

**COMMITTEE OF THE WHOLE
FEBRUARY 18, 2025
VILLAGE BOARD ROOM
2200 HARNISH DRIVE, ALGONQUIN
7:45 P.M.**

Trustee Brehmer – Chairperson
Trustee Auger
Trustee Spella
Trustee Glogowski
Trustee Dianis
Trustee Smith
President Sosine

∞ AGENDA ∞

1. Roll Call – Establish a Quorum

2. Public Comment – Audience Participation

(Persons wishing to address the Committee must register with the Chairperson prior to roll call.)

3. Community Development

A. Consider a Preliminary Planned Development, a Preliminary Plat of Subdivision, and a Special Use Permit for a Gas Station at the Southwest Corner of East Algonquin Road and Illinois Route 25

4. General Administration

- A. Consider an Extension of the Northern Illinois Purchasing Cooperative Intergovernmental Agreement
- B. Consider the 2025 Summer Concerts Event
- C. Consider the 2025 Summer Public Events
- D. Review the proposed Enterprise and Special Fund Budget for 2025/2026
 - 1) Cemetery Fund
 - 2) Swimming Pool Fund
 - 3) Water and Sewer Operating Fund
 - 4) Building Services Fund
 - 5) Vehicle Maintenance Fund
- E. Splash Pad Presentation

5. Public Works & Safety

- A. Consider an Agreement with Schroeder Asphalt for the Construction of Broadsmore / Stonegate – Phase 2 Project
- B. Consider an Agreement with Civiltech Engineering for the Construction Oversight of Broadsmore / Stonegate – Phase 2 Project
- C. Consider an Agreement with Christopher B Burke Engineering for the Design Engineering of Willoughby Farms Section 3
- D. Consider an Agreement with Christopher B Burke Engineering for the Design Engineering of Neubert Water Main Replacement
- E. Consider an Easement Agreement with District 300 for Drainage Improvements on Eastgate Drive

6. Executive Session (if needed)

7. Other Business

8. Adjournment



Village of Algonquin

2200 Harnish Drive, Algonquin, IL
(847) 658-2700 | www.algonquin.org

AGENDA ITEM

<u>MEETING TYPE:</u>	Committee of the Whole
<u>MEETING DATE:</u>	February 18, 2025
<u>SUBMITTED BY:</u>	Patrick M. Knapp, AICP, Director Stephanie Barajas, Planner
<u>DEPARTMENT:</u>	Community Development Department
<u>SUBJECT:</u>	Consideration of a Request to Approve a Preliminary Planned Development, a Preliminary Plat of Subdivision, and a Special Use Permit for a Gas Station at the southwest corner of East Algonquin Road and Illinois Route 25

ACTION REQUESTED:

Ali Bukhres of QuikTrip Corporation, the “Petitioner”, submitted a Development Petition requesting approval of a Preliminary Plat of Subdivision, a Preliminary PUD Plan, and for the issuance of a Special Use Permit for a gas station, the “Request”, to be constructed on Lot 1 of the 9.053-acre Subject Property located at the southwest corner of East Algonquin Road (Illinois Route 62) and Illinois Route 25, the “Subject Property”.

The Request was heard at the January 14th, 2025, Committee of the Whole meeting and was continued with the request that the Petitioner provide an updated/corrected Traffic Impact Study, updated plans, and answers to questions brought up by the Committee of the Whole. The Petitioner believes that they are prepared and has requested to be on the agenda for their second Committee of the Whole meeting.

DISCUSSION:

The Petitioner submitted a revised Traffic Impact Study and plans in response to staff’s comments and questions raised at the January Committee of the Whole meeting. Below are updated conditions to reflect the revised plan dates and information received from the Petitioner since the January Committee of the Whole meeting.

Staff updated and added language to condition “d.” for the following reasons:

- The Illinois Route 25 access point was formally denied by IDOT.

- Per staff and IDOT, the right-in/right-out median at Russet Road and IL Route 25 shall be upgraded to meet IDOT standards, which may reduce the volume of existing and future illegal left turns.
- Per IDOT, a right-turn lane shall be installed southbound on IL Route 25 to Russet Road.
- Updated recommended condition:
 - d. The Preliminary Engineering & Site Plan, as prepared by Midwest Design Group and last revised ~~November 13, 2024~~ January 22, 2025. ~~Access to the site from East Algonquin Road and Illinois Route 25 is subject to IDOT approval. No trucks shall exit to Russet Road. If IDOT denies direct access from IL Route 25, trucks~~ Trucks can exit to Russet Road but shall be restricted to only left turns onto Russet Road and the developer shall upgrade Russet Road to handle truck traffic between IL Route 25 and the Russet Road entrance to the Subject Property. The developer shall install signs that indicate that trucks cannot turn right onto Russet Road and all future businesses in this PUD shall inform all delivery truck drivers that right turns onto Russet Road are illegal. The developer shall upgrade the right-in/right-out median at IL Route 25 and Russet Road and shall install a right turn lane southbound on IL Route 25 to Russet Road;

Staff added language to condition “f.” for the following reason:

- The wall sign shall also have dimensional letters.
- Updated recommended condition:
 - f. The Preliminary Sign Plan, as prepared by Allen Industries. The proposed wall sign shall conform to the height and size requirements of the Village’s Sign Code. The letters ~~in~~ on the wall sign and fuel canopy sign shall be dimensional. Additional signage on fuel pumps, walls, canopy supports, and windows is prohibited except where permitted in the Village’s Sign Code and shall only be permitted after the sign permits are submitted for village review and approval. The following signs shall be prohibited at all times: inflatable signs, flags, banners, pennants, or any temporary or portable signs;

Staff added language to condition “h.” for the following reason:

- The Zoning Code requires full-dimensional face brick on all elevations. Staff interprets this requirement as a solid brick and staff does not believe that the proposed hollow structural unit meets the intent of the code. Previous commercial buildings along Randall Road and Algonquin Road have been required to use solid, full-dimensional face brick on the exterior of the building and staff recommends that QuikTrip meet the same requirement for the building and gas canopy column material.
- Updated recommended condition:

- h. The 5,312 square-foot building shall be constructed with ~~full-face brick-3.75" x 2.25" x 7.75"~~ solid, full-dimensional face brick (reddish-brown in color) and a stone base (grayish-black in color) on all elevations, with the exception of the north elevation where the stone extends vertically to the top. The gas canopy columns shall also be constructed with solid brick. EIFS shall not be used in place of the stone and hollow structural units shall not be used in place of solid brick. No tube lighting is allowed on the building, canopy, or poles. The red band on the canopy shall be non-illuminated and the bollards on site shall be black or red. There shall be no outside speaker system;

RECOMMENDATION:

Staff recommends that the Committee of the Whole advance this matter to the Village Board for approval of a Preliminary Planned Development, a Preliminary Plat of Subdivision, and issuance of a Special Use Permit for a gas station to be constructed on Lot 1 of the 9.053-acre property located at the southwest corner of East Algonquin Road (Illinois Route 62) and Illinois Route 25, as outlined in the Planning & Zoning Staff Report for Case No. PZ-2024-13, subject to the following conditions and final approval of all plans by staff:

- a. That site construction, utility installation, and grading shall not commence until a Final Plat and Final PUD Plan have been approved by the Planning and Zoning Commission and the Village Board in substantial conformity to the Preliminary PUD Plan and Preliminary PUD Plat, a Grading Permit has been issued by the Village, water and sanitary sewer permits have been issued by the Illinois Environmental Protection Agency, and final approval has been issued by the Illinois Department of Transportation;
- b. The Preliminary Plat of Subdivision titled "Algonquin Corner Preliminary Plat of Subdivision", as prepared by Farnsworth Group, with the latest revision date of January 22, 2025;
- c. The Preliminary Site Plan Exhibit, as prepared by Midwest Design Group and last revised January 22, 2025. Fuel tank venting stacks shall be through canopy poles;
- d. The Preliminary Engineering & Site Plan, as prepared by Midwest Design Group and last revised January 22, 2025. Trucks can exit to Russet Road but shall be restricted to only left turns onto Russet Road and the developer shall upgrade Russet Road to handle truck traffic between IL Route 25 and the Russet Road entrance to the Subject Property. The developer shall install signs that indicate that trucks cannot turn right onto Russet Road and all future businesses in this PUD shall inform all delivery truck drivers that right turns onto Russet Road are illegal. The developer shall upgrade the right-in/right-out median at IL Route 25 and Russet Road and shall install a right turn lane southbound on IL Route 25 to Russet Road;
- e. The Preliminary Landscape Plan, as prepared by Midwest Design Group, and last revised January 22, 2025. The landscaped area of the parking lot islands shall be a minimum of two hundred (200) square feet in size. Foundation landscaping shall be added along the east

elevation and where possible on the north elevation. If Lot 2 is not used for agricultural purposes, it shall be permanently stabilized as part of this project;

- f. The Preliminary Sign Plan, as prepared by Allen Industries, and last revised January 22, 2025. The proposed wall sign shall conform to the height and size requirements of the Village's Sign Code. The letters on the wall sign and fuel canopy sign shall be dimensional. Additional signage on fuel pumps, walls, canopy supports, and windows is prohibited except where permitted in the Village's Sign Code and shall only be permitted after the sign permits are submitted for village review and approval. The following signs shall be prohibited at all times: inflatable signs, flags, banners, pennants, or any temporary or portable signs;
- g. The Preliminary Photometric Plan, as prepared as prepared by Midwest Design Group, and last revised January 22, 2025. Light levels shall be compliant with the Village's Dark Sky Requirements. Village Staff shall have the right to review light levels and require a change if deemed inappropriate light levels. All light poles and fixtures shall be black;
- h. The 5,312 square-foot building shall be constructed with 3.75" x 2.25" x 7.75" solid, full-dimensional face brick (reddish-brown in color) and a stone base (grayish-black in color) on all elevations, with the exception of the north elevation where the stone extends vertically to the top. The gas canopy columns shall also be constructed with solid brick. EIFS shall not be used in place of the stone and hollow structural units shall not be used in place of solid brick. No tube lighting is allowed on the building, canopy, or poles. The red band on the canopy shall be non-illuminated and the bollards on site shall be black or red. There shall be no outside speaker system;
- i. Outdoor displays, storage, and/or sales shall be prohibited;
- j. Overnight parking shall be prohibited;
- k. All roof-mounted equipment shall be screened with a parapet wall and ground-located mechanical equipment shall be screened with appropriate landscaping;
- l. All recapture agreements impacting this property shall be paid prior to any permits being issued;
- m. The existing billboard sign shall be removed within ninety (90) days of issuance of a Site Development Permit or Early Grading permit, whichever is first;
- n. Future development on Lot 2 shall come back for final Planned Development approval and shall request appropriate Special Uses.

ATTACHMENTS:

- Exhibit A. Committee of the Whole Staff Report for January 14, 2025
- Exhibit B. Planning & Zoning Staff Report for Case No. PZ-2024-13
- Exhibit C. Standards & Findings of Fact
- Exhibit D. December 9, 2024, Planning & Zoning Commission Minutes
- Exhibit E. Letter from IDOT Denying Access Point
- Exhibit F. Letter from Algonquin Public Works confirming no adverse offsite detention impacts
- Exhibit G. ALTA/NSPS Land Title Survey
- Exhibit H. Preliminary Plat
- Exhibit I. Preliminary Engineering & Site Plan
- Exhibit J. Preliminary Building Elevations
- Exhibit K. Preliminary Sign Plan
- Exhibit L. Preliminary Photometric Plan
- Exhibit M. Preliminary Landscape Plan
- Exhibit N. Traffic Study



Village of Algonquin

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AGENDA ITEM

<u>MEETING TYPE:</u>	Committee of the Whole
<u>MEETING DATE:</u>	January 14, 2025
<u>SUBMITTED BY:</u>	Patrick M. Knapp, AICP, Director Stephanie Barajas, Planner
<u>DEPARTMENT:</u>	Community Development Department
<u>SUBJECT:</u>	Consideration of a Request to Approve a Preliminary Planned Development, a Preliminary Plat of Subdivision, and a Special Use Permit for a Gas Station at the southwest corner of East Algonquin Road and Illinois Route 25

ACTION REQUESTED:

Ali Bukhres of QuikTrip Corporation, the “Petitioner”, submitted a Development Petition requesting approval of a Preliminary Plat of Subdivision, a Preliminary PUD Plan, and for the issuance of a Special Use Permit for a gas station to be constructed on Lot 1 of the 9.053-acre Subject Property located at the southwest corner of East Algonquin Road (Illinois Route 62) and Illinois Route 25, the “Subject Property”.

PLANNING & ZONING COMMISSION REVIEW:

The Planning and Zoning Commission reviewed the request for approval for a Preliminary Plat of Subdivision, Preliminary Planned Development, and Special Use Permit at the December 9, 2024, Planning and Zoning Commission Meeting.

At the meeting, the Petitioner noted that the Illinois Department of Transportation (IDOT) had indicated that they would not approve direct access to Illinois Route 25. The Petitioner stated that they would provide staff with an updated Traffic Impact Study. Condition “d” of staff’s report anticipated this direct access point being removed.

During the public comment, two people representing the Glenloch HOA expressed concern with traffic, noise, screening, stormwater, and access to Russet Road. Another person shared a concern with truck traffic navigating the development. Two people commented on the prohibition of left turns from Russet Road to Algonquin Road.

After discussion, the Planning and Zoning Commission accepted (approved 7-0) staff’s findings as the findings of the Planning and Zoning Commission and recommended approval of a Preliminary Planned Development Plan, a Preliminary Subdivision Plat, and a Special Use Permit for a gas station, as outlined in the staff report for case PZ-2024-13.

DISCUSSION:

The Petitioner submitted a revised Traffic Impact Study at the beginning of January that incorporated IDOT’s feedback. The most notable revision is the removal of the IL Route 25 direct access point. Staff will complete the review of the Traffic Impact Study prior to the Committee of the Whole meeting. Revisions to the plans that reflect the removal of the direct access point have not been submitted by the Petitioner.

Staff also added condition “n.” after the Planning and Zoning meeting. This is a standard condition for multi-lot subdivisions.

RECOMMENDATION:

Staff recommends that the Committee of the Whole advance this matter to the Village Board for approval of a Preliminary Planned Development, a Preliminary Plat of Subdivision, and issuance of a Special Use Permit for a gas station to be constructed on Lot 1 of the 9.053-acre property located at the southwest corner of East Algonquin Road (Illinois Route 62) and Illinois Route 25, as outlined in the Planning & Zoning Staff Report for Case No. PZ-2024-13, subject to the following conditions and final approval of all plans by staff:

- a. That site construction, utility installation, and grading shall not commence until a Final Plat and Final PUD Plan have been approved by the Planning and Zoning Commission and the Village Board in substantial conformity to the Preliminary PUD Plan and Preliminary PUD Plat, a Grading Permit has been issued by the Village, water and sanitary sewer permits have been issued by the Illinois Environmental Protection Agency, and final approval has been issued by the Illinois Department of Transportation;
- b. The Preliminary Plat of Subdivision titled “QuikTrip 4418 Addition Preliminary Plat of Subdivision”, as prepared by Farnsworth Group, with the latest revision date of November 08, 2024;
- c. The Preliminary Site Plan Exhibit, as prepared by Midwest Design Group and last revised November 13, 2024. Fuel tank venting stacks shall be through canopy poles;
- d. The Preliminary Engineering & Site Plan, as prepared by Midwest Design Group and last revised November 13, 2024. Access to the site from East Algonquin Road and Illinois Route 25 is subject to IDOT approval. No trucks shall exit to Russet Road. If IDOT denies direct access from IL Route 25, trucks can exit to Russet Road but shall be restricted to only left turns onto Russet Road and the developer shall upgrade Russet Road to handle truck traffic between IL Route 25 and the Russett Road entrance to the Subject Property;
- e. The Preliminary Landscape Plan, as prepared by Midwest Design Group, and last revised November 13, 2024. The landscaped area of the parking lot islands shall be a minimum of two hundred (200) square feet in size. Foundation landscaping shall be added along the east

elevation and where possible on the north elevation. If Lot 2 is not used for agricultural purposes, it shall be permanently stabilized as part of this project;

- f. The Preliminary Sign Plan, as prepared by Allen Industries. The proposed wall sign shall conform to the height and size requirements of the Village's Sign Code. The letters in the fuel canopy sign shall be dimensional. Additional signage on fuel pumps, walls, canopy supports, and windows is prohibited except where permitted in the Village's Sign Code and shall only be permitted after the sign permits are submitted for village review and approval. The following signs shall be prohibited at all times: inflatable signs, flags, banners, pennants, or any temporary or portable signs;
- g. The Preliminary Photometric Plan, as prepared as prepared by Midwest Design Group, and last revised November 13, 2024. Light levels shall be compliant with the Village's Dark Sky Requirements. Village Staff shall have the right to review light levels and require a change if deemed inappropriate light levels. All light poles and fixtures shall be black;
- h. The 5,312 square-foot building shall be constructed with full-face brick (reddish-brown in color) and a stone base (grayish-black in color) on all elevations, with the exception of the north elevation where the stone extends vertically to the top. EIFS shall not be used in place of the stone. No tube lighting is allowed on the building, canopy, or poles. The red band on the canopy shall be non-illuminated and the bollards on site shall be black or red. There shall be no outside speaker system;
- i. Outdoor displays, storage, and/or sales shall be prohibited;
- j. Overnight parking shall be prohibited;
- k. All roof-mounted equipment shall be screened with a parapet wall and ground-located mechanical equipment shall be screened with appropriate landscaping;
- l. All recapture agreements impacting this property shall be paid prior to any permits being issued;
- m. The existing billboard sign shall be removed within ninety (90) days of issuance of a Site Development Permit or Early Grading permit, whichever is first;
- n. Future development on Lot 2 shall come back for final Planned Development approval and shall request appropriate Special Uses.

ATTACHMENTS:

- Exhibit A. Planning & Zoning Staff Report for Case No. PZ-2024-13
- Exhibit B. Standards & Findings of Fact
- Exhibit C. DRAFT December 9, 2024, Planning & Zoning Commission Minutes
- Exhibit D. ALTA/NSPS Land Title Survey
- Exhibit E. Preliminary Plat
- Exhibit F. Preliminary Engineering & Site Plan
- Exhibit G. Preliminary Building Elevations
- Exhibit H. Preliminary Sign Plan
- Exhibit I. Preliminary Photometric Plan
- Exhibit J. Preliminary Landscape Plan
- Exhibit K. Traffic Study

STAFF REPORT FROM THE DEPARTMENT OF COMMUNITY DEVELOPMENT

Patrick M. Knapp, AICP
 Director of Community Development

Stephanie Barajas
 Planner



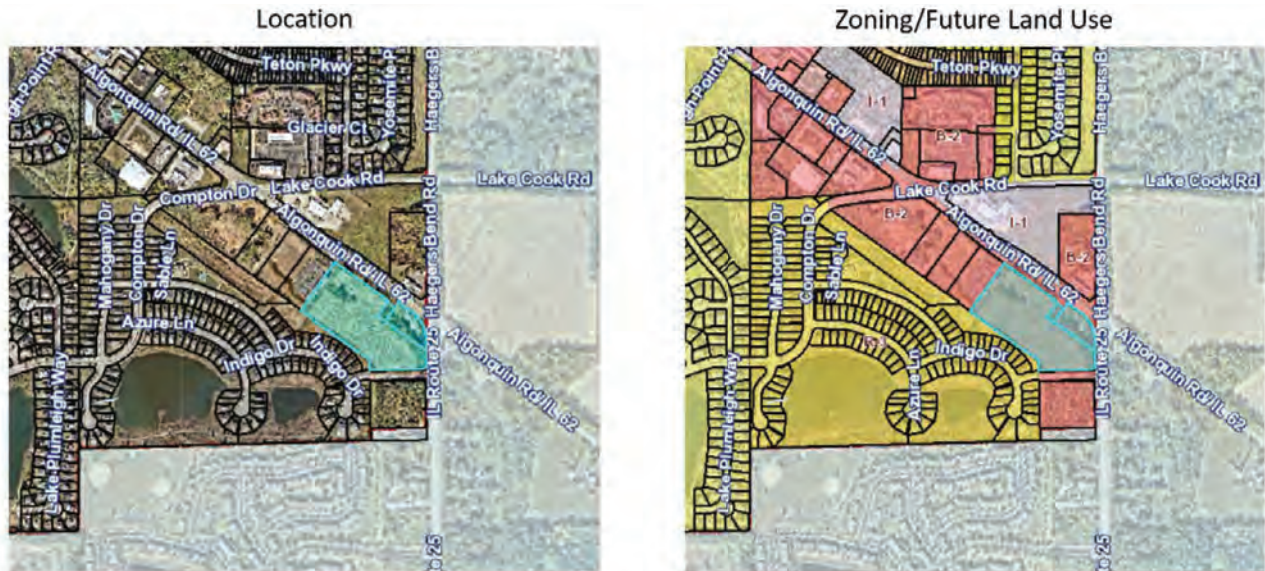
CASE NUMBER:	PZ-2024-13
MEMO DATE:	December 5, 2024
PUBLIC HEARING DATE:	December 9, 2024
PROPERTY ADDRESS/LOCATION:	Southwest Corner of East Algonquin Road (Illinois Route 62) and Illinois Route 25
APPLICANT/ PROPERTY OWNER:	Ali Bukhres QuikTrip Corporation/ Aurora Indian Trail LLC, Peter Andiopoulos, & Parkway Bank & Trust Company

REQUEST SUMMARY

Ali Bukhres of QuikTrip Corporation, the “Petitioner”, applied for approval of a Preliminary Plat of Subdivision, a Preliminary PUD Plan, and for the issuance of a Special Use Permit for a gas station to be constructed on Lot 1 of the 9.053-acre Subject Property located at the southwest corner of East Algonquin Road (Illinois Route 62) and Illinois Route 25 as shown in the Preliminary Plat titled “QuikTrip 4418 Addition” referred herein as the “Subject Property”. The development will include a freestanding single-story convenience store and a fuel canopy.

