@yahoo.com
 GLEN ELLYN, IL 60137



PROJECT NUMBER:
 PROJECT MANAGER: JJP
 ARCH/ENG: JJP
 SCALE:
 DATE: 09/30/2021
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BARTLETT TREE EXPERTS

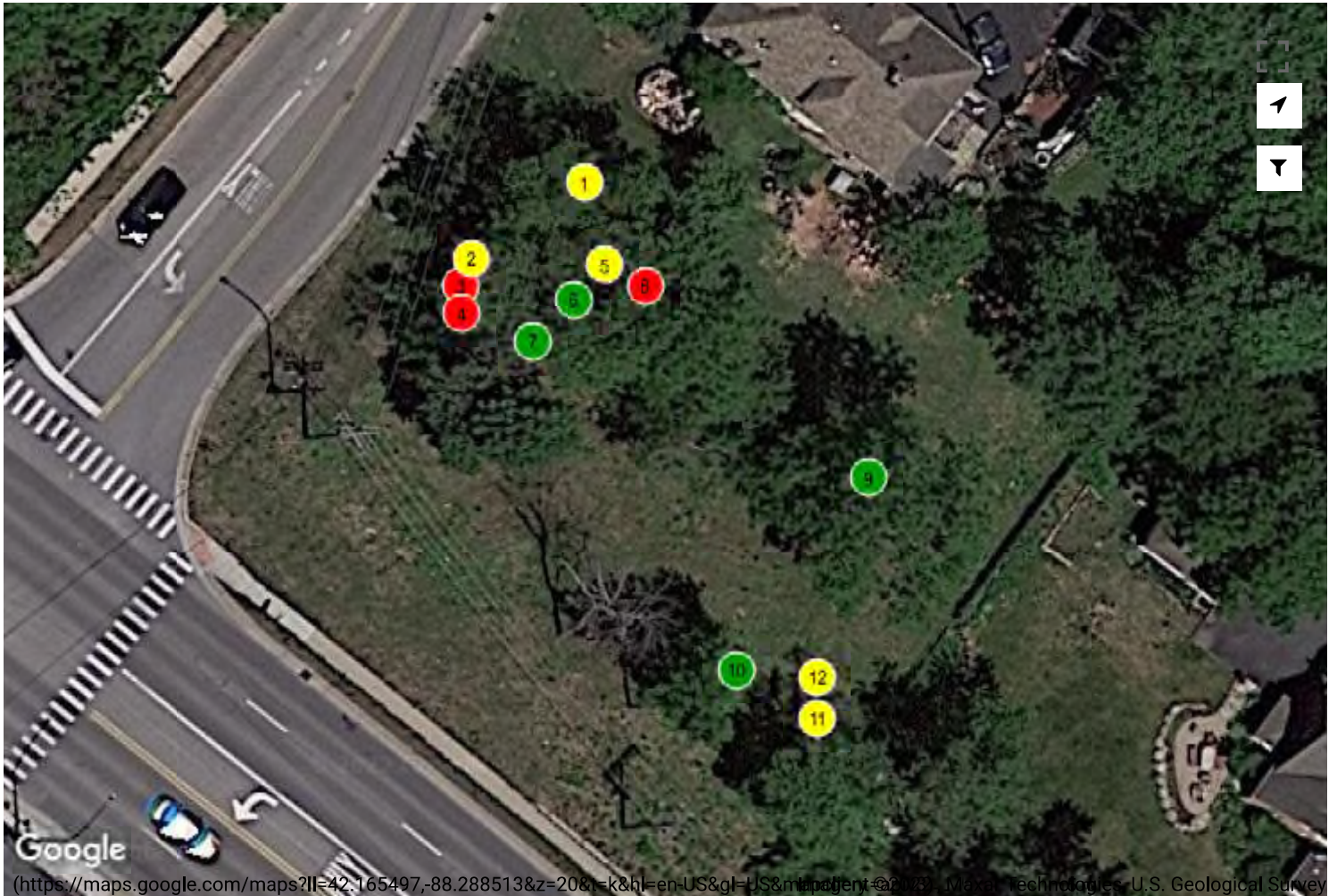
22272 N. Pepper Rd., Lake Barrington, IL 60010 · (847) 382-3111 · www.bartlett.com

After reviewing the trees located in the lot off of River Road N. in Algonquin, I have come to a conclusion on the viability of the trees. The tree species consist of Box Elder, Mulberry, Silver Maple, Elm and black walnut. The trees range from poor condition to good, the majority of the trees are in poor condition. I noticed a fair amount of large dead branches in the box elders and mulberry, in addition to some decay at the bases of some trees. Many trees are overcrowding each other which can lead to structural issues in the future. I would recommend to remove the Box Elders, Mulberry, Silver Maples and Elms due to conditions and locations. The Walnuts and Hackberry are in good condition and I believe are viable specimens.