STAFF RECOMMENDATION

Staff recommends approval of the Petitioner’s request, subject to the conditions and plans listed in the report, as the request conforms to the Village’s Comprehensive Plan and Future Land Use Map.



Existing Zoning:	B-2 Business, General Retail	Existing Land Use:	Vacant
Proposed Land Use:	Gas Station	Future Land Use Plan Designation:	Retail
Surrounding Zoning & Land Use	North:	B-2 Business, General Retail – Gas Station I-1 Industrial, Limited - Retail	
	East:	Outside of Village – Auto Service	
	South:	B-2 Business, General Retail - Vacant R-3 One-Family Dwelling - Single-Family Homes	
	West:	B-2 Business, General Retail – Car Wash R-3 One-Family Dwelling – Single-Family Homes	

DISCUSSION OF STAFF RECOMMENDATION

Request and Use of the Subject Property

Ali Bukhres, (QuikTrip Corporation), the “Petitioner”, applied for approval of a Preliminary Plat of Subdivision, a Preliminary Planned Development Plan, and issuance of a Special Use Permit for a gas station for the 9.053-acre property located at the southwest corner of Illinois Route 62 and Illinois Route 25 as shown in the Preliminary Plat titled “QuikTrip 4418 Addition” referred herein as the “Subject Property”. The proposed development on Lot 1 of the Subject Property will include a 5,312 square foot freestanding single-story convenience store, a fuel canopy covering eight (8) pumps with a total of sixteen (16) fueling positions, one (1) stormwater detention facility, and related improvements including a shared access road for both lots, sidewalks, and a parking lot. Improvements are currently not proposed for future Lot 2.

Property History

The Subject Property was annexed as part of Ordinance 91-O-16 *An Ordinance Annexing Certain Property Known as the Daniels/Meyer Material Property to the Village of Algonquin, McHenry and Kane Counties, Illinois* and was then zoned I-1 and issued a Special Use Permit for mining in Ordinance 91-O-17 *An Ordinance Zoning the Daniels/Meyer Material Property and Granting a Special Use Permit for Mining and Extraction of Gravel in the Village of Algonquin*.

There has been one (1) previously approved project, Algonquin Towers, on this Subject Property which received Preliminary PUD approval and was rezoned from I-1 to B-2 in Ordinance 97-O-44 *An Ordinance Approving A Preliminary Planned Development, Rezoning, and Zoning Upon Annexation for Certain Property Known as The Algonquin Towers Development*. The project never received Final PUD approval and expired two years after approval.

Preliminary Subdivision Plat

The Subject Property currently exists as three (3) parcels (PINs 03-02-200-044, 03-02-200-023, 03-02-200-021) that will be subdivided into two (2) lots and one (1) outlot. Outlot A, as shown in the Preliminary Plat, will be a shared stormwater management facility for lots 1 and 2.

Table 1: Lot Breakdown

Total Area of all Parcels:	9.053 acres	100%
Lot 1 (QuikTrip Gas Station):	2.614 acres	28.9%
Lot 2 (Vacant):	5.025 acres	55.5%
Outlot A:	1.414 acres	15.6%

Preliminary Site Plan & Engineering

The Subject Property includes forty-nine (49) parking stalls, two of which are ADA accessible. This exceeds the Village's parking requirement for this use by twenty-eight (28) parking stalls. The parking lot will be flush with the sidewalk surrounding the building. Bollards will separate the sidewalk from the parking spaces as there will only be curb around the landscape islands and along the perimeter of the parking lot. There will be no truck parking spaces included and overnight parking will not be permitted.

There are four proposed access points to the Subject Property, one to Illinois Route 25, one to Russet Road, one to the existing frontage road serving the development to the west, and the last to East Algonquin Road. The proposed access points to Illinois Route 25 and Route 62 are in review with the Illinois Department of Transportation (IDOT). Approval from IDOT will be required prior to the Final PUD and Final Plat approval.

To prevent trucks from using Russet Road, staff is recommending a condition that no trucks be allowed to exit to Russet Road. If IDOT denies direct access to IL Route 25, staff is recommending that trucks can exit to Russet Road but shall be restricted to only left turns on to Russet Road and that the developer has to upgrade the impacted portion of Russet Road to handle the weight of the trucks.

The sidewalk along East Algonquin Road will be extended from the western property line, linking to the Atomic Car Wash sidewalk, and will continue across to the southeastern property line, connecting to the sidewalk on Russet Road. The existing frontage road from Atomic Car Wash will be extended through Lot 2 ending at the QuikTrip parking lot and will be paved with curb and gutter. “No Parking” signage will be posted along the frontage to prevent vehicles from parking along the roadway.

The Photometric Plan includes twenty-two (22’) tall light poles. Staff recommends adding a condition that the light poles be black and that the lighting meets the Village’s Dark Sky Requirements which requires all lights to be downcast and that no direct lighting spills onto the adjacent residential properties.

Building Elevations

The main entrance of the 5,312-square-foot convenience store will be on the north side of the building, facing East Algonquin Road. The rear of the building will face Outlot A. The exterior of the building will be constructed with full-depth reddish-brown brick and grayish-black stone. The building will include a thirty-six-inch (36”) grayish-black stone base with a protruding section where the stone extends vertically to the top, creating visual interest both horizontally and vertically. The front elevation will include one (1) wall sign, two (2) red awnings, and a metal canopy with a non-illuminated red band. There will be a parapet wall that is slightly setback from the outside walls constructed of metal panels to screen mechanical rooftop units. Staff is recommending a condition that outside storage, displays, and sales be prohibited.

The canopy over the gas pumps is supported by reddish-brown brick columns to match the building. The canopy is proposed to be brushed aluminum with an illuminated red band. Staff is recommending a condition that the red band be non-illuminated and that the bollards on site be black or red to complement the building colors.

The trash enclosure will be constructed on the southwest corner of Lot 1. The enclosure will be constructed with the same exterior materials as the principal structure.

Signage

The proposed signage for QuikTrip includes one (1) wall sign, one (1) fuel canopy sign, and one (1) monument sign. The proposed wall sign will be white illuminated channel letters on a solid red background. At a proposed letter height of 47.3 inches, the wall sign exceeds the maximum allowed height of twenty-four (24) inches. The Petitioner is requesting a deviation from the code for the size of the wall sign, however, staff does not support this deviation. Other recent developments on East Algonquin Road have been required to follow the Village’s sign code. The fuel canopy sign is the QuikTrip logo on a red background. It will be on the north elevation of the canopy and channel letters will be required. The monument sign is will have a black stone base that matches the exterior of the building and it will be located at the northwest corner of Lot 1.

Preliminary Landscape Plan

The proposed landscape plan for Lot 1 includes landscaping around the parking lot, around the perimeter of the detention facility, and along the street frontages. There is landscaping proposed for the seventeen (17’) foot wide area between the parking lot and the western wall of the principal structure. The Petitioner has noted this area may be used for a future expansion of the building and staff is recommending the area to be fully landscaped. Staff is recommending a condition that the Petitioner provide foundation landscaping along the eastern elevation

and wherever possible. Staff also recommends a condition that they increase the landscaped area in the parking lot islands to meet Village Code. The stormwater detention facility will be a dry detention facility. No wetlands were found on the Subject Property. Two landscape screens of trees and shrubs are being planted between the convenience store and the residential properties to the southwest.

A Tree Survey found that the majority of the trees were in poor, fair, and good condition. All trees within the construction limits of Lot 1 will be removed. No landscaping is currently proposed for Lot 2. Staff recommends that if Lot 2 is not used for agricultural purposes, it shall be permanently stabilized as part of this project.

Traffic Study Analysis

A Traffic Impact Study was prepared by KLOA (Kenig, Lindgren, O’Hara, Aboona, Inc.) which analyzed the traffic impacts of the proposed development. KLOA analyzed existing roadway conditions, vehicle trip generation for the proposed development, future traffic conditions, and weekday morning and weekday evening peak hour conditions.

The Traffic Impact Study found that the proposed access system of the development will adequately accommodate the estimated traffic, the projected traffic that will be generated will be reduced due to the volume of pass-by traffic, and turn lanes will be required. In regards to the Illinois Route 25 and Russet Road intersection, the study noted that the proposed development will have limited impact on the operations of the intersection and that the median island prohibiting left-turn movements does not meet IDOT’s design standard. IDOT is currently reviewing the plan to confirm these findings.

Next Steps

This request will be discussed at the Committee of the Whole and will then go to the Village Board for preliminary approval. The request will then need to be resubmitted for final approval and conform to the plans and conditions approved by the Village Board.

FINDINGS OF FACT

The Planning and Zoning Commission shall review the Standards & Findings of Fact outlined in Exhibit “A” and 1) accept them without changes, 2) accept them with changes, or 3) reject the findings. The Planning and Zoning Commission should use the Findings of Fact to guide their recommendation to the Village Board on the petitioner’s request.

STAFF RECOMMENDATION

Staff recommends approval of a Preliminary Planned Development, a Preliminary Plat of Subdivision, and issuance of a Special Use Permit for a gas station to be constructed on Lot 1 of the 9.053-acre property located at the southwest corner of East Algonquin Road (Illinois Route 62) and Illinois Route 25 as shown in the Preliminary Plat titled “QuikTrip 4418 Addition” referred herein as the “Subject Property”, consistent with the findings of fact outlined in Exhibit “A”, and subject to the plans and conditions listed below. Based on these findings, staff recommends that the Planning and Zoning Commission make a motion to adopt staff’s findings as the findings of the Planning and Zoning Commission and recommend **approval** of the following motion:

1. “To adopt Staff’s findings of fact as the findings of the Planning & Zoning Commission and to recommend approval of a Preliminary Planned Development Plan, a Preliminary Subdivision Plat titled “QuikTrip 4418 Addition Preliminary Plat of Subdivision”, and Special Use Permit for a gas station for the Subject Property located at the southwest corner of East Algonquin Road (Illinois Route 62) and Illinois Route 25 as outlined in the staff report for case PZ-2024-13 dated December 5, 2024, subject to the following conditions and final staff approval:

- a. That site construction, utility installation, and grading shall not commence until a Final Plat and Final PUD Plan have been approved by the Planning and Zoning Commission and the Village Board in substantial conformity to the Preliminary PUD Plan and Preliminary PUD Plat, a Grading Permit has been issued by the Village, water and sanitary sewer permits have been issued by the Illinois Environmental Protection Agency, and final approval has been issued by the Illinois Department of Transportation;
- b. The Preliminary Plat of Subdivision titled “QuikTrip 4418 Addition Preliminary Plat of Subdivision”, as prepared by Farnsworth Group, with the latest revision date of November 08, 2024;
- c. The Preliminary Site Plan Exhibit, as prepared by Midwest Design Group and last revised November 13, 2024. Fuel tank venting stacks shall be through canopy poles;
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- e. The Preliminary Landscape Plan, as prepared by Midwest Design Group, and last revised November 13, 2024. The landscaped area of the parking lot islands shall be a minimum of two hundred (200) square feet in size. Foundation landscaping shall be added along the east elevation and where possible on the north elevation. If Lot 2 is not used for agricultural purposes, it shall be permanently stabilized as part of this project;
- f. The Preliminary Sign Plan, as prepared by Allen Industries. The proposed wall sign shall conform to the height and size requirements of the Village’s Sign Code. The letters in the fuel canopy sign shall be dimensional. Additional signage on fuel pumps, walls, canopy supports, and windows is prohibited except where permitted in the Village’s Sign Code and shall only be permitted after the sign permits are submitted for village review and approval. The following signs shall be prohibited at all times: inflatable signs, flags, banners, pennants, or any temporary or portable signs;
- g. The Preliminary Photometric Plan, as prepared as prepared by Midwest Design Group, and last revised November 13, 2024. Light levels shall be compliant with the Village’s Dark Sky Requirements. Village Staff shall have the right to review light levels and require a change if deemed inappropriate light levels. All light poles and fixtures shall be black;
- h. The 5,312 square-foot building shall be constructed with full-face brick (reddish-brown in color) and a stone base (grayish-black in color) on all elevations, with the exception of the north elevation where the stone extends vertically to the top. EIFS shall not be used in place of the stone. No tube lighting is allowed on the building, canopy, or poles. The red band on the canopy shall be non-illuminated and the bollards on site shall be black or red. There shall be no outside speaker system;

- i. Outdoor displays, storage, and/or sales shall be prohibited;
- j. Overnight parking shall be prohibited;
- k. All roof-mounted equipment shall be screened with a parapet wall and ground-located mechanical equipment shall be screened with appropriate landscaping;
- l. All recapture agreements impacting this property shall be paid prior to any permits being issued;
- m. The existing billboard sign shall be removed within ninety (90) days of issuance of a Site Development Permit or Early Grading permit, whichever is first.”

I concur:



Patrick M Knapp, AICP
Director of Community Development

Attachments:

- Exhibit A. Standards & Findings of Fact
- Exhibit B. ALTA/NSPS Land Title Survey
- Exhibit C. Preliminary Plat
- Exhibit D. Preliminary Engineering & Site Plan
- Exhibit E. Preliminary Building Elevations
- Exhibit F. Preliminary Sign Plan
- Exhibit G. Preliminary Photometric Plan
- Exhibit H. Preliminary Landscape Plan
- Exhibit I. Traffic Study

EXHIBIT A – STANDARDS & FINDINGS OF FACT

Planned Development Standards – Section 21.11.E of the Algonquin Zoning Ordinance provides that a Planned Development shall conform to the following requirements:

1. The number of dwelling units erected shall not exceed the number permitted by the regulations of the district in which it is located, except in cluster developments where a density bonus may be granted as part of the planned development.
2. If a building is permitted to exceed the height limit of the district in which it is located, the yards and open spaces around such building shall be increased by an amount equal to the height that the building exceeds the height limit of the district measured in feet.
3. If more intensive uses are permitted than are allowed by the district regulations, there must be clear evidence that such uses are appropriate, provided the Planning and Zoning Commission finds:
 - a. That the use permitted by such exceptions is necessary or desirable and is appropriate with respect to the primary purpose of the development;
 - b. That the uses permitted by such exception are not of such a nature or so located as to exercise a detrimental influence on the development nor on the surrounding neighborhood;
 - c. That, in an industrial development, such additional uses allowed by exception shall conform to the performance standards of the district in which the development is located as set forth in Section 21.4 herein;
 - d. That the use exceptions allowed are on file in the Community Development Department;
4. The amount of off-street parking must be adequate to serve the needs of the projects. The Planning and Zoning Commission and Village Board may require more or less off-street parking than is otherwise required by this Chapter if it is determined the use(s) warrants the deviation.
5. If any open space or recreational facility is to be used solely by the residents of the project, adequate provisions shall be made for assessments against the property within the project so that such facilities can be properly improved, maintained, and operated.
6. All residential planned developments that involve annexation shall include clearly identifiable community-wide benefit improvements to the Village. Benefits may include the following, but shall not be limited to those listed: expansion of Village infrastructure that can serve other parts of the community; creation of a community park; dedication of right-of-way or construction of a collector road; and component of a larger mixed-use development that includes commercial uses. The larger the residential unit count, the larger the community-wide benefit improvements.
7. All commercial planned developments that include lots fronting on any major collector or arterial roadway shall provide landscaped open space between each building and parking lot. Said landscaped area shall include combinations of trees, shrubs, and seasonal plantings that shall be planted on top of earthen berms. The appropriate land area, height of the berm, and exact plant material specifications shall be reviewed and approved by the Village Board as part of the final planned development review process.

Petitioner Response:

See attached

Staff Response:

The convenience store building and gas station will conform to the bulk requirements and allowed uses in the B-2 zoning district, the amount of off-street parking provided for the overall development is adequate, the development adheres to the Village’s Comprehensive Plan and Future Land Use Plan, the building meets the Village’s and the PUD’s design standards, and the development will not negatively impact the health, safety, and general welfare of persons working or residing in the area.

Special Use Standards – Section 21.12.E.3 of the Algonquin Zoning Ordinance provides that a Special Use shall conform to the following standards:

1. That the proposed use at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community;
2. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity, or injurious to property values or improvements in the vicinity;
3. That the proposed use will comply with the regulations and conditions specified in this Chapter

Petitioner Response:

See attached

Staff Response:

The proposed gas station use is appropriate and desirable in this location, and will be compatible both with the Comprehensive Plan designation and surrounding uses. The subject property is zoned commercial, consistent with the business zoning classification of a majority of the surrounding properties. The properties to the north and west are currently commercial properties and the property to the east is not in the Village. The property to the south is residential, but there will be a landscape buffer to provide separation and screening.

Standards

Provide a response to all applicable standards.

Planned Development Standards – Section 21.11.E of the Algonquin Zoning Ordinance provides that a Planned Development shall conform to the following requirements:

1. The number of dwelling units erected shall not exceed the number permitted by the regulations of the district in which it is located, except in cluster developments where a density bonus may be granted as part of the planned development. **Noted**
2. If a building is permitted to exceed the height limit of the district in which it is located, the yards and open spaces around such building shall be increased by an amount equal to the height that the building exceeds the height limit of the district measured in feet. **Noted**
3. If more intensive uses are permitted than are allowed by the district regulations, there must be clear evidence that such uses are appropriate, provided the Planning and Zoning Commission finds: **N/A**
 - a. That the use permitted by such exceptions is necessary or desirable and is appropriate with respect to the primary purpose of the development;
 - b. That the uses permitted by such exception are not of such a nature or so located as to exercise a detrimental influence on the development nor on the surrounding neighborhood;
 - c. That, in an industrial development, such additional uses allowed by exception shall conform to the performance standards of the district in which the development is located as set forth in Section 21.4 herein;
 - d. That the use exceptions allowed are on file in the Community Development Department;
5. The amount of off-street parking must be adequate to serve the needs of the projects. The Planning and Zoning Commission and Village Board may require more or less off-street parking than is otherwise required by this Chapter if it is determined the use(s) warrants the deviation. **Noted**
6. If any open space or recreational facility is to be used solely by the residents of the project, adequate provisions shall be made for assessments against the property within the project so that such facilities can be properly improved, maintained, and operated. **Noted**
7. All residential planned developments that involve annexation shall include clearly identifiable community-wide benefit improvements to the Village. Benefits may include the following, but shall not be limited to those listed: expansion of Village infrastructure that can serve other parts of the community; creation of a community park; dedication of right-of-way or construction of a collector road; and component of a larger mixed-use development that includes commercial uses. The larger the residential unit count, the larger the community-wide benefit improvements. **N/A**
8. All commercial planned developments that include lots fronting on any major collector or arterial roadway shall provide landscaped open space between each building and parking lot. Said landscaped area shall include combinations of trees, shrubs, and seasonal plantings that shall be planted on top of earthen berms. The appropriate land area, height of the berm, and exact plant material specifications shall be reviewed and approved by the Village Board as part of the final planned development review process. **Noted**

Special Use Standards

Section 21.11.E.3 of the Algonquin Zoning Ordinance provides that a Special Use Shall Conform to the following Standards:

1. That the proposed use at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.
 - a. **The site plan for the proposed development is consistent with the existing character and zoning of adjacent properties and other property within the immediate vicinity of the proposed development. Most of the surrounding area is commercial in nature, which the Applicant believes will help support the proposed fueling center and provide a service for existing traffic along Algonquin Road.**
2. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity, or injurious to property values or improvements in the vicinity;
 - a. **This establishment will not be detrimental or endanger any member of the public during its development, construction, or while it conducts business.**
3. That the proposed use will comply with the regulations and conditions specified in this chapter for such use and with the stipulations and conditions made a part of the authorization granted by the Village Board
 - a. **The proposed use will comply with all regulations and or conditions that are set with the authorization granted by the Village Board**



Village of Algonquin

COMMUNITY DEVELOPMENT DEPARTMENT

(847) 658-2700 | permits@algonquin.org | www.algonquin.org
2200 Harnish Drive, Algonquin, IL

PLANNING AND ZONING COMMISSION MINUTES

DECEMBER 9, 2024

Roll Call - Establish Quorum

Chair Patrician called the meeting to order at 7:01 pm.