BRENT LUNDSTROM
ISA Certified Arborist IL-9761A

Tree ID	Host ID	Common Name	DBH	Condition	Tree Asset Value	Planting		Tree notes	Date Inventoried
				class		type	Stems		
1(188)	MO	Morus sp Mulberry	26	Fair	10400.936		1	1 (tag #188)	28-Feb-22
2(185)	ACNE	Acer negundo Maple-Boxelder	23	Fair	3488.226		1	1 (Tag #185)	28-Feb-22
3(186)	ACNE	Acer negundo Maple-Boxelder	12	Poor	569.7216		1	1 tag #186	28-Feb-22
4(187)	ACNE	Acer negundo Maple-Boxelder	11	Poor	478.7244		1	1 Tag #187	28-Feb-22
5(200)	ULS	Ulmus sp Elm	7	Fair	753.914		1	1 ...	28-Feb-22
6(198)	JUNI	Juglans nigra Walnut-Black	11	Good	1861.706		1	1 Tag #198	28-Feb-22
7(189)	ACSA1	Acer saccharinum Maple-Silver	13	Good	2600.234		1	1 tag #189	28-Feb-22
8(196)	ACNE	Acer negundo Maple-Boxelder	18	Poor	1281.8736		1	1 tag #196	28-Feb-22
8(191)	JUNI	Juglans nigra Walnut-Black	23	Good	8139.194		1	1 tag #191	28-Feb-22
8(197)	CEOC	Celtis occidentalis Hackberry	9	Good	1994.0256		1	1 tag #197	28-Feb-22
8(193)	ACSA1	Acer saccharinum Maple-Silver	15	Fair	2472.75		1	1 tag #193	14-Mar-22
8(192)	ULS	Ulmus sp Elm	9	Fair	1246.266		1	1 tag #192	14-Mar-22

RIVER DRIVE N. LOT ALGONQUIN ILLINOIS



Condition:

Good Fair Poor Dead

Show tree numbers

OPTIONS

We're Bartlett Tree Experts

No matter the size or scope of your tree and shrub needs, our experts bring a rare mix of local service,

global resources and innovative tree care practices that makes your



Memorandum

TO: Edward Kling
Edward Kling, Inc.

FROM: Stephen B. Corcoran, P.E., PTOE
Director of Traffic Engineering

DATE: February 9, 2021

RE: Riverview Townhomes
Algonquin Road at River Road
Algonquin, Illinois

Eriksson Engineering Associates (EEA) reviewed the traffic impact of a proposed townhouse project at the northeast corner of Algonquin and River Roads in Algonquin, Illinois.

Site Location

The project site is undeveloped and located at the northeast corner of River and Algonquin Roads. It is in a single-family residential neighborhood north of Algonquin Road with a commercial building to the south.

Algonquin Road is a strategic regional arterial with two travel lanes in each direction and a center left-turn median. It is under the jurisdiction of the Illinois Department of Transportation (IDOT) with a 40-mph speed limit. River Road is a Village of Algonquin road with one travel lane in each direction with a left-turn lane at its stop sign controlled intersection at Algonquin Road. The speed limit is 25-mph and no on-street parking is permitted.

Proposed Development Plan

The development plan proposes to build a 3-unit townhouse building with a three two-car tandem garages, and four visitor spaces for a total of 12 parking spaces. Access to site is provided by one driveway 22 feet wide on River Road about 100 feet north of the northside of Algonquin Road.

Algonquin East Side Neighborhood Redevelopment Plan

For the same site, the Algonquin East Side Neighborhood Redevelopment Plan (2007) had called for a mixed-use development with 5,000 square feet of retail, 12 residential units above, and 36 parking spaces. A copy of the plan is in the Appendix. Access is provided by one driveway on River Road

Site Trip Generation

The traffic generated by the neighborhood redevelopment plan and the three proposed townhomes were estimated from data in the Institute of Transportation Engineer's Trip Generation 10th Ed. manual which contains trip generation surveys of similar uses. The resulting site traffic volumes are shown in **Table 1**. Copies of the calculations can be found in the **Appendix**.

Overall, the proposed townhouse plan generates minimal traffic throughout the day and during the commuter peak-hours. It generates a fraction of the traffic volume that would be generated by the East Side Redevelopment Plan's mixed-use development.

Conclusion

The development of three townhomes at the corner of River and Algonquin Roads will not adversely impact the level-of-service of area intersections with the minimal amount of traffic generated. The proposed two-lane driveway is located away from Algonquin Road and would function well.

**Table 1
Site Traffic Volume Estimates and Comparison**

Scenario	Use	Size	Morning Peak			Afternoon Peak			Average Daily Trips
			In	Out	Total	In	Out	Total	
East Side Neighborhood Redevelopment Plan	Retail ⁽¹⁾	5,000 sq. ft.	3	2	5	9	10	19	190
	Apartments ⁽²⁾	12 units	1	5	6	4	3	7	76
	Previous Site Traffic			4	7	11	13	13	26
Proposed Use	Town Homes ⁽²⁾	3 units	0	2	2	1	1	2	20
Net change in Traffic Volumes			-4	-5	-9	-12	-12	-24	-246

(1) ITE Land Use Code 820 – Shopping Center

(2) ITE Land Use Code 220 – Multi-Family (Low-rise)



Village of Algonquin

COMMUNITY DEVELOPMENT DEPARTMENT

(847) 658-2700 | permits@algonquin.org | www.algonquin.org
2200 Harnish Drive, Algonquin, IL

Date: June 3, 2022
To: Ed Kling
From: Patrick M Knapp, AICP Senior Planner
Re: Village of Algonquin Staff Review for Riverview Townhomes PZ-2022-01

Mr. Kling,

This letter is to inform you that Staff has reviewed your third set of revised plans. Based on our review, Staff will require a set of revised plans that address the comments and marked up plans contained within this memorandum. The set of revised plans must be received before the case can receive a Site Development Permit. Please note that additional comments and conditions may be added by the Planning and Zoning Commission and the Village Board which must also be addressed in your revised plans.