Director Patrick Knapp called the roll to check attendance.

All seven commissioners were present and could hear and be heard:

- Chair Patrician
- Commissioner Neuhalfen
- Commissioner Bumbales
- Commissioner Laipert
- Commissioner Rasek
- Commissioner Sturznickel
- Commissioner Szpekowski

Member absent: None

Staff Present: Director Patrick Knapp and Attorney Brandy Quance

Public Comment

Chair Patrician asked for public comments. There was no public comment.

Approval of Minutes

Chair Patrician asked for approval of the November 11, 2024, Planning and Zoning Commission minutes. A motion was made by Commissioner Bumbales and seconded by Commissioner Szpekowski to approve the minutes. The motion was approved with a 7-0 vote.

Case Number PZ-2024-23 – Consideration of a Request to Approve a Zoning Map Amendment from B-1 Business, Limited Retail Zoning District to B-2 Business, General Retail Zoning District

Director Knapp confirmed that the Public Notice requirement was fulfilled.

Michael Ryan, the Petitioner, did not wish to give a presentation.

Director Knapp gave a digital presentation to the Planning & Zoning Commission stating that Staff supports the request as outlined in the Staff Report.

Commissioner Szpekowski asked the Petitioner what the former use of the building was. The Petitioner responded that it was a flooring store. The Commissioner asked if it was allowed. The Petitioner responded that he believed it was, but that this zoning change would match his neighboring properties and allow for more uses.

Chair Patrician opened the Public Comment portion of the Public Hearing.

Chair Patrician closed the Public Comment portion of the Public Hearing.

Chair Patrician asked for a motion. A motion was made by Commissioner Rasek and seconded by Commissioner Sturznickel to adopt Staff's findings of fact as the findings of the Planning & Zoning Commission and to recommend approval of a Zoning Map Amendment from B-1 Business, Limited Retail to B-2 Business, General Retail for the Subject Property located at 2040 East Algonquin Road, as outlined in the staff report for case PZ-2024-24 dated December 5, 2024. The motion carried with a 7-0 vote.

Case Number PZ-2024-13 – Consideration of a Request to Approve a Preliminary Planned Development, a Preliminary Plat of Subdivision, and a Special Use Permit for a Gas Station

Director Knapp confirmed that the Public Notice requirement was fulfilled.

Ali Bukhres, the Petitioner, gave a PowerPoint presentation to the Planning & Zoning Commission requesting a recommendation of approval. Andrew Bowen, the traffic consultant representing the Petitioner, also participated.

Director Knapp gave a digital presentation to the Planning & Zoning Commission stating that Staff supports the request with the conditions outlined in the Staff Report.

Commissioner Sturznickel asked the Petitioner if they do not receive IL 25 access, will their plan change? The Petitioner stated that they will remove the access point, but in general, the plan will not change too much because there is still access off of Russet Road.

Commissioner Laipert asked the Petitioner if it will be a 24-hour store. The petitioner responded that it will be a 24-hour store.

Commissioner Neuhalfen asked the Petitioner if there would be a speaker system. The Petitioner responded there is going to be one, but it is required for ADA purposes and will only be used for that purpose. The Commissioner then asked where the fuel tanks would be located. The Petitioner responded that they are out front along IL 62. The Petitioner added that fuel trucks will enter on IL 62 and exit on IL 25.

Commissioner Rasek asked the Petitioner why they targeted this area when access is limited to the main roads. The Petitioner responded that they studied this area and design and that they are confident this will be a popular location.

Commissioner Szpekowski asked the Petitioner if there are buffers around the stormwater. The Petitioner responded that there will be two landscape buffers between the building and the residential in the rear. The stormwater area will be surrounded by the buffers. Commissioner Szpekowski then asked if there would be EV charging stations. The Petitioner responded that they don't provide them because they found that drivers are typically looking to stop at EV charging locations for at least minutes. QuikTrip believes EV chargers are better suited for shopping centers.

Commissioner Bumbales asked the Petitioner why they would be providing extra parking spaces. The Petitioner responded that this is the number that they feel is sufficient for the extra food and grocery options that they offer. Commissioner Bumbales asked about the depth of the pond. The Petitioner responded that he believed it to be 12' deep. Commissioner Bumbales asked if other nearby gas stations concern them. The Petitioner responded that they were not concerned. Commissioner Bumbales asked what Dark Sky meant. Director

Knapp responded that it means that all lights have to be pointed downward and that light cannot spill onto neighboring lots.

Chair Patrician asked about outside storage and if the developer was going to build an enclosure like Thorntons. The Petitioner responded that all storage would be inside. Chair Patrician asked about the mesh material on the material board. The Petitioner stated that it is on the outside of the trash enclosure doors.

Chair Patrician opened the Public Comment portion of the Public Hearing.

Geraldine Czech, 2070 Azure Lane, and Ken Leonard, 341 Mahogany Drive, both spoke as representatives for the Glenloch HOA. Ms. Czech stated there is a concern with cut-through traffic on Russet and would like to review the traffic study. Ms. Czech stated that they are worried about the effect of idling vehicles. Ms. Czech stated that they are opposed to stormwater from this development going into the ponds that they maintain. Ms. Czech stated that vehicle queues on Russet Road and IL 25 will be excessive.

Commissioner Sturznickel asked the Petitioner how many trucks per week they expect. The Petitioner responded that they expect 3 delivery trucks per week and 2 to 3 fuel trucks per week.

Ms. Czech stated that they want trees along the back of the additional lot. The Petitioner stated that they would not be adding the trees and would leave the landscape installation to the future developer.

Chair Patrician asked the Petitioner if Russet Road cut-through traffic is a concern. Andrew Bowen of KLOA stated that there would be 2 to 3 vehicles per hour and these would likely be local residents.

Ms. Czech stated that school buses are already cutting through on Russet Road and causing an issue. Ms. Czech stated that the use of the stormwater ponds in Glenloch should also not be allowed.

Mr. Leonard stated that traffic on Russet Road is a major concern of the Glenloch HOA.

James Kennedy, 320 Mahogany Drive, stated that he is surprised that this location was chosen and that other QuikTrips attract semi-trucks. Mr. Kennedy stated that this location's access is terrible and emphasized that there will be trucks. The Petitioner responded that this site is not designed for trucks and that the available diesel fuel is only for small cars and trucks. Mr. Kennedy stated that trucks would accidentally pull into the site. The Petitioner responded that truck drivers are very aware of where they stop for fuel and will know not to pull into this gas station.

Tom Butler, 2190 Indigo Drive, stated that it is impossible to turn left from Russet Road to Algonquin Road and wanted the Planning and Zoning Commission to understand this information.

Chair Patrician closed the Public Comment portion of the Public Hearing.

Commissioner Sturznickel asked the Petitioner if they will be obtaining a liquor license. The Petitioner responded that they would seek a liquor license.

Chair Patrician re-opened the Public Comment portion of the Public Hearing.

Carol Nichols, 2160 Indigo Drive, stated that Russet Road and IL 25 is an issue because vehicles will only be allowed to turn right and cannot go left.

Chair Patrician closed the Public Comment portion of the Public Hearing.

Chair Patrician asked for a motion. A motion was made by Commissioner Neuhalfen and seconded by Commissioner Sturznickel to adopt Staff's findings of fact as the findings of the Planning & Zoning Commission and to recommend approval of a Preliminary Planned Development Plan, a Preliminary Subdivision Plat titled "QuikTrip 4418 Addition Preliminary Plat of Subdivision", and Special Use Permit for a gas station for the Subject Property located at the southwest corner of East Algonquin Road (Illinois Route 62) and Illinois Route 25 as outlined in the staff report for case PZ-2024-13 dated December 5, 2024, subject to the following conditions and final staff approval. The motion carried with a 7-0 vote.

New/Old Business

Community Development Report

Director Patrick Knapp provided an update regarding ongoing projects and Village Board approvals of Planning and Zoning cases.

Adjournment

Chair Patrician asked for a motion to adjourn. A motion was made by Commissioner Sturznickel and seconded by Commissioner Szpekowski. The motion carried on a 5-0 vote. The meeting was adjourned at 8:41 P.M.

Minutes signed by:

Patrick M Knapp, AICP, Director of Community Development



Illinois Department of Transportation

Office of Highways Project Implementation / Region 1 / District 1
201 West Center Court / Schaumburg, Illinois 60196-1096

PERMITS

Location: IL 62 (Algonquin Road) and IL 25 (John F. Kennedy Drive)

Municipality: Village of Algonquin, Kane County

Re: QuikTrip No. 7303

Reference No.: 045-126610

January 22, 2025

Mr. Luay Aboona, P.E., PTOE
Principal
KLOA, Inc.
9575 W. Higgins Road, Suite 400
Rosemont, IL 60018

Dear Mr. Aboona:

IDOT has completed its review of your Traffic Impact Study for the subject location and offers the following:

Traffic Programs – Studies Comments:

1. Revise Figures 6,7,8 and 9 in the Traffic Impact Study (TIS). Intersection “A” on these Figures is labeled as Russet Road at West Access Drive. Intersection” A” should be labeled as IL 62 at West Access Drive.
2. Revise the text on Page 5 of the TIS for Algonquin Road with the East Site Access Drive. “As proposed, a right-in/right-out access drive will be provided on Algonquin Road located approximately 220 feet west of IL 25....” should say instead “As proposed, a right-in, right-out access drive will be provided on Algonquin Road located approximately 500’ west of IL 25....”.
3. The Department does not object to the proposed new Right-In/Right-Out (RI-RO) access driveway along IL 62, 500’ west of IL 25 in conjunction with the proposed eastbound right-turn channelization.
4. New limited access driveways along State highways should maintain 500’ spacing from existing signalized intersections as well as 500’ spacing from existing limited-access intersections. The proposed new RI-RO driveway along IL 25 just south of IL 62 will not be permitted. The RI-RO driveway at only 215’ south of IL 62 and 240’ north of Russet Road is less than half of this distance and will not be approved.
5. RI-RO access to and from IL 25 can be accommodated via the proposed full-access connection to Russet Road 225’ west of IL 25.
6. The proposed southbound right-turn lane along IL 25 should be relocated to serve Russet Road to mitigate the impact of southbound right-turning vehicle accessing the fuel station via Russet Road.
7. Reassign in the TIS all Right-In and Right-Out movements to and from IL 25 to the IL 25 at Russet Road intersection and adjust the traffic volumes at Russet Road and proposed full-access driveway.
8. Submit a revised Traffic Impact Study for continued review.
9. Concurrently, submit concept roadway plans for a continuous right turn lane along IL 25 at Russet Road.

Programming – Geometrics Comments:

TIA Comments:

1. Based on the limited frontage to both IL 25 and IL 62, the availability of other access points and the relatively low trip generation for this development the RI/RO access along IL 25 south of IL 62 should be removed. Please revise the TIA along with the proposed plans accordingly and resubmit.
2. Pg 8: Please consider including A-type crashes or injury crashes in the Crash Analysis for more details.
3. Pg 9: Please consider shifting Figure 4 down to Pg 9 after the crash summary tables for better clarity.
4. Pg 18: The NB traffic volumes may have been copied off EB traffic volume in Fig 9. Please put in the correct volumes.
5. Pg 20: The LOS of No Build Conditions (Weekday Evening) for WBL of Algonquin Rd with Lake Cook Rd does not match its synchro report. Please verify which is correct and revise appropriately.
6. Pg 21: The LOS of No Build Conditions (Weekday Evening) for NWB approach of Algonquin Rd with IL 25 does not match its synchro report. Please verify which is correct and revise appropriately.
7. Pg 23: Page numbers do not continue from the previous page (Pg 21) and restart as Pg 1. Please change the page numbers to continue as Pg 22 and so on.
8. Pg 23: Table 7 has columns titled Weekday Midday Peak Hour and its corresponding synchro reports are labelled Weekday Morning Peak Hour. Please revise the appropriate title.
9. There are no synchro reports for No Build Conditions of the intersections in Table 8. Please add the synchro reports of IL 25 with Russet Rd and Algonquin Rd with Commercial Development Access Dr.
10. Please consider conducting Sight Distance Analysis for the driveways of the site.

Plan Sheet Comments:

1. Please show the taper on the proposed right turn lane on the west leg of IL 62.
2. Provide dimensions on all proposed work – Label dimensions such as lane widths, taper rates, radii on all proposed work.
3. Provide autoturn movements showing use of all proposed access points off IDOT ROW including those by fueling trucks.
4. Provide a sidewalk along this site's frontage to both IL 62 and IL 25.

Please revise your plans in accordance with the above comments and resubmit electronically via email to jonathan.karabowicz@illinois.gov or through the SharePoint, OneDrive, or other file-sharing website.

IL 62 (Algonquin Road) and IL 25 (John F. Kennedy Drive)

January 22, 2025

Page 3

We ask that you include IDOT Reference No. 045-126610 for all subsequent submittals related to this permit plan set. If you have any questions regarding this matter, please contact Jonathan Karabowicz at (847) 705-4149.

Very truly yours,

Jose Rios, P.E.
Region One Engineer

By:
Jonathan E. Karabowicz, P.E.
Traffic Permits Engineer

Cc: Village of Algonquin



Village of Algonquin

The Gem of the Fox River Valley

January 30, 2025

Village Board of Trustees
2200 Harnish Dr
Algonquin IL 60102

Subject - Review of Proposed Construction of a QuikTrip at 2301 East Algonquin Rd

Board of Trustees,

Public Works has reviewed the preliminary submittal of a proposed QuikTrip located near the southwest corner of Route 25 and East Algonquin Rd and found that the stormwater requirements to be preliminarily met, as outlined in the Storm Water Ordinance. If the development moves forward to advanced and/or final engineering, staff will continue to ensure all stormwater requirements continue to be met.

CBBEL and Village staff have reviewed the preliminary documents provided by QuikTrip for the stormwater requirements. The Village required all detention to be managed on site for QuikTrip and the vacant parcel to the west. The detention facilities on site will have an outlet control structure, which will limit the peak runoff to the Glenloch Subdivision detention facilities. The Glenloch detention facilities were installed in a manner to accept future runoff from the subject site, to continue flowing southwest, ultimately outfalling into the Fox River. Bio-skirts which will absorb oil are proposed inside the outlet control structure along with an oil-water separator to treat any runoff from under the fuel canopy which will be required to have regular maintenance by QuikTrip. The proposed runoff will not increase from the existing conditions and the allowed released rate for stormwater runoff is below the allowable rate set forth by the Kane County Stormwater Management Ordinance. Additionally, this site is subject to the Village's MS4 permit which strictly monitors and requires contaminants to be removed from entering the stormwater system. Violations of this permit would result in immediate action from the Village and other regulatory agencies such as the IEPA.

With this information provided, Village staff believes that the proposed change will not adversely affect the current conditions of the Glenloch Subdivision detention facilities should the development move forward.

Sincerely,

Nadim Badran
Public Works Director

ALTA/NSPS LAND TITLE SURVEY

PART OF THE NE 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 8 EAST OF THE 3RD PRINCIPAL MERIDIAN
VILLAGE OF ALGONQUIN, KANE COUNTY, ILLINOIS

SURVEYOR'S CERTIFICATION

TO: QUIKTRIP CORPORATION, GW PROPERTY GROUP, LLC, CHICAGO TITLE INSURANCE COMPANY, AND FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A)(8, 9, 11(A)), 11(B), 13, 14, 16, 17, 18, 19, 20(A), 20(B), 20(C), 20(D), 20(E), 20(G), 20(H), 20(I), 20(J), 20(K), AND 20(L) OF TABLE THEREOF. THE FIELDWORK WORK WAS COMPLETED ON JANUARY 9, 2024.

LEGAL DESCRIPTION (AS PROVIDED IN TITLE COMMITMENT NO. 23CND676023LZ)

PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, BEING DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF THE SAID NORTHEAST QUARTER WITH THE CENTERLINE OF STATE ROUTE 62; THENCE SOUTH 55 DEGREES 01 MINUTES 10 SECONDS EAST ALONG SAID CENTERLINE, 693.07 FEET TO THE MOST EASTERLY CORNER OF THE LANDS DESCRIBED IN DOCUMENT NO. 89045083; THENCE SOUTH 34 DEGREES 48 MINUTES 58 SECONDS WEST ALONG THE SOUTHEASTERLY LINE THEREOF, 80.00 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF STATE ROUTE 62 PER CONDEMNATION SUIT CASE SAED 0031 AND SHOWN ON PLAT OF DEDICATION RECORDED AS DOCUMENT NO. 190307017 AND THE PLACE OF BEGINNING; THENCE SOUTH 55 DEGREES 01 MINUTES 10 SECONDS EAST ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE, 453.51 FEET; THENCE SOUTH 34 DEGREES 38 MINUTES 30 SECONDS WEST ALONG A JOG IN SAID SOUTHWESTERLY RIGHT-OF-WAY LINE, 15.42 FEET; THENCE SOUTH 55 DEGREES 01 MINUTES 10 SECONDS EAST ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE, 33.23 FEET TO THE NORTHWESTERLY LINE OF THE LANDS DESCRIBED IN DOCUMENT NO. 2019044789; THENCE SOUTH 54 DEGREES 58 MINUTES 50 SECONDS WEST ALONG SAID NORTHWESTERLY LINE, 112.78 FEET TO THE MOST WESTERLY CORNER THEREOF; THENCE SOUTH 55 DEGREES 01 MINUTES 10 SECONDS EAST ALONG THE SOUTHWESTERLY LINE THEREOF AND THE SOUTHWESTERLY LINE OF THE LANDS DESCRIBED IN DOCUMENT NO. 2009074272, A DISTANCE OF 383.06 FEET TO THE WEST RIGHT-OF-WAY LINE OF STATE ROUTE 26 PER CONDEMNATION SUIT CASE SAED 0031 AND SHOWN ON PLAT OF DEDICATION RECORDED AS DOCUMENT NO. 89030172; THENCE SOUTH 02 DEGREES 16 MINUTES 44 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 75.44 FEET; THENCE NORTH 87 DEGREES 44 MINUTES 16 SECONDS EAST ALONG A JOG IN SAID WEST RIGHT-OF-WAY LINE, 10.00 FEET; THENCE SOUTH 02 DEGREES 16 MINUTES 44 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 57.84 FEET TO THE NORTHEAST CORNER OF THE LANDS DESCRIBED IN DOCUMENT NO. 2007088041; THENCE SOUTH 42 DEGREES 30 MINUTES 30 SECONDS WEST ALONG THE NORTHWESTERLY LINE THEREOF, 26.40 FEET TO THE NORTH LINE OF OUTLOT IN WATERFORD OF ALGONQUIN, BEING SUBDIVISION OF PART OF THE SAID NORTHEAST QUARTER, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 30, 2007 AS DOCUMENT NO. 2007K109240; THENCE SOUTH 87 DEGREES 16 MINUTES 45 SECONDS WEST ALONG SAID NORTH LINE, 409.05 FEET TO THE END LINE OF CONVEYANCE; THENCE NORTH 02 DEGREES 16 MINUTES 44 SECONDS WEST ALONG SAID EAST LINE, 74.13 FEET TO THE NORTHEAST CORNER THEREOF; THENCE NORTH 55 DEGREES 00 MINUTES 49 SECONDS WEST ALONG THE NORTHEASTERLY LINE OF SAID WATERFORD OF ALGONQUIN SUBDIVISION, 596.24 FEET TO THE SOUTHWESTERLY LINE OF THE LANDS DESCRIBED IN DOCUMENT NO. 89065493; THENCE NORTH 34 DEGREES 58 MINUTES 50 SECONDS EAST ALONG SAID SOUTHEASTERLY LINE 447.45 FEET TO THE PLACE OF BEGINNING, IN KANE COUNTY, ILLINOIS.

LEGAL DESCRIPTION (AS PROVIDED IN TITLE COMMITMENT NO. AF1038930)

PARCEL 1:

THAT PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH ALONG THE EAST LINE OF SAID QUARTER SECTION A DISTANCE OF 1304 FEET; THENCE WEST AT RIGHT ANGLES TO SAID EAST LINE TO THE WEST LINE OF STATE ROUTE 26; THENCE NORTHWESTERLY ALONG A LINE MAKING AN ANGLE OF 52 DEGREES 43 MINUTES 30 SECONDS MEASURED FROM NORTH TO WEST WITH SAID WEST LINE OF STATE ROUTE 26 A DISTANCE OF 357.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG THE LAST DESCRIBED COURSE A DISTANCE OF 65 FEET; THENCE NORTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED LINE A DISTANCE OF 158.19 FEET TO THE SOUTHERLY LINE OF STATE ROUTE 62; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY LINE A DISTANCE OF 65 FEET TO A POINT ON A LINE DRAWN NORTHEASTERLY AT RIGHT ANGLES FROM THE POINT OF BEGINNING; THENCE SOUTHWESTERLY TO THE POINT OF BEGINNING, EXCEPT THAT PART TAKEN BY ILLINOIS DEPARTMENT OF TRANSPORTATION IN CASE EDKA 84 122, TOWNSHIP OF DUNDEE, COUNTY OF KANE, STATE OF ILLINOIS.

PARCEL 2:

THAT PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH ALONG THE EAST LINE OF SAID QUARTER SECTION 1304 FEET; THENCE WEST AT RIGHT ANGLES TO SAID EAST LINE TO THE WEST LINE OF STATE ROUTE NO. 26 FOR THE POINT OF BEGINNING; THENCE NORTHWESTERLY ALONG A LINE MAKING AN ANGLE OF 52 DEGREES 43 MINUTES 30 SECONDS MEASURED FROM NORTH TO WEST WITH SAID WEST LINE OF STATE ROUTE NO. 26, 357.37 FEET; THENCE NORTHEASTERLY AT RIGHT ANGLES TO LAST DESCRIBED LINE 158.19 FEET TO THE SOUTHERLY LINE OF STATE ROUTE NO. 62; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY LINE 65.00 FEET TO THE POINT OF TANGENCY OF A CURVE TO SAID SOUTHERLY LINE; THENCE SOUTHEASTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 280.73 FEET, 258.34 FEET TO THE WESTERLY LINE OF SAID ROUTE NO. 26; THENCE SOUTHERLY ALONG SAID WESTERLY LINE 61.00 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART TAKEN BY ILLINOIS DEPARTMENT OF TRANSPORTATION IN CASE EDKA 94 030, IN THE TOWNSHIP OF DUNDEE, KANE COUNTY, ILLINOIS.

WITNESS MY HAND AND SEAL THIS 18TH DAY OF JANUARY 2024.

FARNSWORTH GROUP, INC.
100 WALNUT STREET SUITE 200
PEORIA, IL 61602

BY: 
KEVIN J. SULLIVAN
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3413



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

NOTE:

THE WORD CERTIFY IS DEFINED AS FOLLOWS FOR THIS PLAT: A DESIGN PROFESSIONAL'S OPINION BASED ON HIS OR HER OBSERVATION OF CONDITIONS, KNOWLEDGE, INFORMATION, AND BELIEFS; IT IS EXPRESSLY UNDERSTOOD THAT THE DESIGN PROFESSIONAL'S CERTIFICATION OF A CONDITIONS EXISTENCE RELIEVES NO OTHER PARTY OF ANY RESPONSIBILITY OR OBLIGATION HE OR SHE HAS ACCEPTED BY CONTRACT OR CUSTOM.

ALTA/NSPS LAND TITLE SURVEY TABLE A NOTES

- MONUMENTS ARE AS SHOWN ON THIS SURVEY.
- THE PROPERTY ADDRESS IS AS SHOWN IN NOTE 4 OF THE GENERAL NOTES ON THIS SURVEY.
- THE SUBJECT PROPERTY LIES WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S NATIONAL FLOOD INSURANCE RATE MAP NO. 170860007W, WITH AN EFFECTIVE DATE OF AUGUST 03, 2009, FOR THE VILLAGE OF ALGONQUIN.
- THE GROSS LAND AREA IS AS FOLLOWS:

TITLE COMMITMENT NO. 23CND676023LZ	346,256 SQFT	7.949+ ACRES
TITLE COMMITMENT NO. AF1038930 PARCEL 1	7,384 SQFT	0.170+ ACRES
TITLE COMMITMENT NO. AF1038930 PARCEL 2	40,733 SQFT	0.935+ ACRES
TOTAL	394,373 SQFT	9.054+ ACRES
- GROUND CONTOUR ELEVATIONS SHOWN HEREON ARE ESTABLISHED FROM SPOT ELEVATIONS TAKEN FOR THIS SURVEY REFERENCED TO THE NAVD 88 DATUM.
- NO ZONING REPORT OR LETTER WAS PROVIDED FOR THE BENEFIT OF THIS SURVEY, THE SUBJECT IS ZONED (B-2 GENERAL BUSINESS RETAIL) AS SHOWN ON THE OFFICIAL ZONING MAP DATED MARCH 22, 2023, FOR THE VILLAGE OF ALGONQUIN, IL.
- NO ZONING REPORT OR LETTER WAS PROVIDED FOR THE BENEFIT OF THIS SURVEY, THEREFORE, THE ZONING SETBACKS ARE NOT SHOWN.
- THERE ARE NO BUILDINGS PRESENT ON THE SUBJECT PROPERTY.
- SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK ARE SHOWN HEREON.
- IF ANY PARKING SPACES WERE OBSERVED DURING OUR SURVEY THEY ARE SHOWN HEREON.
- THE UTILITIES SHOWN ON THIS PLAT HAVE BEEN LOCATED FROM FIELD OBSERVATIONS OF MARKINGS AND IMPROVEMENTS. UTILITY PLANS WERE NOT PROVIDED, AND A PRIVATE UTILITY LOCATE WAS NOT REQUESTED BY THE CLIENT. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- A PRIVATE UTILITY LOCATE WAS NOT REQUESTED BY THE CLIENT.
- THE SUBJECT PROPERTY IS LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF ILLINOIS STATE ROUTE 62 (AKA ALGONQUIN ROAD) AND ILLINOIS STATE ROUTE 25 (AKA ELGIN ROAD) IN THE VILLAGE OF ALGONQUIN, ILLINOIS.
- THERE WAS NO EVIDENCE OF CURRENT EARTH MOVING OR NEW BUILDING CONSTRUCTION ON THE SUBJECT PROPERTY AT THE TIME OF THE FIELDWORK FOR THIS SURVEY.
- THERE WAS NO INFORMATION MADE AVAILABLE TO THE SURVEYOR REGARDING CHANGES IN STREET RIGHT OF WAY. THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED DURING THE FIELDWORK FOR THIS SURVEY.
- BASED UPON THE TITLE COMMITMENTS, THERE ARE NO APPURTENANT OFFSITE EASEMENTS, OTHER THAN THE ADJACENT RIGHT OF WAYS FOR ILLINOIS STATE ROUTE 62 AND ILLINOIS STATE ROUTE 25.
- AS SHOWN HEREON FOR ILLINOIS STATE ROUTE 62, RUSSET ROAD, AND ILLINOIS STATE ROUTE 25.
- SPOT ELEVATIONS WERE OBTAINED IN CONJUNCTION WITH THIS SURVEY.
- SPOT ELEVATIONS AT THE CENTER OF THE INTERSECTION OF ILLINOIS STATE ROUTE 62 AND ILLINOIS STATE ROUTE 25 ARE SHOWN HEREON.
- CURB ELEVATIONS WERE OBTAINED, BUT NOT SHOWN.
- ELEVATIONS WERE OBTAINED ALONG ILLINOIS STATE ROUTE 62, RUSSET ROAD, AND ILLINOIS STATE ROUTE 25.
- ELEVATIONS OF ADJACENT AREAS ARE AS SHOWN HEREON.
- AVAILABLE STORM AND SANITARY SEWERS ARE SHOWN FIELD MARKED HEREON.
- A J.U.L.I.E. UTILITY LOCATE WAS CALLED FOR PRIOR TO COMPLETING THE SURVEY WORK. ALL FIELD MARKINGS RESULTING FROM SAID UTILITY CALL ARE SHOWN HEREON. THE REFERENCE DIG NUMBER FOR THE J.U.L.I.E. UTILITY LOCATE WAS A233600104-004. LIMITED UTILITIES WERE MARKED IN THE FIELD BY THE LOCATING COMPANY PER OUR REQUEST FOR A LOCATE.
- SIGNAL POLE DIMENSIONS AND MAST ARM LENGTHS WITHIN THE LIMITS OF THE SURVEY ARE SHOWN HEREON.
- ELEVATIONS OF EXISTING OVERHEAD UTILITY LINES ARE SHOWN HEREON.

GENERAL NOTES

- THIS SURVEY WAS MADE IN ACCORDANCE WITH CHICAGO TITLE INSURANCE COMPANY'S COMMITMENT NO. 23CND676023LZ DATED NOVEMBER 2, 2023, AND FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. AF1038930 DATED OCTOBER 2, 2023. THEREFORE, IF THERE ARE ANY OTHER AGREEMENTS OR EASEMENTS OF RECORD AFFECTING THE PROPERTY WHICH IS THE SUBJECT MATTER OF THIS SURVEY THAT ARE NOT SHOWN, WE WOULD BE UNAWARE OF SAME, AND, THERE, THEY WOULD NOT BE SHOWN HEREON.
- I HAVE NOT MADE A SEPARATE SEARCH OF THE RECORDS FOR EASEMENTS, ENCUMBRANCES, OWNERSHIP, OR TITLE EVIDENCE IN CONJUNCTION WITH THIS SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD 83, 2011 ADJUSTMENT.
- ACCORDING TO THE TITLE COMMITMENT AND THE KANE COUNTY GIS SITE THERE IS NOT AN ADDRESS POSTED FOR THE SUBJECT AS IT IS VACANT GROUND.
- THERE ARE NO ABOVE-GROUND ENCROACHMENTS, EXCEPT AS SHOWN.
- ELEVATIONS ARE BASED ON GPS OBSERVATIONS RELATIVE TO NAVD 88 DATUM.
- THE PARCEL IS LOCATED WITHIN THE LIMITS OF THE VILLAGE OF ALGONQUIN, ILLINOIS.
- THE SUBJECT PARCEL HAS FRONTAGE ON THE NORTH TO ILLINOIS STATE ROUTE 62 AND ON THE EAST TO ILLINOIS STATE ROUTE 25, BOTH PUBLICLY DEDICATED RIGHTS OF WAY.
- THERE IS NO APPARENT EASEMENT FOR THE BILLBOARD AS SHOWN HEREON.

TITLE COMMITMENT NO. 23CND676023LZ SCHEDULE B - PART I EXCEPTIONS

- ITEMS 1, 2, 4-16, 26, AND 27, ARE NOT SURVEYED ITEMS
- EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS.
IF ANY ARE KNOWN THEY ARE SHOWN HEREON.
- RIGHTS OF THE PUBLIC, THE STATE OF ILLINOIS AND THE MUNICIPALITY IN AND TO THAT PART OF THE LAND, IF ANY, TAKEN OR USED FOR ROAD PURPOSES, TOGETHER WITH UTILITY RIGHTS THEREIN.
IF ANY ARE KNOWN THEY ARE SHOWN HEREON.
- RIGHTS OF WAY FOR DRAINAGE TILES, DITCHES, FEEDERS, LATERALS AND UNDERGROUND PIPES, IF ANY.
IF ANY ARE KNOWN THEY ARE SHOWN HEREON.
- RIGHTS OF ADJOINING AND CONTIGUOUS OWNERS TO HAVE MAINTAINED THE UNINTERRUPTED FLOW OF THE WATERS OF ANY STREAM WHICH MAY FLOW ON OR THROUGH THE LAND.
IF ANY ARE KNOWN THEY ARE SHOWN HEREON.
- RIGHTS OF THE PUBLIC AND OF THE STATE OF ILLINOIS IN AND TO SO MUCH OF LAND AS DOCUMENT DEDICATED FOR ROAD PURPOSES BY INSTRUMENT DATED NOVEMBER 13, 1928, AND RECORDED JANUARY 7, 1930, AS DOCUMENT 342558.

DOES NOT AFFECT THE SUBJECT, THIS DEDICATION LIES IN THE EXISTING STATE ROUTE 62 RIGHT-OF-WAY.

- RIGHTS OF THE PUBLIC AND OF THE STATE OF ILLINOIS IN AND TO SO MUCH OF THE LAND AS DEDICATED FOR ROAD PURPOSES BY INSTRUMENT DATED SEPTEMBER 23, 1932, AND RECORDED OCTOBER 1, 1932, AS DOCUMENT 359890.
- DOES NOT AFFECT THE SUBJECT, THIS DEDICATION LIES IN THE EXISTING STATE ROUTE 25 RIGHT-OF-WAY.
- RIGHTS OF THE PUBLIC, COUNTY OF KANE, STATE OF ILLINOIS IN AND TO THAT PART OF THE LAND FALLING WITHIN STATE ROUTE NO. 62, NORTH WAYNE ROAD, TERRACE ROAD, AND TERRACE COURT AS LAD OUT IN THE PLAT OF SYLVANIA TERRACE, UNIT NO. 1, NOW VACATED.
UNABLE TO CERTIFY TO THIS ITEM AS THE NOW VACATED PLAT WAS NOT PROVIDED.
- GRANT RECORDED APRIL 13, 1965, AS DOCUMENT 1043517 MADE BY PIONEER TRUST AND SAVINGS BANK TRUST 11085, TO NORTHERN ILLINOIS GAS COMPANY OF AN EASEMENT FOR GAS PURPOSES IN, UPON, UNDER, ALONG AND ACROSS THE SOUTHWESTERLY HALF OF ILLINOIS ROUTE 62.

DOES NOT AFFECT THE SUBJECT, THIS DEDICATION LIES IN THE EXISTING STATE ROUTE 62 RIGHT-OF-WAY.

- PUBLIC AND QUASI PUBLIC UTILITY EASEMENTS, IF ANY, THAT MAY EXIST BY DEDICATION ON PLAT OF SYLVANIA TERRACE, UNIT NO. 1, NOW VACATED.
UNABLE TO CERTIFY TO THIS ITEM AS THE NOW VACATED PLAT WAS NOT PROVIDED.
- RIGHT OF WAY EASEMENT RECORDED NOVEMBER 2, 1984, AS DOCUMENT 1709995 FROM PARKWAY BANK AND TRUST COMPANY, TRUST 1274, TO GTE SPRINT COMMUNICATIONS CORPORATION BEING 9 FEET WIDE, 2 1/2 ON EACH SIDE OF CENTER LINE OF STATE ROUTE 62.
DOES NOT AFFECT THE SUBJECT, THIS DEDICATION LIES IN THE EXISTING STATE ROUTE 62 RIGHT-OF-WAY.

END OF TITLE COMMITMENT NO. 23CND676023LZ SCHEDULE B PART II EXCEPTIONS

TITLE COMMITMENT NO. AF1038930 SCHEDULE B - PART II EXCEPTIONS

- ITEMS 1, 3-19, 22-28 AND 30, ARE NOT SURVEYED ITEMS
- EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS.
IF ANY ARE KNOWN THEY ARE SHOWN HEREON.
- EASEMENT IN FAVOR OF ILLINOIS BELL TELEPHONE COMPANY FOR POLE LINES, CONDUITS AND MAINTENANCE PURPOSES GRANTED BY DOCUMENT 823882, RECORDED ON DECEMBER 19, 1956, AND THE TERMS AND CONDITIONS THEREOF.
DOES NOT AFFECT THE SUBJECT, THIS DEDICATION LIES IN THE EXISTING STATE ROUTE 62 AND STATE ROUTE 25 RIGHTS OF WAY.
- EASEMENT FOR RIGHT-OF-WAY AS ESTABLISHED BY GRANT FROM MARY V. GOSSAGE, DEWISSE OF WILLIAM L. GOSSAGE, DECEASED TO GTE SPRINT COMMUNICATIONS CORPORATION RECORDED AS DOCUMENT 1709998, AND THE TERMS AND CONDITIONS THEREOF.
DOES NOT AFFECT THE SUBJECT, THIS DEDICATION LIES IN THE EXISTING STATE ROUTE 62 RIGHT-OF-WAY.
- RIGHTS OF WAY FOR DRAINAGE TILES, DITCHES, FEEDERS, LATERALS, IF ANY.
IF ANY ARE KNOWN THEY ARE SHOWN HEREON.
- RIGHTS OF THE PUBLIC, THE STATE OF ILLINOIS AND THE MUNICIPALITY IN AND TO THAT PART OF THE LAND, IF ANY, TAKEN OR USED FOR ROAD PURPOSES.
IF ANY ARE KNOWN THEY ARE SHOWN HEREON.
- RIGHTS OF THE INTERESTED PARTIES TO THE FREE AND UNOBSTRUCTED FLOW OF THE WATERS OF THE STREAM WHICH MAY FLOW ON OR THROUGH THE LAND.
IF ANY ARE KNOWN THEY ARE SHOWN HEREON.

END OF TITLE COMMITMENT NO. AF1038930 SCHEDULE B - PART II EXCEPTIONS

UTILITY COMPANIES LISTED ON J.U.L.I.E. ONE CALL TICKET # A233600104-004 (AKA 811)

NO CONTACT INFORMATION WAS LISTED FOR ANY OF THE FOLLOWING UTILITY COMPANIES:

MEMBERS: ALGONA + ALGONQUIN, VILLAGE OF
MEMBERS: CECOA + COMED
MEMBERS: EGLC1A + MCIVERZON
MEMBERS: NLLS3A + NORTHERN LIGHTS LOCATING SERVICES
MEMBERS: ATTSOIA + ATTS DISTRIBUTION
MEMBERS: COMCOA + COMCAST
MEMBERS: MCHDOA + MCHENRY CO. DIVISION OF TRANSP
MEMBERS: NICROA + NICOR GAS
MEMBERS: USICOA + USIC LOCATING SERVICES
MEMBERS: EGLC1A+EVERSTREAM GLC HOLDINGS CO. LLC



GROUP
201 WEST BUCKLEY AVENUE
CHICAGO, ILLINOIS 60611
(773) 393-6481 www.farnsworthgroup.com

Project No. 230211863.00
1 11/08/2024 REVISED PER VILLAGE REVIEW

QuikTrip No. 7303
ROUTE 62
ALGONQUIN, IL



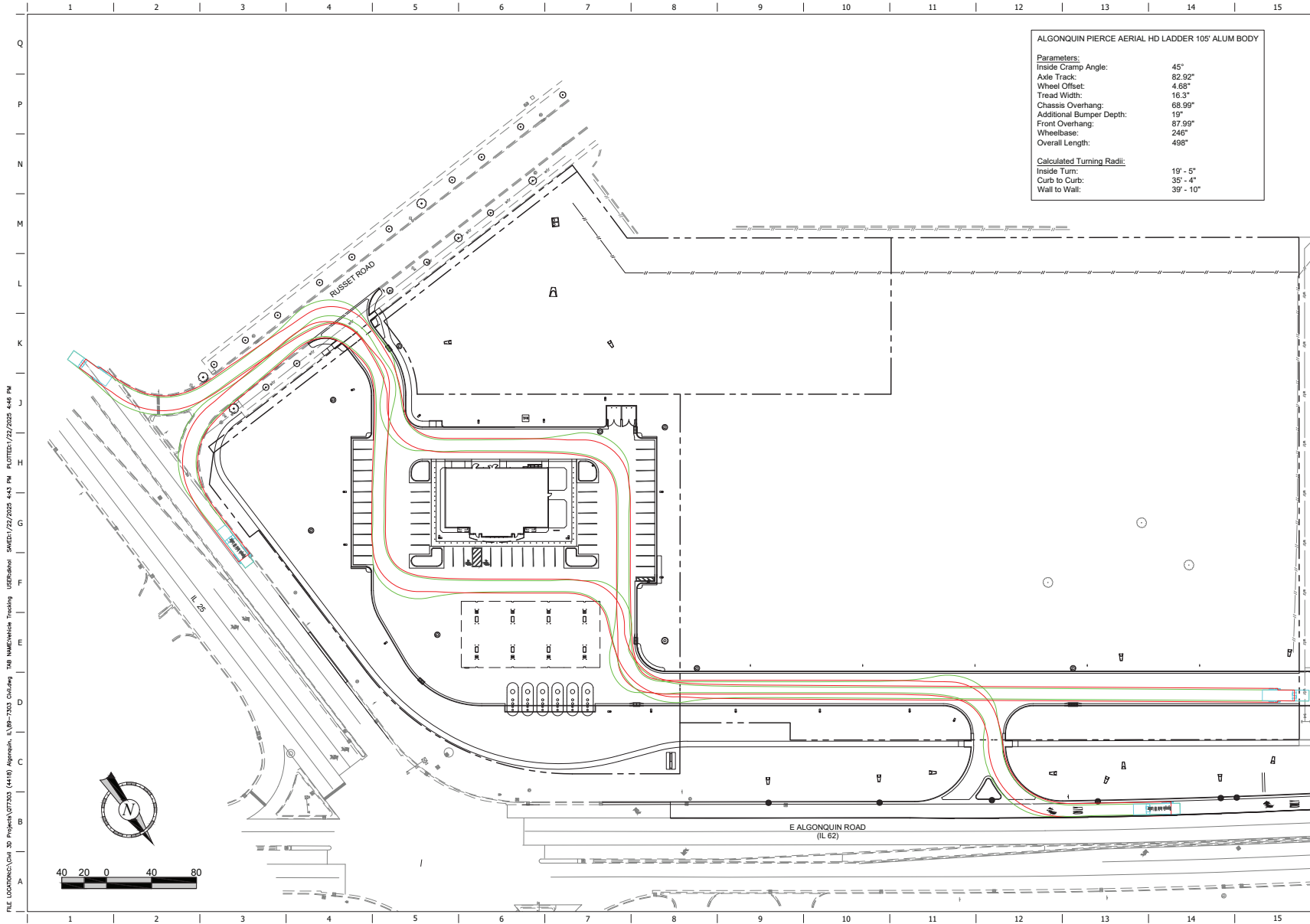
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PROJNO: 230211863.00
DIVISION: 001
DESIGNED BY: KJS
DRAWN BY: FGM
REVIEWED BY: FEB