Patrick M. Knapp, AICP
Senior Planner
Village of Algonquin Community Development Department
847.658.5808
patrickknapp@algonquin.org

Plan Name:		Final Plat of Subdivision	Date:	3/28/2022	
#	Page No.	Staff Comment	Type	Applicant Response	Status
1	1 of 1	On the plat of survey, they will need to create a Village Utility Easement for the Sanitary Sewer that will be considered public sewer.	Required		

Plan Name:	Design Development Set	Date:	5/2/2022		
#	Page No.	Staff Comment	Type	Applicant Response	Status
1	General	No Comments			

Plan Name:		Engineering Plans for Riverview Townhomes	Date:	4/10/2022	
#	Page No.	Staff Comment	Type	Applicant Response	Status
1	C300	CBBEL&PW: Retaining walls shall be designed by structural engineer licensed in Illinois. Sealed structural wall plans and calculations is required for final engineering. Next submittal shall include preliminary wall sections identifying what material will the wall be constructed of. Given the proximity of the wall to the north and east property lines, it is likely that the construction of the wall will require a temporary easement onto the adjacent property for construction access. A written temporary easement is required for any encroachment onto the adjacent property. The designer shall ensure that the no part of the proposed wall will encroach onto the adjacent property (due to wall step backs, wall tie backs, or foundation extensions) without a permanent easement being granted by the adjacent landowner.	Required		
2	C400	763 Contour should tie into wall, not as depicted. Other existing contours west of wall limits are not tied off properly.	Required		
3	C400	Need to show softening of slope.	Required		
4	C400	B/W spot grade should be 769 as it is next to contour line.	Required		
5	C400	Need to show steps in foundation elevation as shown on architectural plans.	Required		
6	C500	Revise alignment to south to connect with new main at wye and provide required separation from water service.	Required		
7	C500	Move new manhole to the north and connect sanitary service to new main outside of manhole.	Required		
8	C500	Call out does not make sense. Driveway is 24' wide so putting in a 12' length of slotted drain doesn't collect all the runoff unless you have two in series (2x12=24).	Required		
9	C500	Revise information as required to reflect requested revisions.	Required		
10	C500	The sanitary sewer from the main connection to the last manhole will be a public sewer with 3 private connections. It will require an IEPA permit and need to be placed in a Village Utility Easement.	Required		
11	C500	Connect this service with a wye connection north of the manhole.	Required		
12	C700	Revise date to reflect latest IDOT revision.	Required		
13	C700	Revise text to reflect that it is referencing sanitary sewer, not storm sewer pipe.	Required		

14	C800	Not applicable for this project; can be crossed out or removed from plan sheet.	Note		
15	C800	If alternate pavement is used, then underdrains will be needed under pavement and should be added to standard detail and the lines shown on the utility page.	Note		
16					
17					
18					
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21					
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21					
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23					
24					
25					



STAFF REPORT FROM THE DEPARTMENT OF COMMUNITY DEVELOPMENT

Jason C. Shallcross, AICP
Director of Community Development

Patrick M. Knapp, AICP
Senior Planner

Date: June 6, 2022

Case Number:
PZ-2022-01, Riverview Townhomes

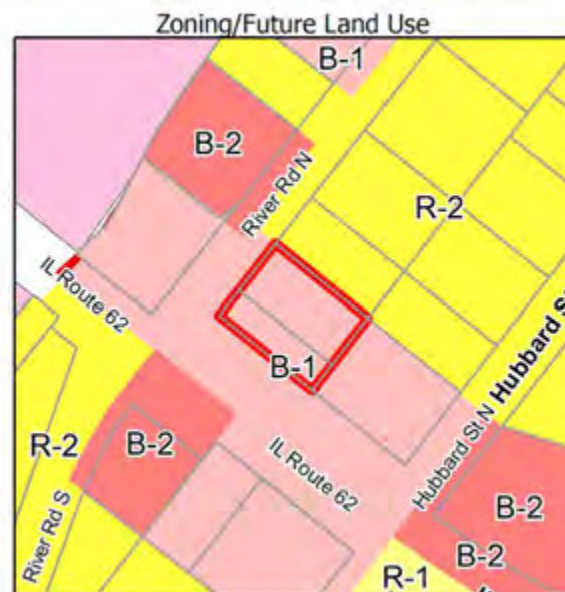
Applicant/Property Owner:
Ed Kling/Ed Kling, Inc.