ORIGINAL ISSUE DATE: 01/18/2024

SHEET TITLE:
ALTA/NSPS LAND TITLE SURVEY

SHEET NUMBER:
C2



ALGONQUIN PIERCE AERIAL HD LADDER 105' ALUM BODY

Parameters:	
Inside Cramp Angle:	45°
Axle Track:	82.92"
Wheel Offset:	4.68"
Tread Width:	16.3"
Chassis Overhang:	68.90"
Additional Bumper Depth:	19"
Front Overhang:	87.99"
Wheelbase:	246"
Overall Length:	498"
Calculated Turning Radii:	
Inside Turn:	19' - 5"
Curb to Curb:	35' - 4"
Wall to Wall:	39' - 10"

FILE: D:\GONC\Chk_30_Projects\QT7302 (4418) Algonquin, IL\B-7303 Civil.dwg USER: shob SWEDIT/22/2025 4:43 PM PLOTTED: 22/2025 4:46 PM



PROJECT NO.: 89-4418 (7303)
MG
 Midwest Design Group
 Kansas City
 PO Box 860345
 Shawnee, KS 66286-0015
 P 913.248.9385

QuikTrip No. 4418
 IL ROUTE 62 & IL ROUTE 25
 ALGONQUIN, KANE COUNTY, ILLINOIS 60102



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PROJECT NO.	89-4418
DIVISION	89
VERSION	001
DESIGNED BY	DKH
DRAWN BY	CSH
REVIEWED BY	CJC


REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 01-22-2025

SHEET TITLE:
**VEHICLE TRACKING
 AERIAL HD LADDER**

SHEET NUMBER:
C101



	QuikTrip 4705 South 129th East Ave. Tulsa, OK 74134-7008 P.O. Box 3475 Tulsa, OK 74101-3475 (918) 415-7700	Store #	4418	Custom G3SE Elevations	Address:	IL State Route 62 & IL State Route 25	City, State:	Algonquin, IL	<table border="1"> <thead> <tr> <th>Q</th> <th>FINISH</th> <th>MANUFACTURER</th> <th>SPECIFICATION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>BRICK/STONE</td> <td>INTERSTATE BRICK</td> <td>ASTM 2102/2102M BRICK</td> </tr> <tr> <td>2</td> <td>ROCK</td> <td>INTERSTATE BRICK</td> <td>ASTM 2102/2102M BRICK</td> </tr> <tr> <td>3</td> <td>BRICK/ALUMINUM</td> <td>SECOXCOOK</td> <td>ASTM 2102/2102M BRICK</td> </tr> <tr> <td>4</td> <td>BRICK/ALUMINUM</td> <td>SECOXCOOK</td> <td>ASTM 2102/2102M BRICK</td> </tr> <tr> <td>5</td> <td>BRICK/ALUMINUM</td> <td>ALUMINUM</td> <td>ASTM 2102/2102M BRICK</td> </tr> <tr> <td>6</td> <td>BRICK/ALUMINUM</td> <td>ALUMINUM</td> <td>ASTM 2102/2102M BRICK</td> </tr> <tr> <td>7</td> <td>BRICK</td> <td>ALUMINUM</td> <td>ASTM 2102/2102M BRICK</td> </tr> <tr> <td>8</td> <td>BRICK/ALUMINUM</td> <td>ALUMINUM</td> 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Serial #	84-4418-G3SE	Scale:	1/8"=1'-0"	Issue Date:	01/22/2025	Drawn By:	JK	Rev/Notes:		COPYRIGHT © 2011 QUIKTRIP CORPORATION. DESIGN PATENTS QUIKTRIP PLANS ARE THE EXCLUSIVE PROPERTY OF QUIKTRIP CORPORATION, TULSA, OKLAHOMA. THESE PLANS ARE PROTECTED IN THEIR ENTIRETY BY DOMESTIC AND INTERNATIONAL COPYRIGHT AND PATENT STATUTES. ANY UNAUTHORIZED USE, REPRODUCTION, PUBLICATION, DISTRIBUTION OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.																																																																																																																																																																																																											



FRONT ELEVATION
 1/8" = 1'-0"



REAR ELEVATION
 1/8" = 1'-0"



Store 4418
 84-4418-ELEVATIONS

Algonquin, IL
 Date: 01/22/2025



RIGHT SIDE ELEVATION

1/2" = 1'-0"



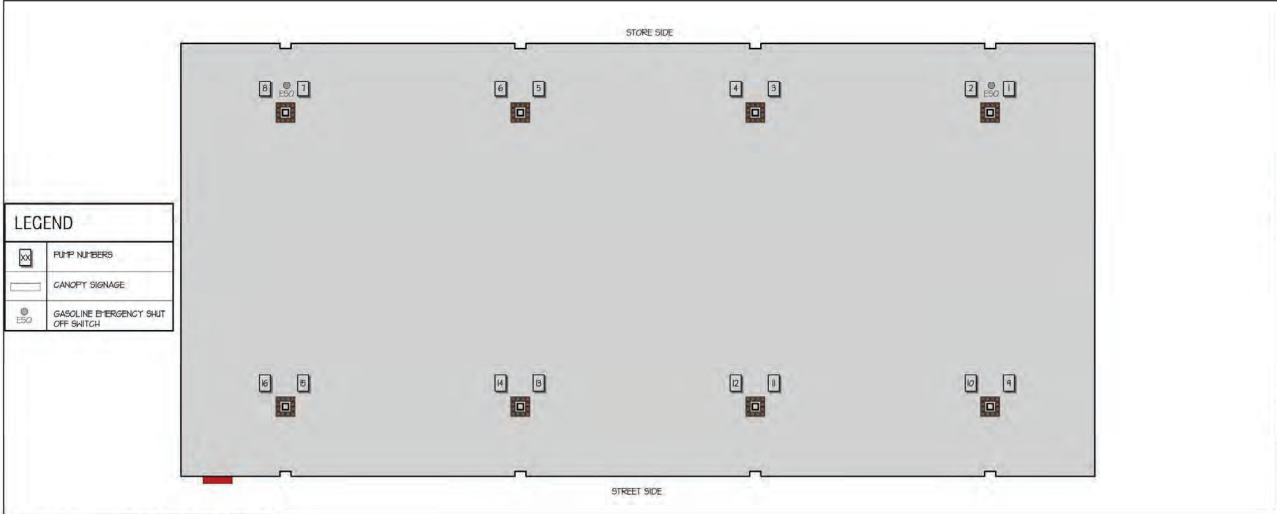
LEFT SIDE ELEVATION

1/2" = 1'-0"



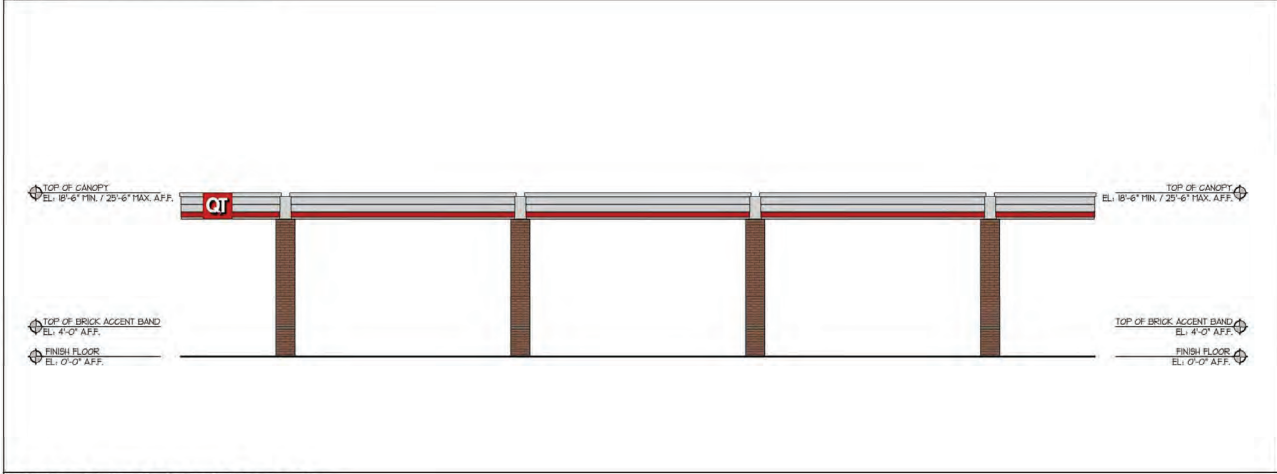
Store 4418
84-4418-ELEVATIONS

Algonquin, IL
Date: 01/22/2025



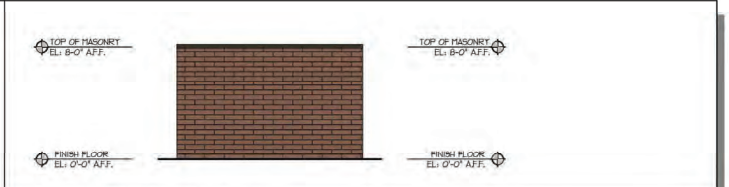
DOUBLE STACK 8 GAS CANOPY PLAN

1/8" = 1'-0"



DOUBLE STACK 8 GAS CANOPY ELEVATION

1/8" = 1'-0"



TRASH ENCLOSURE SIDE ELEVATION

1/8" = 1'-0"



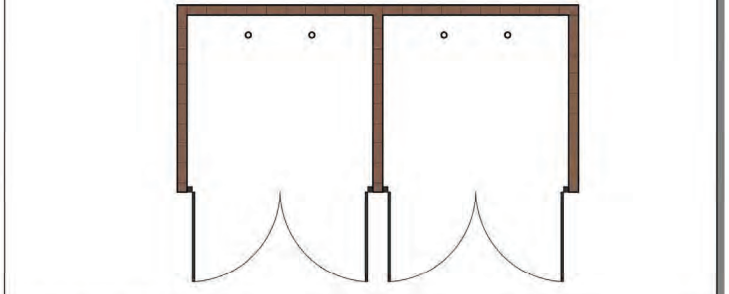
TRASH ENCLOSURE REAR ELEVATION

1/8" = 1'-0"



TRASH ENCLOSURE FRONT ELEVATION

1/8" = 1'-0"



TRASH ENCLOSURE PLAN

1/8" = 1'-0"



Store 4418
84-4418-CANOPY

Algonquin, IL
Date: 01/22/2025

QT CL-60F-LD
Building Channel Letters
White Lettering with Red Halo



Front View - Sign Type CL-60F-LD - Flat Front Aluminum Wall Sign
Projected Channel Letters with White LED Illuminated LD Poly Faces & Red LED Halo

Scale 1/4" = 1'-0"

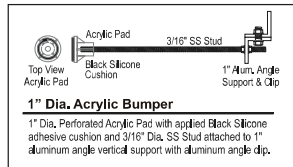


IDC-14

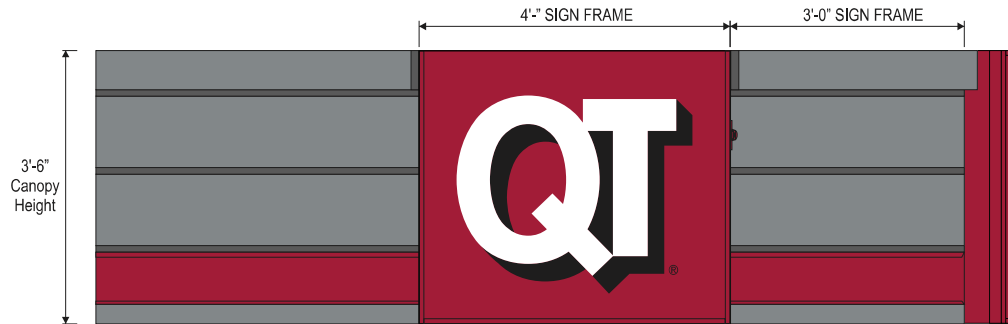
General Sign Details

- The QT Gen3 Sign is a single face canopy mounted sign.
- Sign installed with Four (4) Qty. Stainless Steel All Thread Rods and Toggle Bolts for attachment to Metal Gas Canopy.
- All Attachment Hardware to be Provided by the Sign Installer.
- Electrical Junction Box is provided inside sign for electrical stub-out and connection thru wall.
- Final Electrical Connection to be Made by a Licensed Electrician.

Cyrolite Acrylite Resist 65, .177" thickness, face panels with 2nd surface painted background colors and graphics.

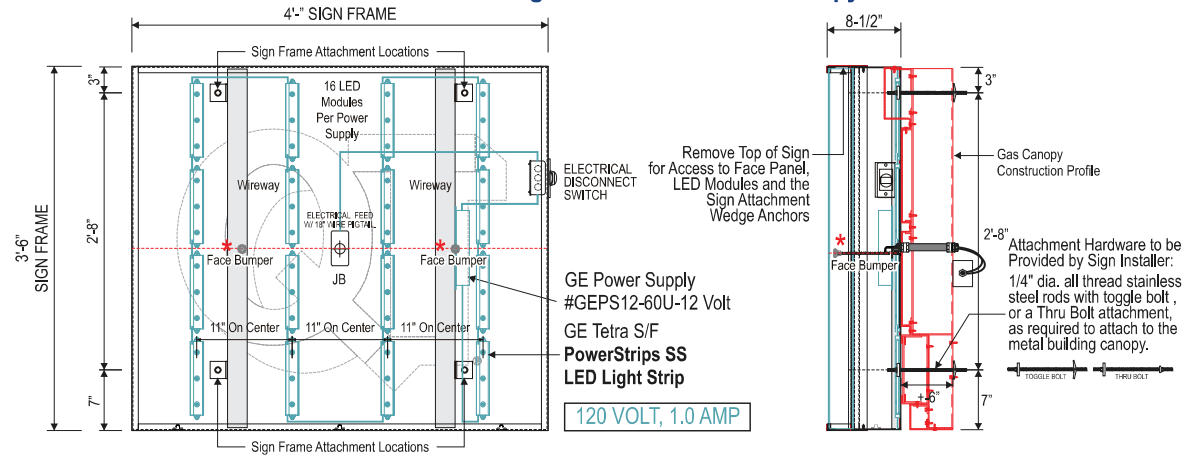


IDC-14



Front View - Sign Attachment to Gas Canopy

Side View



Front View - IDC-14 - 14 SF Gas Canopy Identification Sign

Scale 1" = 1'-0"

Side View

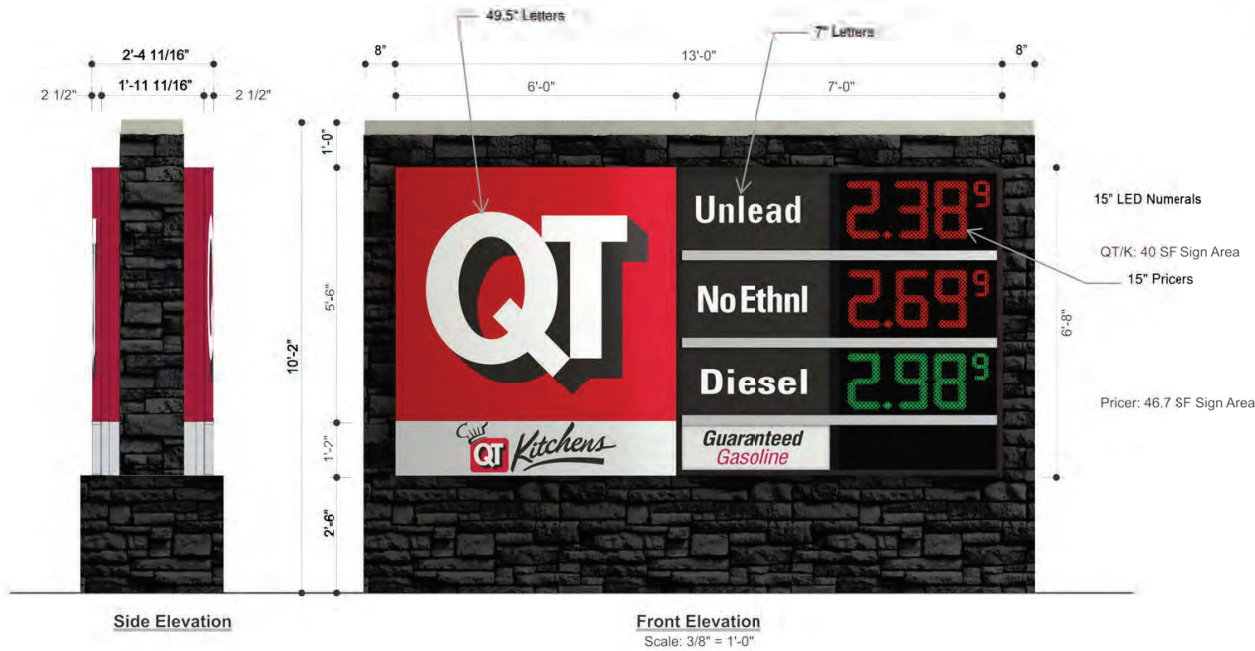


MH15-E3PGQ-CC-87 Horizontal Monument Sign

- QT Logo
- Three (3) Product LED Gas Price Sign with Cash & Credit
- QT Kitchens
- Guaranteed Gasoline
- 86.7 Square Feet Sign Area



Notes:
 1.) Engineering provided by QT.
 2.) Steel supports provided by sign installer.



Color Specifications

- All Paint Finishes to be Akzo Nobel
- Opaque Silver
 - Translucent White
 - Black - Low Gloss
 - Matte White (Interior of Sign)
 - Match 3M Cardinal Red #3632-53
 - Match PMS 349C

- Regarding Fabrication Fit & Finish of All QT Signs:
- Visible fabrication seams and welded joints are to be sanded smooth, filled and finished to QT specifications.
 - Any visible fasteners are to be countersunk and have painted heads.
 - Face retainers must fit flush and have even, minimal seams.
 - Any variation from this directive must be brought to the attention of the QT Quality Control Manager without delay.

Allen Industries
 FILE NUMBER E212503

Label
 Electric Sign Complies with
 UL48
 E212503
 CSA C22.2 No.207

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

GROUNDING ELECTRICAL CONNECTIONS

Allen Industries
 YOUR BRAND AT ITS BEST™
 1-800-967-2553
 www.allenindustries.com

FILE LOCATION: C:\s30\Projects\QT77302 (4118) Algonquin, IL\BA-4418 Photometrics\USBR\alab SWED\7272025 4:48 PM PLOTTER: 7/27/2025 4:48 PM

LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QTY	ARRANGEMENT	MOUNTING HEIGHT	LUMENS PER LAMP	LLF	DESCRIPTION	TOTAL WATTS
□	A	03	SINGLE	22'	12,591	0.90	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
□	A(L)	13	SINGLE	22'	12,591	0.90	SLM-LED-12L-SIL-FT-40-70-CRI-IL	93.1
□	B	02	2 @ 90°	22'	12,591	0.90	SLM-LED-12L-SIL-FT-40-70-CRI	93.1

LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QTY	ARRANGEMENT	MOUNTING HEIGHT	LUMENS PER LAMP	LLF	DESCRIPTION	TOTAL WATTS
□	E(SS)	32	SINGLE	17'	12,793	0.90	CRUS-SC-SS-40 (WHITE)	83.6
□	SOFF	05	SINGLE	10' TO 12'	6,041	0.90	XSPS-S-LED-VHO-NW-DFL	48.7
□	G-D	05	SINGLE	12'	6,275	0.90	XWM-S-LED-06-40	54
●	V	01	N/A	22'	N/A	N/A	LOW VOLTAGE POLE	N/A

NOTE: PARKING ILLUMINANCE (FC)
 AVERAGE = 2.60
 MAXIMUM = 5.0
 MINIMUM = 1.4
 AVG/MIN RATIO = 1.86
 MAX/MIN RATIO = 3.57

NOTE: PROPERTY AREA ILLUMINANCE (FC)
 AVERAGE = 2.92
 MAXIMUM = 25.5
 MINIMUM = 0.0
 AVG/MIN RATIO = N.A.
 MAX/MIN RATIO = N.A.

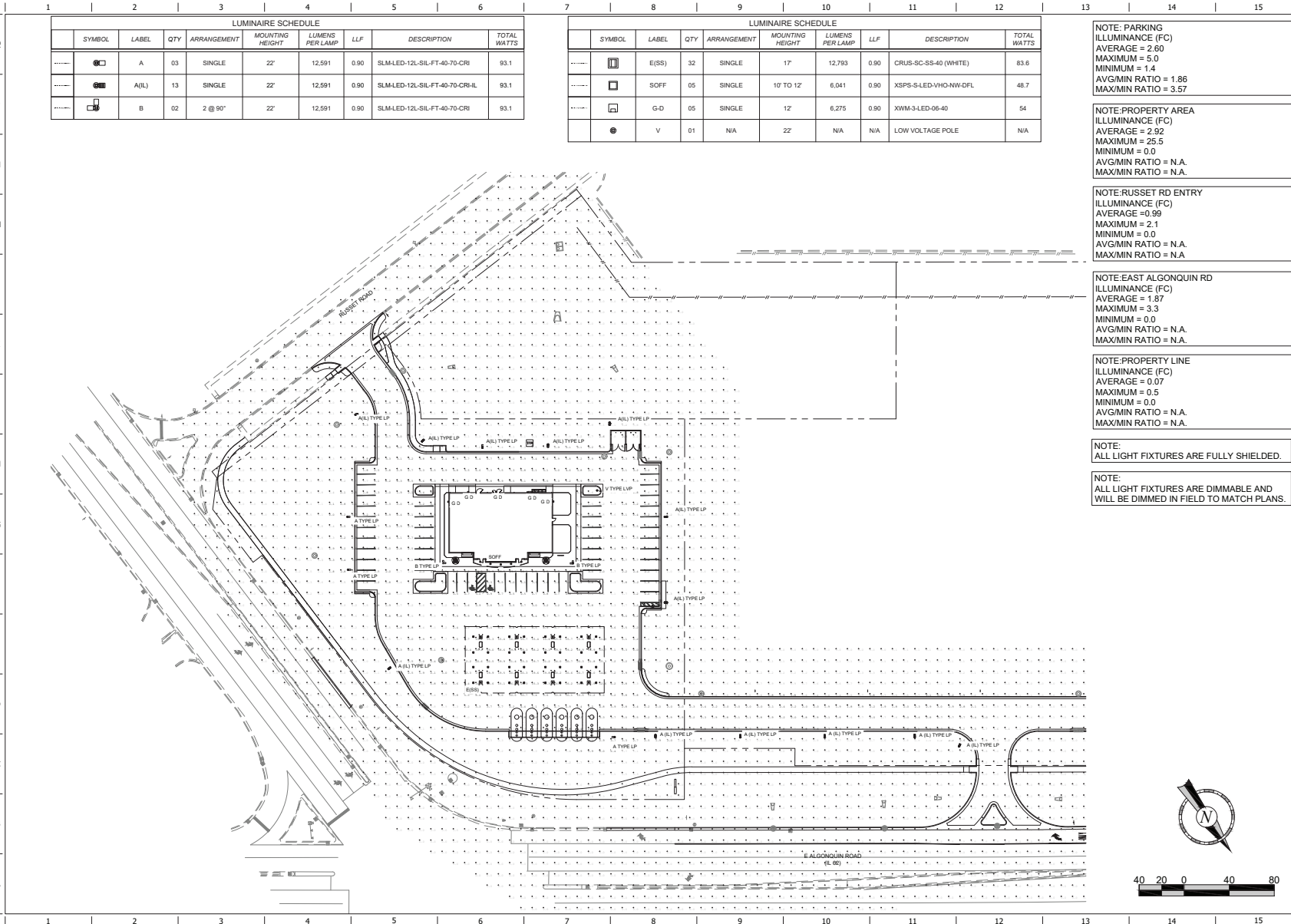
NOTE: RUSSET RD ENTRY ILLUMINANCE (FC)
 AVERAGE = 0.99
 MAXIMUM = 2.1
 MINIMUM = 0.0
 AVG/MIN RATIO = N.A.
 MAX/MIN RATIO = N.A.

NOTE: EAST ALGONQUIN RD ILLUMINANCE (FC)
 AVERAGE = 1.87
 MAXIMUM = 3.3
 MINIMUM = 0.0
 AVG/MIN RATIO = N.A.
 MAX/MIN RATIO = N.A.

NOTE: PROPERTY LINE ILLUMINANCE (FC)
 AVERAGE = 0.07
 MAXIMUM = 0.5
 MINIMUM = 0.0
 AVG/MIN RATIO = N.A.
 MAX/MIN RATIO = N.A.

NOTE:
 ALL LIGHT FIXTURES ARE FULLY SHIELDED.

NOTE:
 ALL LIGHT FIXTURES ARE DIMMABLE AND WILL BE DIMMED IN FIELD TO MATCH PLANS.



QUICKTRIP SPECIFIED DRAWING

PROJECT NO.: 89-4418 (7303)

QuickTrip No. 4418
 IL ROUTE 62 & IL ROUTE 25
 ALGONQUIN, KANE COUNTY, ILLINOIS 60102



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PROJECT: P-120
 DIVISION: 89
 VERSION: 001
 DESIGNED BY: DKH
 DRAWN BY: CSH
 REVIEWED BY: CIC

REV	DATE	DESCRIPTION

SHEET TITLE:

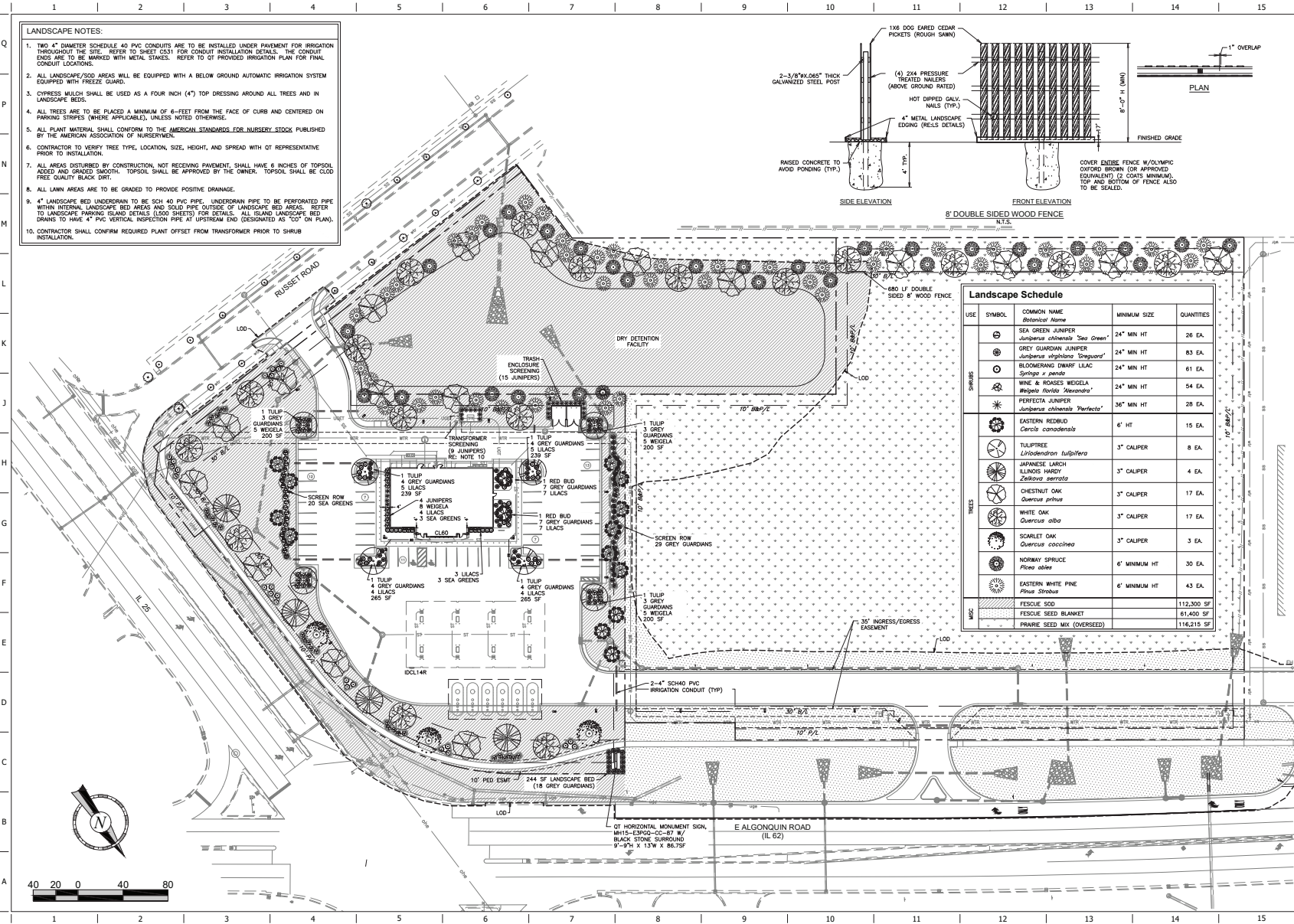
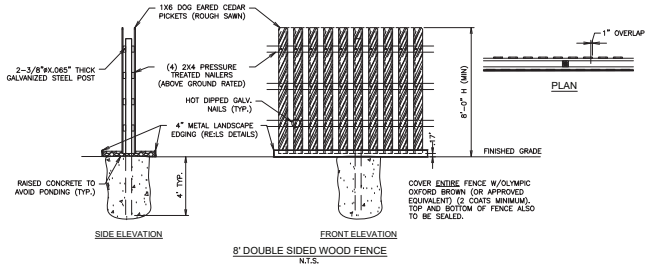
PHOTOMETRIC SITE PLAN

SHEET NUMBER:

C160

ORIGINAL ISSUE DATE: 01-22-2025

- LANDSCAPE NOTES:**
- TWO 4" DIAMETER SCHEDULE 40 PVC CONDUITS ARE TO BE INSTALLED UNDER PAVEMENT FOR IRRIGATION THROUGHOUT THE SITE. REFER TO SHEET CS31 FOR CONDUIT INSTALLATION DETAILS. THE CONDUIT ENDS ARE TO BE MARKED WITH METAL STAKES. REFER TO QT PROVIDED IRRIGATION PLAN FOR FINAL CONDUIT LOCATIONS.
 - ALL LANDSCAPE/7500 AREAS WILL BE EQUIPPED WITH A BELOW GROUND AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH FREEZE GUARD.
 - CYPRESS MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING AROUND ALL TREES AND IN LANDSCAPE BEDS.
 - ALL TREES ARE TO BE PLACED A MINIMUM OF 6- FEET FROM THE FACE OF CURB AND CENTERED ON PARKING STRIPES (WHERE APPLICABLE), UNLESS NOTED OTHERWISE.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
 - CONTRACTOR TO VERIFY TREE TYPE, LOCATION, SIZE, HEIGHT, AND SPREAD WITH QT REPRESENTATIVE PRIOR TO INSTALLATION.
 - ALL AREAS DISTURBED BY CONSTRUCTION, NOT RECEIVING PAVEMENT, SHALL HAVE 6 INCHES OF TOPSOIL ADDED AND GRADED SMOOTH. TOPSOIL SHALL BE APPROVED BY THE OWNER. TOPSOIL SHALL BE CLOD FREE QUALITY BLACK OBT.
 - ALL LAWN AREAS ARE TO BE GRADED TO PROVIDE POSITIVE DRAINAGE.
 - 4" LANDSCAPE BED UNDERDRRAIN TO BE SCH 40 PVC PIPE, UNDERDRRAIN PIPE TO BE PERFORATED PIPE WITHIN INTERNAL LANDSCAPE BED AREAS AND SOLID PIPE OUTSIDE OF LANDSCAPE BED AREAS. REFER TO LANDSCAPE PARKING ISLAND DETAILS (CS00 SHEETS) FOR DETAILS. ALL ISLAND LANDSCAPE BED DRAINS TO HAVE 4" PVC VERTICAL INSPECTION PIPE AT UPSTREAM END (DESIGNATED AS "CO" ON PLAN).
 - CONTRACTOR SHALL CONFORM REQUIRED PLANT OFFSET FROM TRANSFORMER PRIOR TO SHRUB INSTALLATION.



Landscape Schedule

USE	SYMBOL	COMMON NAME <i>Botanical Name</i>	MINIMUM SIZE	QUANTITIES
SHRUBS	⊗	SEA GREEN JUNIPER <i>Juniperus chinensis 'Sea Green'</i>	24" MIN HT	26 EA.
	⊗	GREY GUARDIAN JUNIPER <i>Juniperus virginiana 'Oregon'</i>	24" MIN HT	83 EA.
	⊗	BLOOMING DWARF LILAC <i>Syringa x pendula</i>	24" MIN HT	61 EA.
	⊗	WINE & ROSES WEDGEA <i>Weigela florida 'Athena'</i>	24" MIN HT	54 EA.
	⊗	PERFECTA JUNIPER <i>Juniperus chinensis 'Perfecta'</i>	36" MIN HT	28 EA.
TREES	⊗	EASTERN REDBUD <i>Cercis canadensis</i>	6' HT	15 EA.
	⊗	TULIP TREE <i>Liriodendron tulipifera</i>	3" CALIPER	8 EA.
	⊗	JAPANESE LARCH ILLINOIS HAWY <i>Zeakoa serrata</i>	3" CALIPER	4 EA.
	⊗	CHESTNUT OAK <i>Quercus prinus</i>	3" CALIPER	17 EA.
	⊗	WHITE OAK <i>Quercus alba</i>	3" CALIPER	17 EA.
	⊗	SCARLET OAK <i>Quercus coccinea</i>	3" CALIPER	3 EA.
	⊗	NORWAY SPRUCE <i>Picea abies</i>	6" MINIMUM HT	30 EA.
MISC	⊗	EASTERN WHITE PINE <i>Pinus strobus</i>	6" MINIMUM HT	43 EA.
	■	FESCUE SOIL		112,300 SF
	■	FESCUE SEED BLANKET		61,400 SF
	■	PRAIRIE SEED MIX (OVERSEED)		116,215 SF

QuitTrip No. 4418
 IL ROUTE 62 & IL ROUTE 25
 ALGONQUIN, KANE COUNTY, ILLINOIS 60102

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE:
 LANDSCAPE PLAN

SHEET NUMBER:
 L100

FILE LOCATION: C:\s30 Projects\QT7303 (4418) Algonquin, IL\89-4418 001.dwg THE NAME: Landscape USER: dkh1 SAVES: 1/22/2025 4:43 PM PLOTTED: 1/22/2025 4:47 PM



Traffic Impact Study Proposed Convenience Store

Algonquin, Illinois



Prepared For:



January 30, 2025

1 Introduction

This report summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O’Hara, Aboona, Inc. (KLOA, Inc.) for a proposed QuikTrip Convenience Store to be located in Algonquin, Illinois. The site, which is currently vacant, is located in the southwest corner of the intersection of Algonquin Road (Illinois Route 62) with Illinois Route 25 (IL 25) and Haegers Bend Road. As proposed, the site will be developed with the following:

- Sixteen (16) passenger vehicle fueling positions
- An approximately 5,312 square-foot convenience store

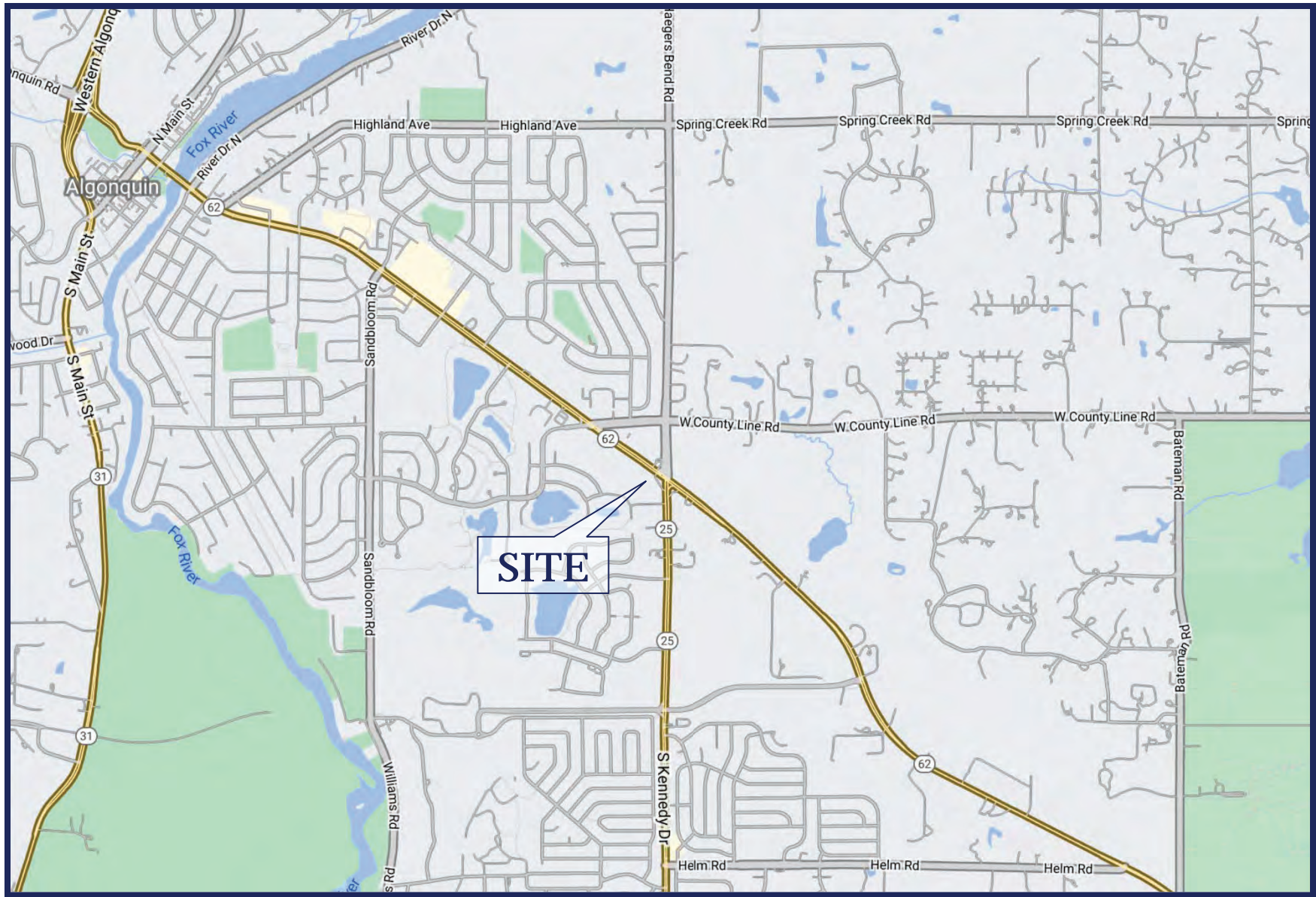
Access to the proposed development will be provided via a right-in/right-out access drive on Algonquin Road and a full movement access drive on Russet Road as well as a connection to the full movement access drive that is being built as part of the commercial development that borders the site to the northwest.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development. **figure 1** shows the location of the site in relation to the area roadway system. **figure 2** shows an aerial view of the site. The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed Convenience Store
- Directional distribution of the Convenience Store traffic
- Vehicle trip generation for the Convenience Store
- Future traffic conditions including access to the Convenience Store
- Traffic analyses for the weekday morning and weekday evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system

Traffic capacity analyses were conducted for the weekday morning and weekday evening peak hours for the following conditions:

1. Existing Conditions – Analyzes the capacity of the existing roadway system using peak hour traffic volumes from traffic counts conducted in 2024.
2. Year 2030 No-Build Conditions – Analyzes the capacity of the future roadway system using existing traffic volumes increased by an ambient area growth factor not attributable to any particular development and the traffic that will be generated by the currently under construction commercial development northwest of the site.
3. Year 2030 Total Projected Conditions – Analyzes the capacity of the future roadway system assuming the projected traffic volumes that include the Year 2030 no-build traffic volumes and the traffic estimated to be generated by the proposed convenience store.