Public Hearing Date:
June 13, 2022

Property Address/Location:
Northeast Corner of Algonquin Road and River Road

Brief Summary of Request

Ed Kling, the “Petitioner”, applied for Final PUD Plat, Final PUD Plan, and Rezoning for the 0.32 acre property located on the northeast corner at the intersection of Algonquin Road and River Road as shown in the Final PUD Plat and PUD Plan as “Piper Kling Consolidation” referred herein as the “Subject Property.” Proposed site improvements include 3 townhomes.



Existing Zoning	Existing Land Use/Improvements	Surrounding Zoning & Land Use	Property Size
B-1 Limited Retail	Vacant	North: R-2 Residential East: B-1 Residential South: B-2 Restaurant West: B-1 Vacant IDOT Property	0.32 ac

Staff Recommendation Summary

Staff supports the Petitioner’s requests, subject to the conditions listed in this report, as the proposal will increase the value and character of the area as well as the health, safety, morals, and general welfare of the Public.

Approve

Deny

Approve with Conditions

Discussion of Staff Recommendation

Ed Kling, the “Petitioner”, applied for Final PUD Plat, Final PUD Plan, and Rezoning for the 0.32 acre property located on the northeast corner at the intersection of Algonquin Road and River Road as shown in the Final PUD Plat and PUD Plan as “Piper Kling Consolidation” referred herein as the “Subject Property.” The Subject Property is currently unimproved land that is zoned B-1 Limited Retail and is incorporated into the Village of Algonquin. The proposal includes consolidating the two (2) parcels, rezoning the Subject Property to O-T Old Town District, and constructing three (3) attached rental townhomes, guest parking, and a driveway to access River Road.

History – The Planning and Zoning Commission held a public hearing on October 12, 2020, and unanimously approved a four (4) townhome project on the Subject Property. Noteworthy conditions included:

- The final building elevations shall be submitted to the Historic Commission for review and approval prior to any permits being issued for the development of the site;
- Any satellite dishes or other appurtenances shall be restricted to the east or north walls, and shall not be visible from Algonquin Road or River Road;
- Leases shall be of a minimum term of 12 months and the owner shall include the HUD Crime Free Lease Addendum;
- Prior to any sale of individual units on the property, either a condominium declaration or covenants shall be prepared to regulate maintenance and use of common areas, and same shall be submitted to the Village for review and approval;

During the discussion at the Committee of the Whole meeting on October 20, 2020 to recommend approval of the project, the Committee discussed the following:

- Rezoning to O-T would be more appropriate than residential
- Concerns related to on-site traffic circulation and traffic along River Road and Algonquin
- Concerns with the density, grading, and stormwater runoff

The Committee of the Whole then recommended that the development group revise their plans with the following improvements:

- Revised development showing less density
- Address the concerns pertaining to traffic, stormwater runoff, and grading
- Request rezoning to O-T

Following the October 2020 Committee of the Whole Meeting, the original Petitioner walked away from the project. The current Petitioner is now pursuing the development and had been directed by Staff to modify the 2020 proposal by:

- Reducing the overall density from four (4) to three (3) townhomes
- Providing guest parking on-site and efficient site circulation
- Addressing grading and stormwater concerns
- Improving the River Road access by moving the curb cut/access further north
- Providing an upscale design as well as increasing the architectural elements on the south elevation with brick and stone.

All of these conditions were understood by the new Petitioner and have been incorporated in the Petitioner’s submittal. The current Petitioner presented to the Committee of the Whole on September 14, 2021, and it was agreed by the Committee that this will be a great addition to Algonquin (see attached minutes).

Final PUD Plat – The Subject Property currently exists as two parcels (PINs 19-34-131-008 and 19-34-131-007) that would be consolidated into a single 0.32 acre parcel.

Rezoning – The current zoning of the Subject Property is B-1 Limited Retail and is surrounded by residential on the north and east sides of the property, commercial on the south side of the property across Algonquin Road, and vacant property owned by IDOT on the west side of the Subject Property. Due to the slope, location, and size of the Subject Property, commercial use is not a viable option. The Petitioner is seeking to rezone the Subject Property as O-T Old Town Zoning District at the direction of the Village Code, Village Board, and Staff. Townhomes are a permitted use in the O-T Old Town Zoning District.

Table 1: Zoning Bulk Chart Information

	Min Lot Size	Min Lot Width	Min Front Yard	Min Rear Yard	Min Side Yard	Lot Coverage	Max Height	Max Stories	Min Dwelling Size
O-T Bulk Requirements	N/A	N/A	0	15	0	N/A	40'	3 ½	N/A
Riverview Townhomes	13,824 sq ft	113.1'	77.56'	14.5'	15'	59%	36' 10"	3	2,951 sq ft

The proposed townhomes meet all bulk regulations except for the minimum rear yard requirement, and that deviation from code is only six inches.

Final PUD Plan & Engineering – The three townhomes are accessed on River Road by a single twenty-four (24) foot wide driveway that leads to three twenty (20) foot long driveways and four (4) guest parking spaces. The Petitioner has been directed by Staff to not include sidewalk along the frontage of River Road as the slope does not permit the sidewalk to extend any further north than the Subject Property.

A retaining wall is required along the north and east sides of the Subject Property to stabilize the soil behind the townhomes. This retaining wall will be between 5' and 9' tall. This development will need to have plans for the retaining walls designed by a Structural Engineer Licensed in the State of Illinois that shall be reviewed and approved by Staff prior to the issuance of a site development permit.

In terms of water and sanitary sewer service, each townhome will have a separate connection to the watermain located under River Road and the sanitary sewer located in the parkway. The fire hydrant is located 110' north on River Road and this distance has been approved by the ALITH FPD. Stormwater will be collected onsite utilizing catch basins, storm drains from the downspouts and sump pumps, and a trench or slotted drain on the driveway. All stormwater will connect to the existing storm sewer under River Road.

Traffic – A Traffic Impact Study was prepared by Eriksson Engineering Associates, LTD. (EEA) which analyzed the traffic impacts of the proposed development. EEA concluded that the development of the three (3) townhomes would not adversely impact the level-of-service of area intersections due to an average of only twenty (20) daily vehicle trips generated by the development.

Landscape Plan – The landscaping of the Subject Property includes screening along River Road and Algonquin Road and additional plantings on the site. Dwarf Burning Bushes, Korean Boxwood, Japanese Yews, America Arborvitae, Victory Golden Privets, and a berm are proposed to screen the development and guest parking from the surrounding roadways. Additional plantings on the site include Knockout Roses, a Honey Locust tree, an Ornamental Pear tree, a Red Oak tree, and a Techny Arborvitae. A Red Maple tree is proposed in the parkway.

Due to the required grading of the Subject Property, all existing trees will need to be removed. A tree survey indicates that there are twelve (12) existing trees on the Subject Property with four (4) in good condition, five (5)

in fair condition, and three (3) in poor condition. The Public Works Department has approved the removal of all existing trees as a part of the overall landscape plan.

Elevations – The roof of the proposed townhomes will consist of architectural shingles and a portico over the front balcony located above the garage will be metal. The first and second floor elevations will be wrapped in tan plank siding and the third floor will have shake siding. The west and south elevations of the basement will be covered in stone veneer in a similar manner to the 2020 submittal and the north basement elevation will be covered in plank siding.

Due to the Subject Property’s location in the Old Town District, a COA (Certificate of Appropriateness) is required to be issued before a building permit can be issued. The Subject Property had a COA hearing at the February 9, 2022, Historic Commission meeting where the Historic Commission recommend a COA with the condition that the Petitioner add vertical elements and hardware on the garage doors that imitate carriage house doors and incorporate non-removable mullions on the front windows. The Petitioner accepted the changes and included these elements in their latest architectural drawings.

Standards & Findings

The Planning and Zoning Commission shall review the Standards & Findings of Fact outlined in Exhibit “A” and 1) accept them without changes, 2) accept with changes, or 3) reject the findings. The Planning and Zoning Commission should use the Findings of Fact to guide their recommendation to the Village Board on the petitioner’s request.


Staff Recommendation

Staff recommends approval of the Final PUD Plat, Rezoning, and Final Planned Development Plan consistent with the findings of fact outlined in the report, subject to the conditions listed below. Based on these findings, Staff recommends that the Planning and Zoning Commission make a motion to adopt Staff’s findings as the findings of the Planning and Zoning Commission and recommend approval of the following motion:

1. “To approve the Plat of Consolidation titled “Final Plat of Subdivision Piper Kling Consolidation” as prepared by Compass Surveying Ltd, with the latest revision date of March 28, 2022, approve Rezoning to O-T Old Town District, and approve a Final Planned Development for the Subject Property located at the Northeast Corner of Algonquin Road and River Road referred to as the “Riverview Townhomes”, as outlined in the staff report for Case No. PZ-2022-01, subject to the following conditions:
 - a. That site construction, utility installation, and grading shall not commence until all comments are addressed in the attached Staff Memorandum dated June 3, 2022, the retaining walls are designed by a Structural Engineer Licensed in the State of Illinois, a Site Development Permit has been issued by the Village, and water and sanitary sewer permits have been issued by the Illinois Environmental Protection Agency;
 - b. Any satellite dishes or other appurtenances shall be restricted to the east or north walls, and shall not be visible from Algonquin Road or River Road;
 - c. Leases shall be of a minimum term of 12 months and the owner shall include the HUD Crime Free Lease Addendum;
 - d. Prior to any sale of individual units on the property, either a condominium declaration or covenants shall be prepared to regulate the maintenance and use of common areas, and shall be submitted to the Village for review and approval.

The Village Board’s decision is final for this case.