Site Location

*Proposed QuikTrip Convenience Store
Algonquin, Illinois*

figure 1





Aerial view of Site
Proposed QuikTrip Convenience Store
Algonquin, Illinois

figure 2

2 Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

Site Location

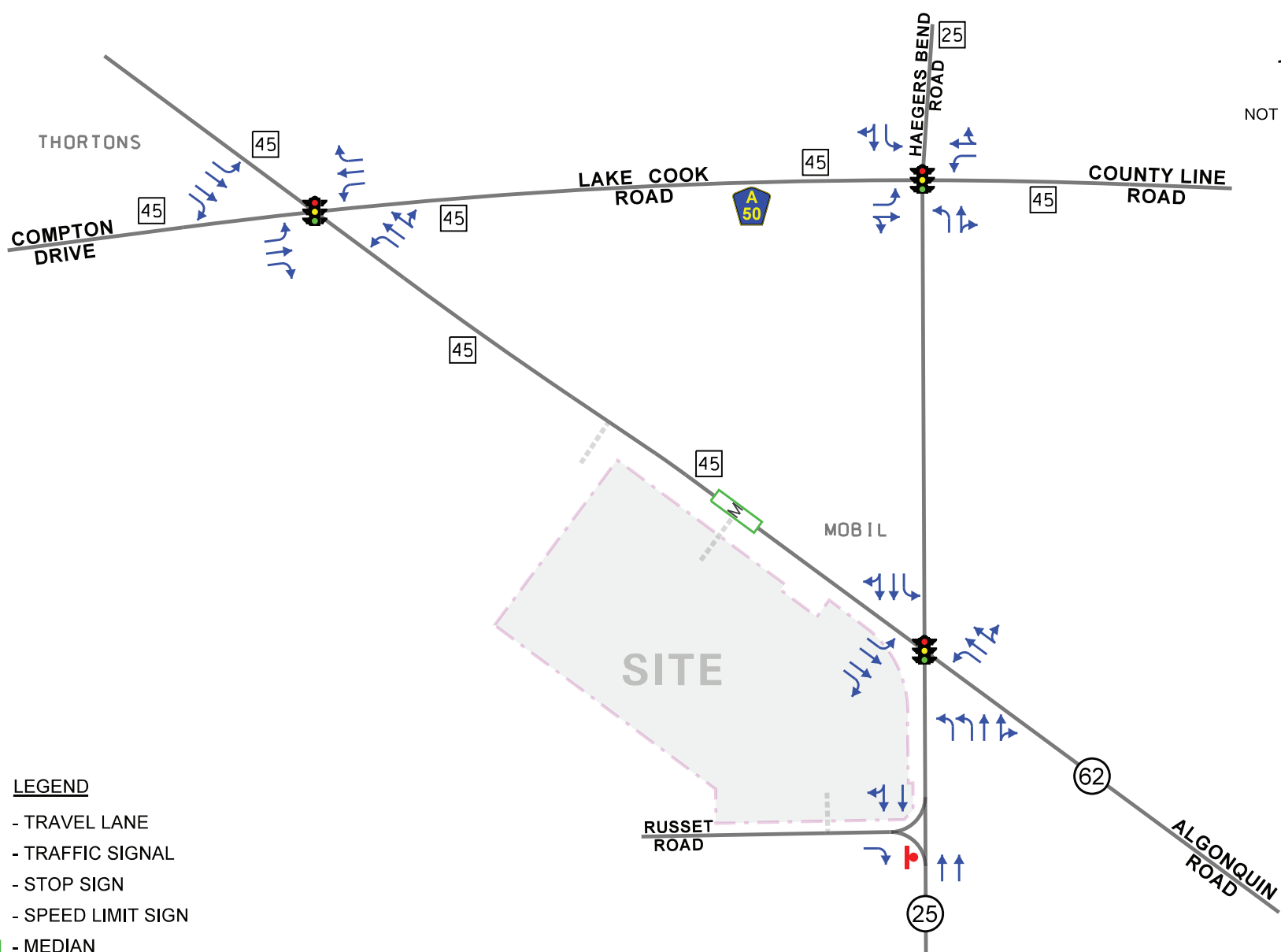
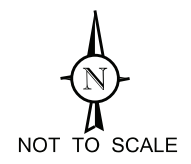
The site, which is currently vacant, is bounded by a currently under construction commercial development to the northwest, Algonquin Road to the northeast, IL 25 to the east, Russet Road to the south, and the Glenloch residential subdivision to the southwest. Land uses within the vicinity of the site are primarily residential with commercial uses located along Algonquin Road. A Mobil fuel center is located in the northwest corner of the intersection of Algonquin Road with IL 25 and Haegers Bend Road.

Existing Roadway System Characteristics

The characteristics of the existing roadways near the proposed development are described below and illustrated in **figure 3**.

Algonquin Road (Illinois Route 62) is a northwest-southeast other principal arterial roadway that generally provides two through lanes in each direction. At its signalized intersection with Lake Cook Road and Compton Drive, Algonquin Road provides an exclusive left-turn lane, two through lanes, and an exclusive right-turn lane on the southeast-bound approach and an exclusive left-turn lane, a through lane, and a shared through/right-turn lane on the northwest-bound approach. At its signalized intersection with IL 25 and Haegers Bend Road, Algonquin Road provides an exclusive left-turn lane, two through lanes, and an exclusive right-turn lane on the southeast-bound approach and an exclusive left-turn lane, a through lane, and a shared through/right-turn lane on the northwest-bound approach. Algonquin Road is under the jurisdiction of the Illinois Department of Transportation (IDOT), is designated as a Strategic Regional Arterial (SRA), and has a posted speed limit of 45 miles per hour. Algonquin Road carries an Annual Average Daily Traffic (AADT) volume of 29,200 vehicles west of IL 25 and 21,700 vehicles east of IL 25 (IDOT 2023).

Illinois Route 25 (IL 25) is a north-south other principal arterial roadway that extends south from Algonquin Road and generally provides two through lanes in each direction. At its signalized intersection with Algonquin Road, IL 25 is aligned opposite Haegers Bend Road and provides dual left-turn lane, a through lane, and a shared through/right-turn lane on the northbound approach. At its unsignalized intersection with Russet Road, left-turn movements are prohibited, and IL 25 provides two through lanes on the northbound approach and a through lane and a shared through/right-turn lane on the southbound approach. IL 25 is under the jurisdiction of the IDOT, is designated as an SRA, has a posted speed limit of 45 miles per hour and carries an AADT volume of 13,900 vehicles (IDOT 2023).



- LEGEND**
- TRAVEL LANE
 - TRAFFIC SIGNAL
 - STOP SIGN
 - SPEED LIMIT SIGN
 - MEDIAN

QuikTrip
Convenience Store
Algonquin, Illinois

Existing Roadway Characteristics

KLOA
Kenig, Lindgren, O'Hara, Aboona, Inc.
Job No: 24-065 Figure: 3

Lake Cook Road/County Line Road (McHenry County Highway A50) is an east-west minor arterial roadway that extends east from Algonquin Road and provides one lane in each direction. At its signalized intersection with Algonquin Road, Lake Cook Road is aligned opposite Compton Drive and provides an exclusive left-turn lane, a through lane, and an exclusive right turn lane on the westbound approach. At its signalized intersection with Haegers Bend Road, Lake Cook Road/County Line Road provides an exclusive left-turn lane and a shared through/right-turn lane on both approaches. Lake Cook Road/County Line Road is under the jurisdiction of the McHenry County Division of Transportation (MCDOT), is not designated as an SRA, has a posted speed limit of 45 miles per hour, and carries an AADT volume of 8,100 vehicles (IDOT 2021).

Haegers Bend Road is a north-south roadway that extends north from Algonquin Road and provides one lane in each direction widening to two lanes through its intersection with Algonquin Road. At its signalized intersection with Algonquin Road, Haegers Bend Road is aligned opposite IL 25 and provides an exclusive left-turn lane, a through lane, and a shared through/right-turn lane on the southbound approach. At its signalized intersection with Lake Cook Road/County Line Road, Haegers Bend Road provides an exclusive left-turn lane and a shared through/right-turn lane on both approaches. Between Lake Cook Road and Algonquin Road, Haegers Bend Road is under the jurisdiction of MCDOT, is designated as a minor arterial road, and carries an AADT volume of 6,100 vehicles (IDOT 2023). North of Lake Cook Road, Haegers Bend Road is under the jurisdiction of the Village of Barrington Hills, is designated as a major collector road, and has a posted speed limit of 25 miles per hour.

Russet Road is an east-west local roadway that extends west from IL 25 and provides one lane in each direction. At its unsignalized intersection with IL 25, left-turn movements are restricted and Russet Road provides a right-turn only lane on the eastbound approach and is under stop sign control. Russet Road is under the jurisdiction of the Village of Algonquin and has a posted speed limit of 25 miles per hour.

Compton Drive is an east-west local roadway that extends west from Algonquin Road and provides one lane in each direction. At its signalized intersection with Algonquin Road, Compton Drive is aligned opposite Lake Cook Road and provides an exclusive left-turn lane, a through lane, and an exclusive right-turn lane on the eastbound approach. Compton Drive is under the jurisdiction of the Village of Algonquin and has a posted speed limit of 30 miles per hour.

Traffic Signal Interconnect

The signalized intersections within the study area are part of a six-intersection interconnect system that extends along Algonquin Road from Eastgate Drive to the west to IL 25 to the east. The interconnect system is maintained by IDOT. The intersection of Algonquin Road with IL 25/Haegers Bend Road is the master controller.

Existing Traffic Volumes

In order to determine current traffic conditions within the study area, KLOA, Inc. conducted peak period traffic counts at the following intersections:

- Algonquin Road with Lake Cook Road/Compton Drive
- Algonquin Road with IL 25/Haegers Bend Road
- Lake Cook Road/County Line Road with Haegers Bend Road
- IL 25 with Russet Road

The traffic counts were conducted in March 2024 during the weekday morning (7:00 A.M. to 9:00 A.M.) and weekday evening (4:00 P.M. to 6:00 P.M.) peak periods peak period. The peak hours of traffic occurred from 7:00 A.M. to 8:00 A.M. during the weekday morning peak hour and from 4:30 P.M. to 5:30 P.M. during the weekday evening peak hour. The existing peak hour traffic volumes are illustrated in **figure 4**

Crash Analysis

KLOA, Inc. obtained crash data¹ from IDOT for the most recent available six years (2018 to 2023) for the study area intersections. A review of the crash data revealed only three crashes were reported at the intersection of IL 25 with Russet Road. Further, no fatalities were reported at any of the study area intersections during the review period and only one Type A injury was reported (2019, Algonquin Road with IL 25). The crash data incidents are summarized by year and crash type in **Tables 1** through **3**.

Table 1
ALGONQUIN ROAD WITH LAKE COOK ROAD AND COMPTON DRIVE – CRASH SUMMARY

Year	Type of Crash frequency							Total
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	
2018	1	0	0	6	0	3	0	10
2019	0	0	0	0	0	0	0	0
2020	0	0	0	1	0	0	0	1
2021	0	0	0	1	0	0	0	1
2022	1	0	0	2	0	0	0	3
2023	0	0	0	6	0	2	0	7
Total	2	0	0	1	0		0	22
Average	1.0	--	--	2	--	1.0	--	3

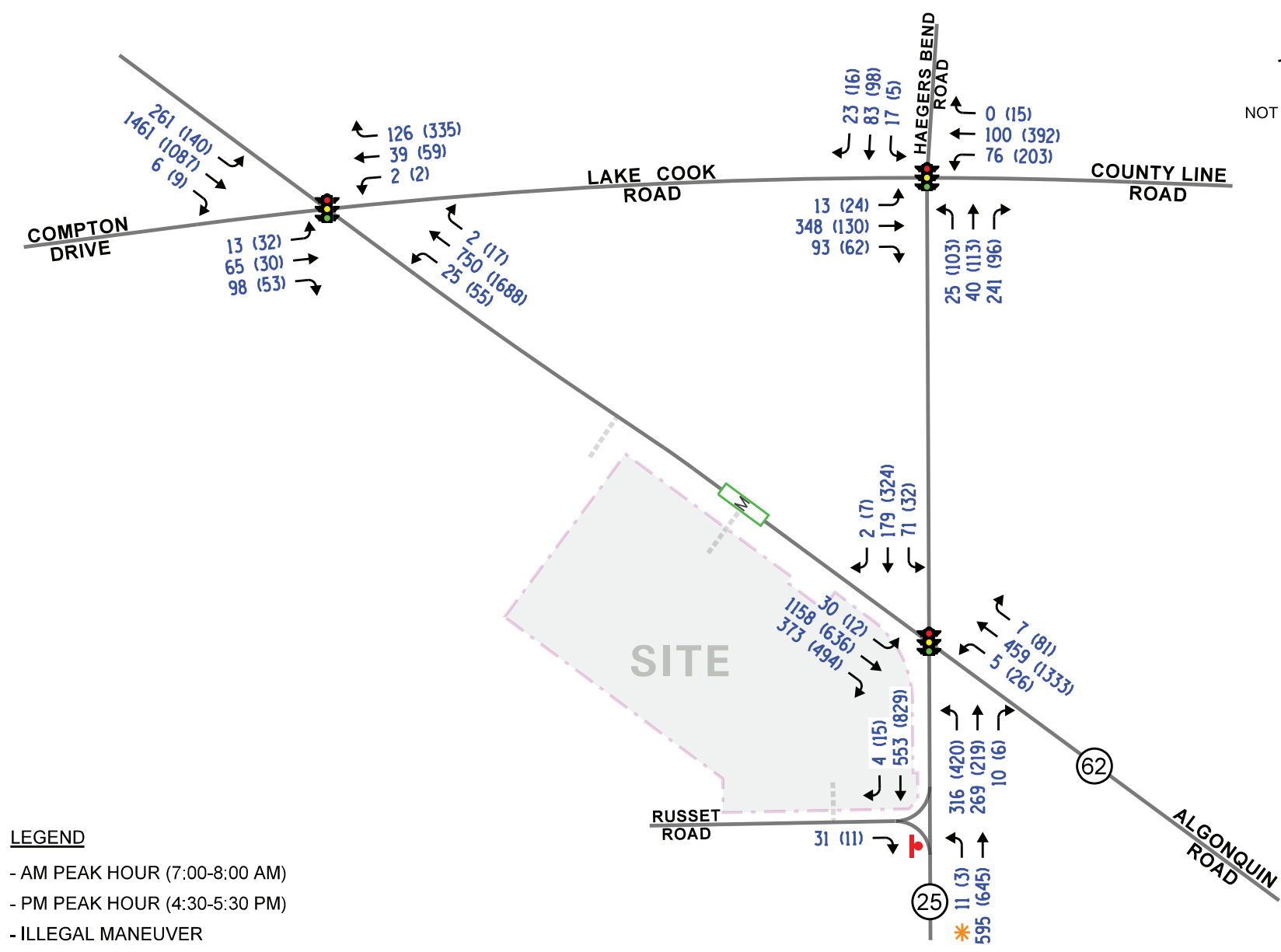
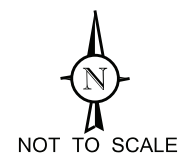
¹ IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s).

Table 2
ALGONQUIN ROAD WITH IL 25 AND HAEGERS BEND ROAD – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	
2018	0	0	0	4	0	3	0	7
2019	1	0	0	0	0	2	0	3
2020	1	0	0	0	1	2	0	4
2021	0	0	0	1	0	2	0	3
2022	2	0	0	3	0	1	0	6
2023	3	0	0	5	1	5	0	14
Total		0	0	13	2	1	0	3
Average	1.2	--	--	2.2	1.0	2	--	2

Table 3
LAKE COOK ROAD/COUNTY LINE ROAD WITH HAEGERS BEND ROAD – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	
2018	1	0	0	2	0	1	0	4
2019	3	0	0	1	0	0	0	4
2020	0	0	0	0	0	0	0	0
2021	0	0	0	1	0	1	0	2
2022	0	0	0	1	0	0	0	1
2023	0	0	0	2	0	3	0	5
Total	4	0	0		0		0	1
Average	1.0	--	--	1.2	--	1.0	--	2



LEGEND

- 00 - AM PEAK HOUR (7:00-8:00 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)
- * - ILLEGAL MANEUVER

QuikTrip
Convenience Store
Algonquin, Illinois

Existing Traffic Volumes

Job No: 24-065 Figure: 4

3 Traffic Characteristics of the Proposed Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

Proposed Development Plan

As proposed, the site is proposed to be developed with a QuikTrip Convenience Store that is to consist of the following:

- Sixteen (16) passenger vehicle fueling positions.
- An approximately 5,312 square-foot convenience store

A copy of the proposed site plan is included in the Appendix.

Site Access

Access to the convenience store will be provided via the following three access drives:

- The full movement access drive on Algonquin Road to be located approximately 855 feet west of IL 25 that is being provided as part of the commercial development currently under construction northwest of the site. This access drive will provide:
 - A median break within the existing median on Algonquin Road.
 - One inbound lane and two outbound lanes.
 - Outbound movements under stop sign control.
 - A westbound left-turn lane within the existing median on Algonquin Road.
 - An eastbound right-turn lane.
- A proposed right-in/right-out access drive on Algonquin Road located approximately 500 feet west of IL 25 that will be designed as follows:
 - One inbound lane and one outbound lane restricted to right-turn only movements via signage and the median on Algonquin Road.
 - Outbound movements under stop sign control.
 - As discussed later in the report, an eastbound right-turn lane will be warranted serving this access drive and should be provided. This turn lane will be an extension of the eastbound turn lane that will serve the shared access drive and will extend to IL 25
- A proposed full movement access drive on Russet Road located approximately 225 feet west of IL 25 that will be designed as follows:
 - One inbound lane and one outbound lane.
 - Outbound movements under stop sign control.
 - Trucks will be restricted from turning right onto Russet Road via signage.

Directional Distribution

The directional distribution of future site-generated trips on the roadway system is a function of several variables, including the operational characteristics of the roadway system and the ease with which drivers can travel over various sections of the roadway system. This is particularly true for pass-by traffic. The directions from which patrons and employees of the proposed convenience store will approach and depart the site are illustrated in **figure** Figure 5 also shows the distances between the existing and proposed access intersections.

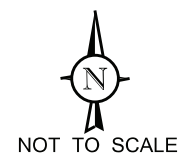
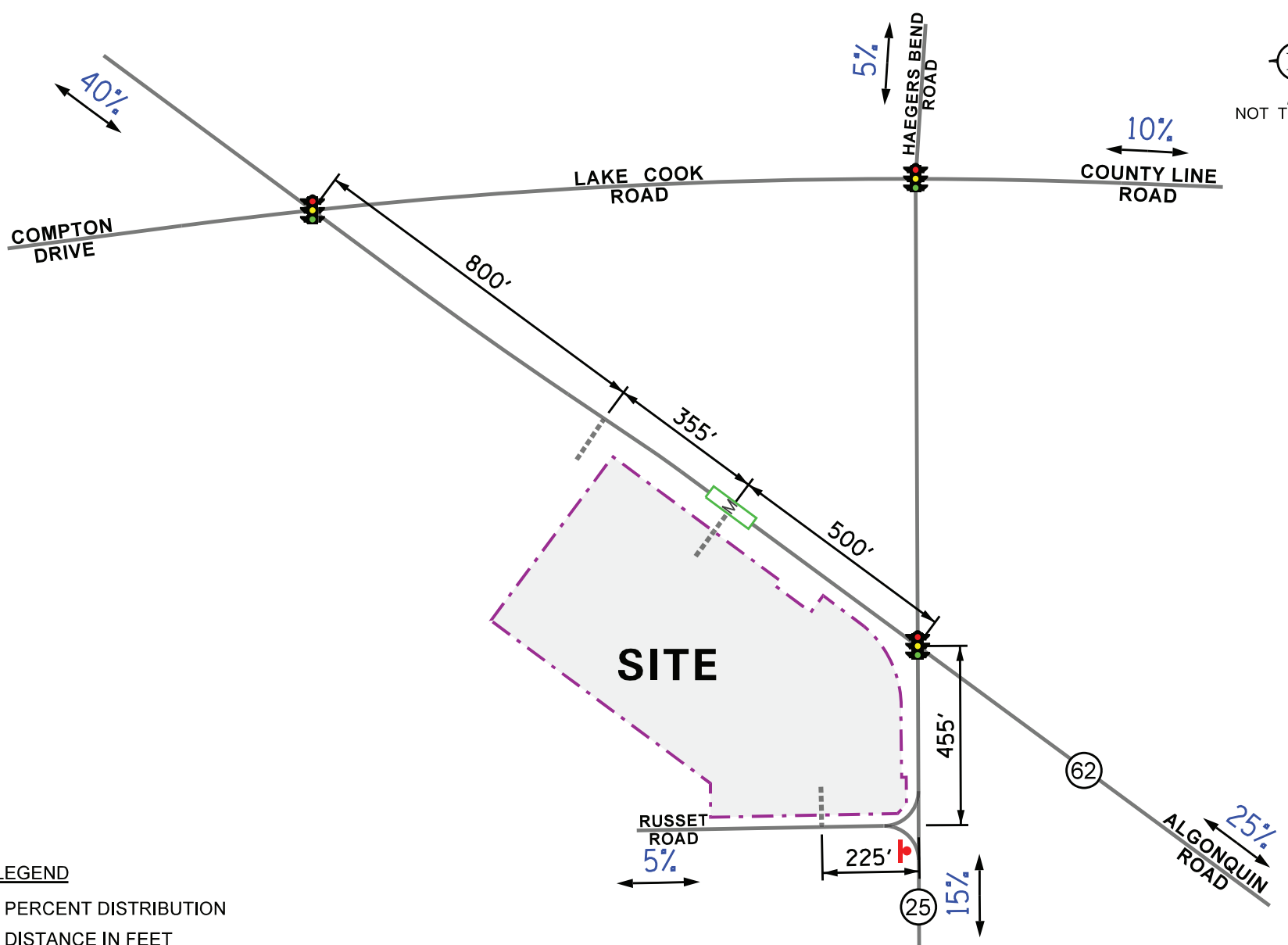
It should be noted that the traffic that is projected to approach and depart the site from the west on Russet Road is local traffic. Other site traffic is not anticipated to use Russet Road to approach and depart the development from the west.