I concur:


Jason C. Shallcross, AICP
Director of Community Development

Attachments:

- Exhibit A Standards & Findings of Fact
- Exhibit B June 3, 2022 Staff Memorandum
- Exhibit C Plat of Survey as prepared by Compass Surveying Ltd, with the latest revision date of April 28, 2022
- Exhibit D Plat of Consolidation titled "Final Plat of Subdivision Piper Kling Consolidation" as prepared by Compass Surveying Ltd, with the latest revision date of March 28, 2022
- Exhibit E Architectural and Landscaping plans titled "Design and Development Set" as prepared by LaPage Architects, Ltd, with the latest revision date of May 5, 2022
- Exhibit F Site Plan titled "C300 Site Layout Plan" as prepared by Siteworks, with the latest revision date of April 10, 2022
- Exhibit G Existing Tree Survey as prepared by Bartlett Tree Experts
- Exhibit H Traffic Study as prepared by Eriksson Engineering Associates Ltd, with the latest revision date of February 9, 2021
- Exhibit I Minutes from the September 14, 2021, Committee of the Whole Meeting

Planned Development Standards – Section 21.11(E) of the Algonquin Zoning Ordinance provides that a Planned Development shall conform to the following requirements:

1. The number of dwelling units erected shall not exceed the number permitted by the regulations of the district in which it is located, except in cluster developments where a density bonus may be granted as part of the planned development.
2. If a building is permitted to exceed the height limit of the district in which it is located, the yards and open spaces around such building shall be increased by an amount equal to the height that the building exceeds the height limit of the district measured in feet.
3. If more intensive uses are permitted than are allowed by the district regulations, there must be clear evidence that such uses are appropriate, provided the Planning and Zoning Commission finds:
 - a. That the use permitted by such exceptions is necessary or desirable and is appropriate with respect to the primary purpose of the development;
 - b. That the uses permitted by such exception are not of such a nature or so located as to exercise a detrimental influence on the development nor on the surrounding neighborhood;
 - c. That, in an industrial development, such additional uses allowed by exception shall conform to the performance standards of the district in which the development is located as set forth in Section 21.4 herein;
 - d. That the use exceptions allowed are on file in the Community Development Department;
4. The amount of off-street parking must be adequate to serve the needs of the projects. The Planning and Zoning Commission and Village Board may require more or less off-street parking than is otherwise required by this Chapter if it is determined the use(s) warrants the deviation.
5. If any open space or recreational facility is to be used solely by the residents of the project, adequate provisions shall be made for assessments against the property within the project so that such facilities can be properly improved, maintained, and operated.
6. All residential planned developments that involve annexation shall include clearly identifiable community-wide benefit improvements to the Village. Benefits may include the following, but shall not be limited to those listed: expansion of Village infrastructure that can serve other parts of the community; creation of a community park; dedication of right-of-way or construction of a collector road; and component of a larger mixed-use development that includes commercial uses. The larger the residential unit count, the larger the community-wide benefit improvements.
7. All commercial planned developments that include lots fronting on any major collector or arterial roadway shall provide landscaped open space between each building and parking lot. Said landscaped area shall include combinations of trees, shrubs, and seasonal plantings that shall be planted on top of earthen berms. The appropriate land area, height of the berm, and exact plant material specifications shall be reviewed and approved by the Village Board as part of the final planned development review process.

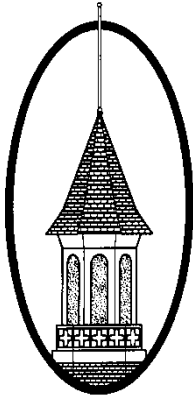
Staff has reviewed the Petitioner's request and is supportive. The proposed dwelling meets the zoning requirements of O-T Old Town District except for the minimum rear yard and the variation is only six inches (6") less than the minimum setback. The project will be reviewed to comply with all building, fire, and development codes during the permitting process.

Rezoning Standards – Without specific standards in the Village's Zoning Code, the standard in Illinois is to rely on the "LaSalle Factors" and also factors from the Sinclair Pipeline Company vs. Village of Richton Park.

1. Will the rezoning of the Subject Property negatively impact the existing uses or zoning of nearby property? The amendment, if granted, will not alter the essential character of the neighborhood and will not be a substantial detriment to adjacent property.

2. To what extent do the current zoning restrictions diminish the property value of the Subject Property and nearby property? The property cannot yield a reasonable return if permitted to be used only under the conditions allowed under the existing zoning classification.
3. To what extent does the rezoning promote the health, safety, morals, and general welfare of the public. The amendment promotes the public health, safety, comfort, convenience and general welfare.
4. What is the suitability of the Subject Property for the zoned purposes? The requested zoning classification permits uses which are more suitable than the uses permitted under the existing zoning classification.
5. What is the relative gain to the public as compared to the hardship imposed upon the individual property owner? The subject property has not been utilized under the existing zoning classification for a substantial period of time.
6. Does the proposed development on the Subject Property comply with the policies and official land use plan and other official plans of the Village? The amendment complies with the policies and official land use plan and other official plans of the Village.

Staff is supportive of the proposed rezoning of the Subject Property from B-1 Limited Retail to O-T Old Town District. Section 21.6.B of the Village's Zoning Code requires that the redevelopment of property in the O-T Old Town District shall be rezoned to O-T Zoning District and the grade, location, and size of the Subject Property have rendered commercial use (the current zoning designation) not viable. Construction of the proposed development will increase the value and character of the area which can only be accomplished through rezoning the Subject Property. Staff does not believe that the rezoning of the Subject Property will reduce the health, safety, morals, or general welfare of the public as there are existing residential uses on adjacent properties to the north and east.



Village of Algonquin

The Gem of the Fox River Valley

Planning and Zoning Commission Minutes June 13, 2022

Roll Call - Establish Quorum

Chair Patrician called the meeting to order at 7:00 pm.

Community Development Deputy Director Natalie Zine called the roll to check attendance. Six of the seven commissioners were present and could hear and be heard:

- Chair Patrician
- Commissioner Neuhalfen
- Commissioner Kennealy
- Commissioner Rasek
- Commissioner Sturznickel
- Commissioner Szpekowski

Members absent: Commissioner Laipert

Staff Present: Community Development Deputy Director Natalie Zine, Senior Planner Patrick Knapp, and Attorney Brandy Quance

Public Comment

Chair Patrician asked for public comments.

Approval of Minutes

Chair Patrician asked for approval of the May 9, 2022, Planning and Zoning Commission minutes. A motion from Commissioner Sturznickel and seconded by Commissioner Szpekowski to approve the minutes was made. The motion was approved on a 6-0 vote.

Public Hearing Case Number PZ-2022-01

Request for Plat of Consolidation, Rezoning, and Final Planned Development Plan for Riverview Townhomes

Bernard Citron, attorney representing the Petitioner, presented an overview of their request for a Plat of Consolidation, Rezoning, and Final Planned Development Plan for Riverview Townhomes. Village Staff also presented a history and overview of the request.

Commissioner Rasek asked about the need for a crossing guard and the Petitioner responded by stating that the Huntley School District would bus students in Westview Crossing.

Commissioner Kennealy asked if the townhomes will be rented or for sale. The Petitioner stated that it would depend on the owner's preference. If all of the units are owned, there would be an HOA. The Commissioner asked if there were traffic concerns and the Petitioner stated that the most up to date version of the Trip Generation manual was used to calculate traffic levels and the amount of traffic was very low for the site. The Commissioner asked if there were construction concerns and the Petitioner stated that construction traffic could be staged on site and that an exhibit was in the Engineering Plans. The Commissioner asked why this was being rezoned to O-T Old Town District and Staff replied that the rezoning is required per Village Code.

Commissioner Szpekowski asked if the driveway width was wide enough and the Petitioner stated that it was twenty-four feet wide and Mr. Knapp stated that that is the required width per Village Code. The Commissioner stated that she had concerns that two units could be sold and one unit leased and the Petitioner stated that that could happen. The Commissioner asked about the interior of the units and the Petitioner stated that the interior is not planned to be customized, but could be if the units are sold.

Commissioner Rasek expressed concerns that the units could be a mix of sold and leased. The Petitioner stated that the units will be high-end and it is unlikely the renters will want to be short term renters.

Commissioner Sturznicke asked if this construction would impact the future river walk and Staff stated that this would not impact the river frontage.

Chair Patrician asked if there would be parking on the street and Commissioner Kennealy replied that parking is prohibited. Mr. Knapp followed up that there will be 4 guest parking spaces and an additional two vehicles can park in each driveway. Chairman Patrician expressed concern with the distance to the Algonquin Road and River Road intersection and the Petitioner replied that they moved the entrance as far north as possible and that vehicles would back up on the site and not the road. The Chairman asked if there was a tree replacement plan and Mr. Knapp replied that the development would be providing replacement landscaping that was acceptable to staff.

Chair Patrician called for the public comment to be open. No one from the audience commented.

Commissioner Kennealy stated that he is against the condition that a HUD Crime Free Lease Addendum is required. Mr. Knapp stated that this condition was included because it was approved as a previous condition for the same property. The Petitioner stated that they did not have an issue with the conditioner and Commissioner Neuhalfen stated that he was in favor of the condition.

Commissioner Kennealy made a motion to accept the Findings of Fact as stated in the staff report for Case PZ-2022-01 and conditions outlined in the staff report without the condition to require the inclusion of the HUD Crime Free Lease Addendum. There was no second and the motion failed.

Motion was then made by Commissioner Neuhalfen and seconded by Commissioner Rasek to accept the Findings of Fact as stated in the staff report for Case PZ-2022-01 and to approve the Plat of Consolidation titled "Final Plat of Subdivision Piper Kling Consolidation" as prepared by

Compass Surveying Ltd, with the latest revision date of March 28, 2022, approve Rezoning to O-T Old Town District, and approve a Final Planned Development for the Subject Property located at the Northeast Corner of Algonquin Road and River Road referred to as the “Riverview Townhomes” with the findings of fact and conditions outlined in the staff report. The motion was approved on a 5-1 vote with Commissioner Kennealy voting “Nay”.

New/Old Business

No new or old business was discussed.

Community Development Report

Staff provided an updated regarding ongoing projects and approved Administrative PUD Amendments.

Adjournment

Chairman Patrician asked for a motion to adjourn. A motion from Commissioner Szpekowski and seconded by Commissioner Rasek was made. The motion was approved on a 7-0 vote. The meeting was adjourned at 8:19 P.M.

Minutes signed by:

Patrick M Knapp, AICP, Senior Planner



VILLAGE OF ALGONQUIN
GENERAL SERVICES ADMINISTRATION

- M E M O R A N D U M -

DATE: June 17, 2022

TO: Tim Schloneger, Village Manager

FROM: Kevin Crook, Chief Innovation Officer

SUBJECT: *Data Backup Appliance Upgrade*

To support the Village's growing data storage requirements, it has been budgeted in fiscal year 2023 to replace the current backup solution (at 95% capacity) to a device that is capable of storing twice the amount of data (36 Terabytes). This solution will support the Village's projected data growth trend over the next 5-years.

The backup solution carries a one-time cost of \$29,589.11. The backup device carries recurring costs not to exceed \$21,411. Due to inflation, we are verifying price on recurring charges.

These expenses were previously approved as part of the fiscal year 2023 budget, however, as this amount is beyond administrative spending authority, it is recommended the Village Board formally approve this purchase by Resolution.

QUOTE CONFIRMATION



DEAR KEVIN CROOK,

Thank you for considering CDW•G LLC for your computing needs. The details of your quote are below. [Click here](#) to convert your quote to an order.

QUOTE #	QUOTE DATE	QUOTE REFERENCE	CUSTOMER #	GRAND TOTAL
MTWX193	6/3/2022	895	3156019	\$48,096.35

QUOTE DETAILS				
ITEM	QTY	CDW#	UNIT PRICE	EXT. PRICE
Barracuda Backup 895a - recovery appliance Mfg. Part#: BBS895A UNSPSC: 43222636 Contract: MARKET	1	4236239	\$29,589.11	\$29,589.11
Barracuda Backup Server Unlimited Cloud Storage - subscription license (1 m Mfg. Part#: BBS890A-B UNSPSC: 43233415 Electronic distribution - NO MEDIA Contract: MARKET	12	5754845	\$883.60	\$10,603.20
Barracuda Energize Updates - virus definitions update - 1 month Mfg. Part#: BBS890A-E UNSPSC: 81111811 Electronic distribution - NO MEDIA Contract: MARKET	12	5754706	\$297.20	\$3,566.40
Barracuda Instant Replacement - extended service agreement - 1 month - ship Mfg. Part#: BBS890A-H UNSPSC: 81111811 Electronic distribution - NO MEDIA Contract: MARKET	12	5754707	\$361.47	\$4,337.64

These services are considered Third Party Services, and this purchase is subject to CDW's [Third Party Cloud Services Terms and Conditions](#), unless you have a written agreement with CDW covering your purchase of products and services, in which case this purchase is subject to such other written agreement.

The third-party Service Provider will provide these services directly to you pursuant to the Service Provider's standard terms and conditions or such other terms as agreed upon directly between you and the Service Provider. The Service Provider, not CDW, will be responsible to you for delivery and performance of these services. Except as otherwise set forth in the Service Provider's agreement, these services are non-cancellable, and all fees are non-refundable.

PURCHASER BILLING INFO	SUBTOTAL	\$48,096.35
Billing Address: VILLAGE OF ALGONQUIN ACCTS PAYABLE 2200 HARNISH DR ALGONQUIN, IL 60102-5995 Phone: (847) 658-2700 Payment Terms: Net 30 Days-Govt State/Local	SHIPPING	\$0.00
	SALES TAX	\$0.00
	GRAND TOTAL	\$48,096.35
	DELIVER TO	Please remit payments to:

Shipping Address:
 VILLAGE OF ALGONQUIN
 KEVIN CROOK
 2200 HARNISH DR
 ALGONQUIN, IL 60102-5995
Phone: (847) 658-2700
Shipping Method: DROP SHIP-GROUND

CDW Government
 75 Remittance Drive
 Suite 1515
 Chicago, IL 60675-1515

Need Assistance? CDW•G LLC SALES CONTACT INFORMATION



Philippe Stapp

(866) 551-9995

philsta@cdwg.com

LEASE OPTIONS

FMV TOTAL	FMV LEASE OPTION	BO TOTAL	BO LEASE OPTION
\$48,096.35	\$1,301.01/Month	\$48,096.35	\$1,499.16/Month

Monthly payment based on 36 month lease. Other terms and options are available. Contact your Account Manager for details. Payment quoted is subject to change.

Why finance?

- Lower Upfront Costs. Get the products you need without impacting cash flow. Preserve your working capital and existing credit line.
- Flexible Payment Terms. 100% financing with no money down, payment deferrals and payment schedules that match your company's business cycles.
- Predictable, Low Monthly Payments. Pay over time. Lease payments are fixed and can be tailored to your budget levels or revenue streams.
- Technology Refresh. Keep current technology with minimal financial impact or risk. Add-on or upgrade during the lease term and choose to return or purchase the equipment at end of lease.
- Bundle Costs. You can combine hardware, software, and services into a single transaction and pay for your software licenses over time! We know your challenges and understand the need for flexibility.

General Terms and Conditions:

This quote is not legally binding and is for discussion purposes only. The rates are estimate only and are based on a collection of industry data from numerous sources. All rates and financial quotes are subject to final review, approval, and documentation by our leasing partners. Payments above exclude all applicable taxes. Financing is subject to credit approval and review of final equipment and services configuration. Fair Market Value leases are structured with the assumption that the equipment has a residual value at the end of the lease term.

This quote is subject to CDW's Terms and Conditions of Sales and Service Projects at <http://www.cdwg.com/content/terms-conditions/product-sales.aspx>
 For more information, contact a CDW account manager

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