Peak Hour Traffic Volumes

The number of peak hour trips estimated to be generated by the proposed development was based on vehicle trip generation rates contained in *Trip Generation Manual*, 11th Edition, published by the Institute of Transportation Engineers (ITE). The “Convenience Store/Gas Station” (Land-Use Code 945) rate was used for the passenger vehicle fueling positions and convenience store. It is important to note that surveys conducted by ITE have shown that approximately 60 percent of trips made to convenience stores are diverted from the existing traffic on the roadway system. This is particularly true during the weekday morning and weekday evening peak hours when traffic is diverted from the home-to-work and work-to-home trips. As such, the number of new trips to be generated by the convenience store were reduced to account for pass-by traffic. **Table 4** summarizes the trips projected to be generated by the proposed convenience store during the peak hours.

Table 4
ESTIMATED PEAK HOUR VEHICLE TRIP GENERATION

ITE Land Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour		
		In	Out	Total	In	Out	Total
945	Convenience Store/Gas Station (16 positions, 5,312 s.f. Store)	216	217	433	182	182	364
	<i>Pass-By Reduction (60%)</i>	-130	-130	-260	-109	-109	-218
	New Development Trips			13	3	3	14



LEGEND
 00% - PERCENT DISTRIBUTION
 00' - DISTANCE IN FEET

QuikTrip
 Convenience Store
 Algonquin, Illinois

Directional Distribution

4 Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to growth, and the traffic estimated to be generated by the proposed convenience store.

Development Traffic Assignment

The estimated weekday morning and weekday evening traffic volumes that will be generated by the proposed convenience store were assigned to the roadway system in accordance with the previously described directional distribution (Figure 5). **igure** illustrates the traffic assignment of new vehicle trips and the pass-by traffic assignment is illustrated in **igure** .

Background (No-Build) Traffic Volumes

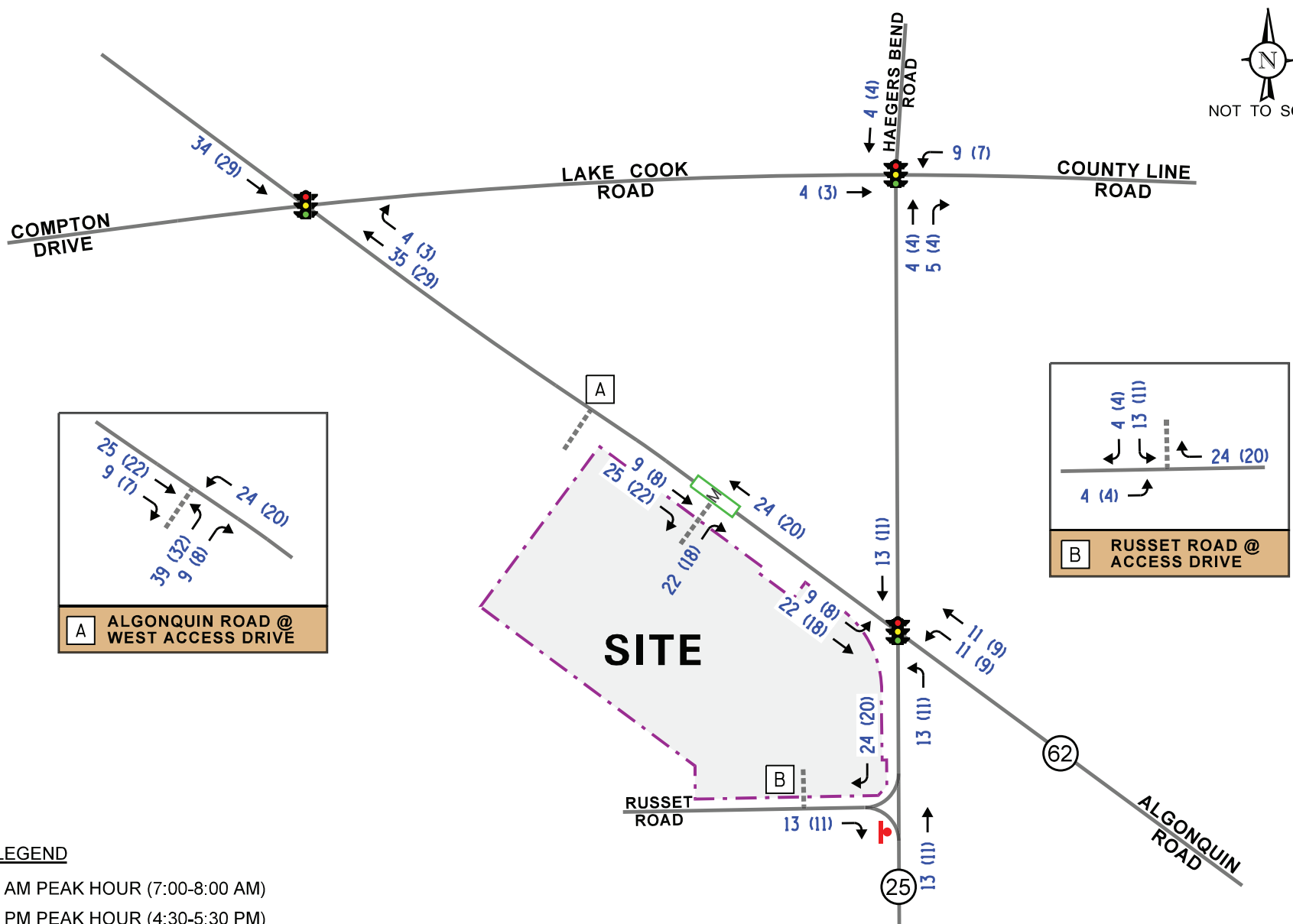
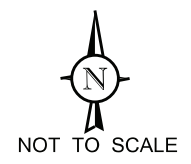
Under no-build and total projected conditions, the existing traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on AADT projections provided by the Chicago Metropolitan Agency for Planning (CMAP), the area roadways are projected to experience a compounded growth rate of approximately 0.93 percent per year. As such, a total background growth of six percent was added to project Year 2030 conditions. A copy of the CMAP projections letter is included in the Appendix.

The no-build traffic volumes also include the traffic that is projected to be generated by the currently under construction commercial development that borders the site to the north. The volume of traffic that will be generated by this development was based on the KLOA, Inc. traffic impact study dated May 7, 2020. It should be noted that some of the traffic that will be generated by the commercial development may utilize the proposed access drives. However, no cross-access was assumed for commercial development traffic to provide a conservative analysis of the shared access drive. In addition, some of the traffic generated by the commercial development or proposed convenience store may be patrons of the other development; however, to provide a conservative analysis, no interaction reduction was applied.

The Year 2030 no-build traffic volumes are illustrated in **igure**

Total Projected Traffic Volumes

The total projected traffic volumes include the existing Year 2030 volumes (Figure 8) and the volume of traffic expected to be generated by the proposed convenience store (Figures 6 and 7). The Year 2030 total projected traffic volumes are illustrated in **igure**



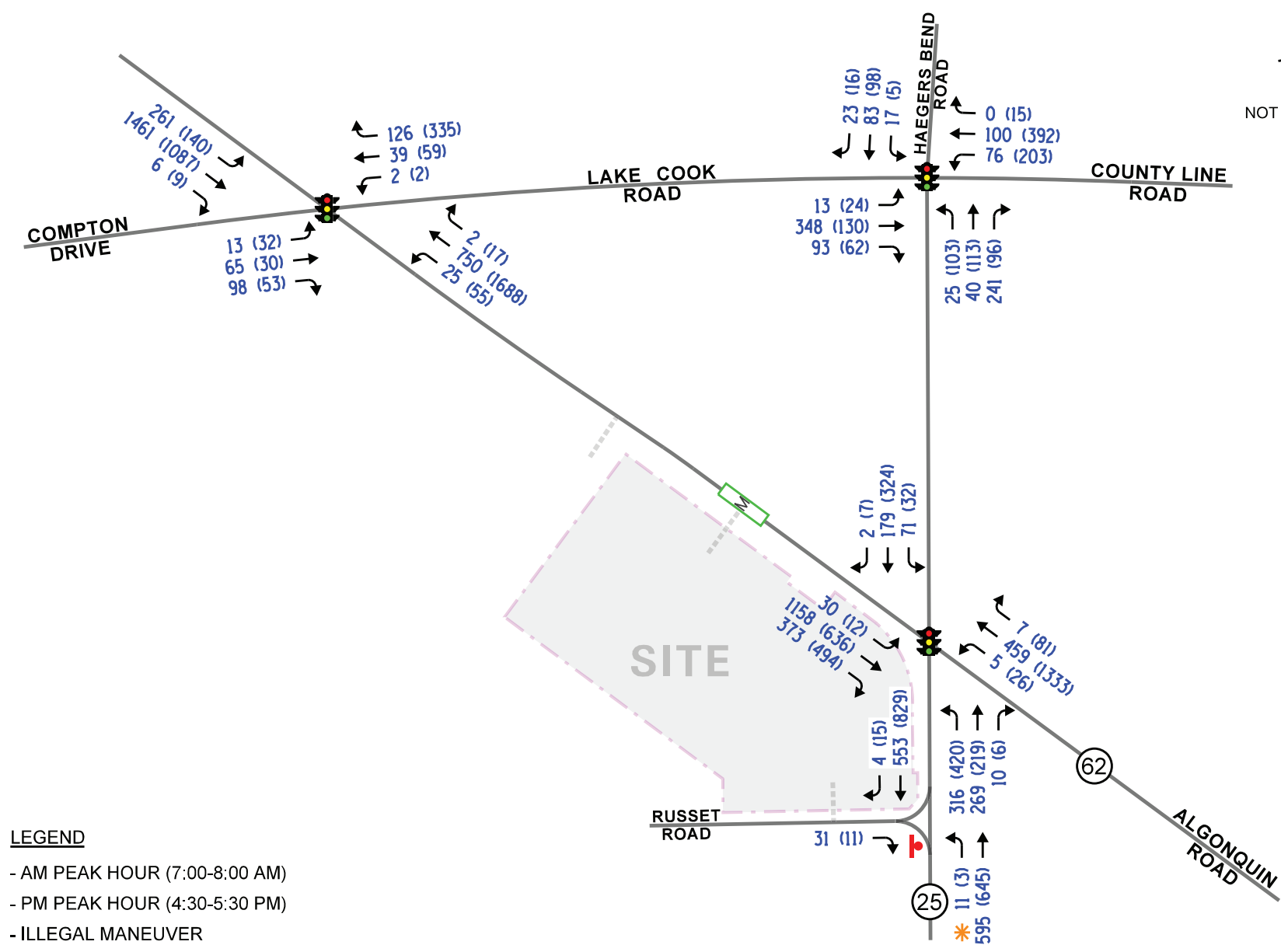
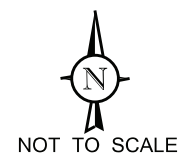
LEGEND

- 00 - AM PEAK HOUR (7:00-8:00 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)

QuikTrip
Convenience Store
Algonquin, Illinois

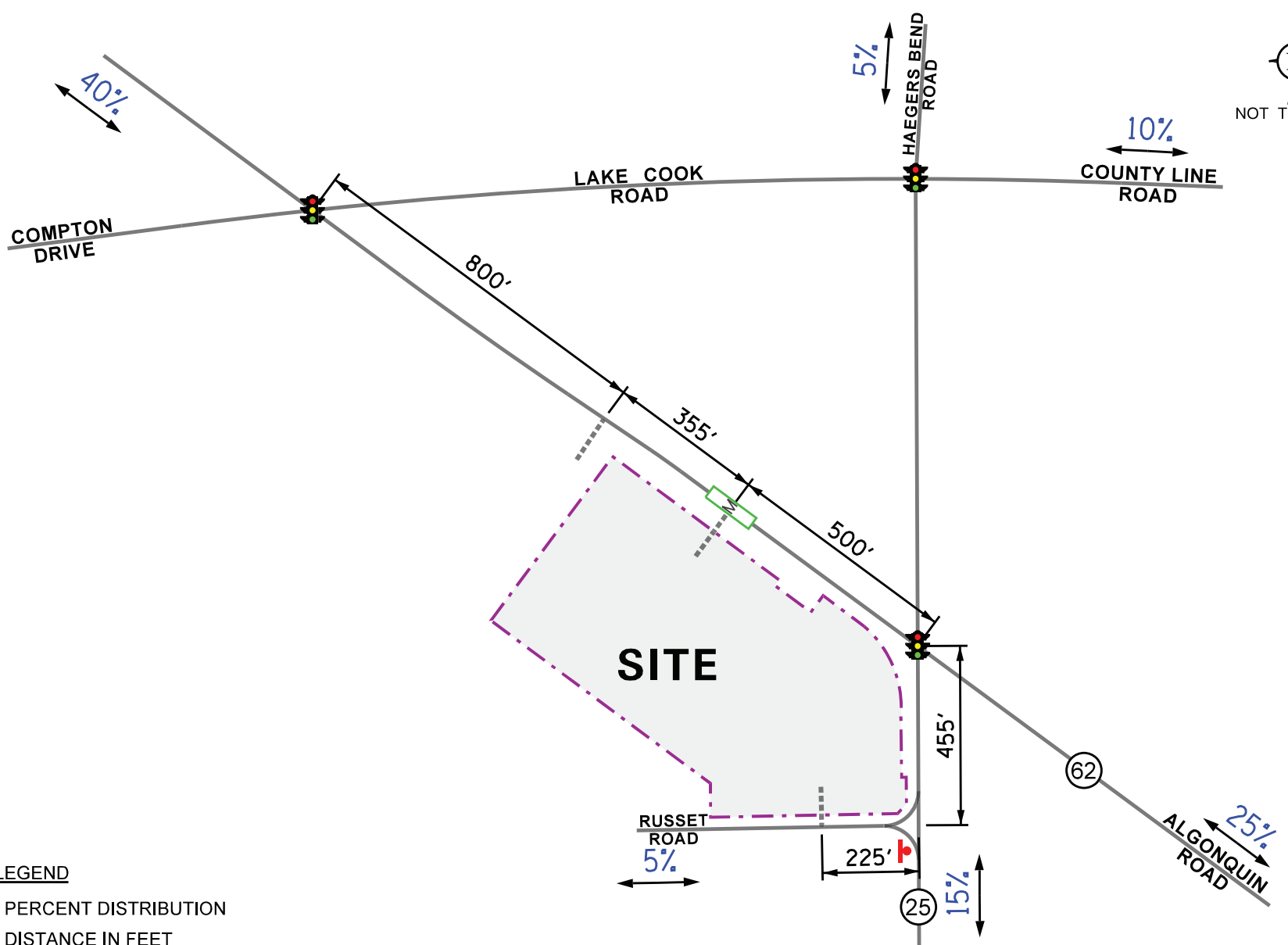
Site-Generated Traffic Volumes

KLOA
Kenig, Lindgren, O'Hara, Aboona, Inc.
Job No: 24-065 Figure: 6



QuikTrip
Convenience Store
Algonquin, Illinois

Existing Traffic Volumes



LEGEND

00% - PERCENT DISTRIBUTION

00' - DISTANCE IN FEET

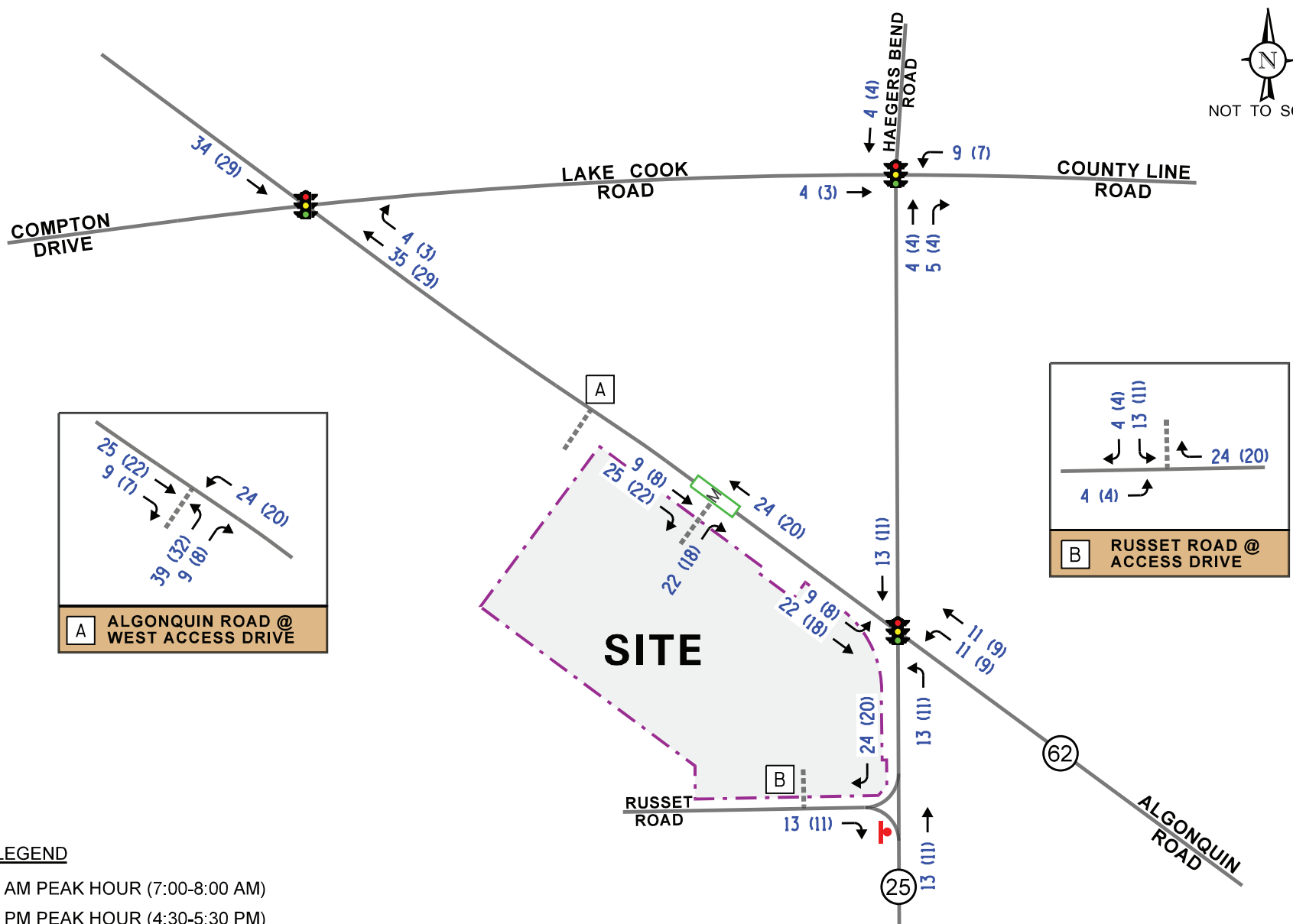
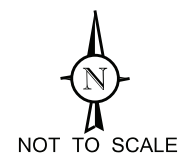
QuikTrip
Convenience Store
Algonquin, Illinois

Directional Distribution



Job No: 24-065

Figure: 5



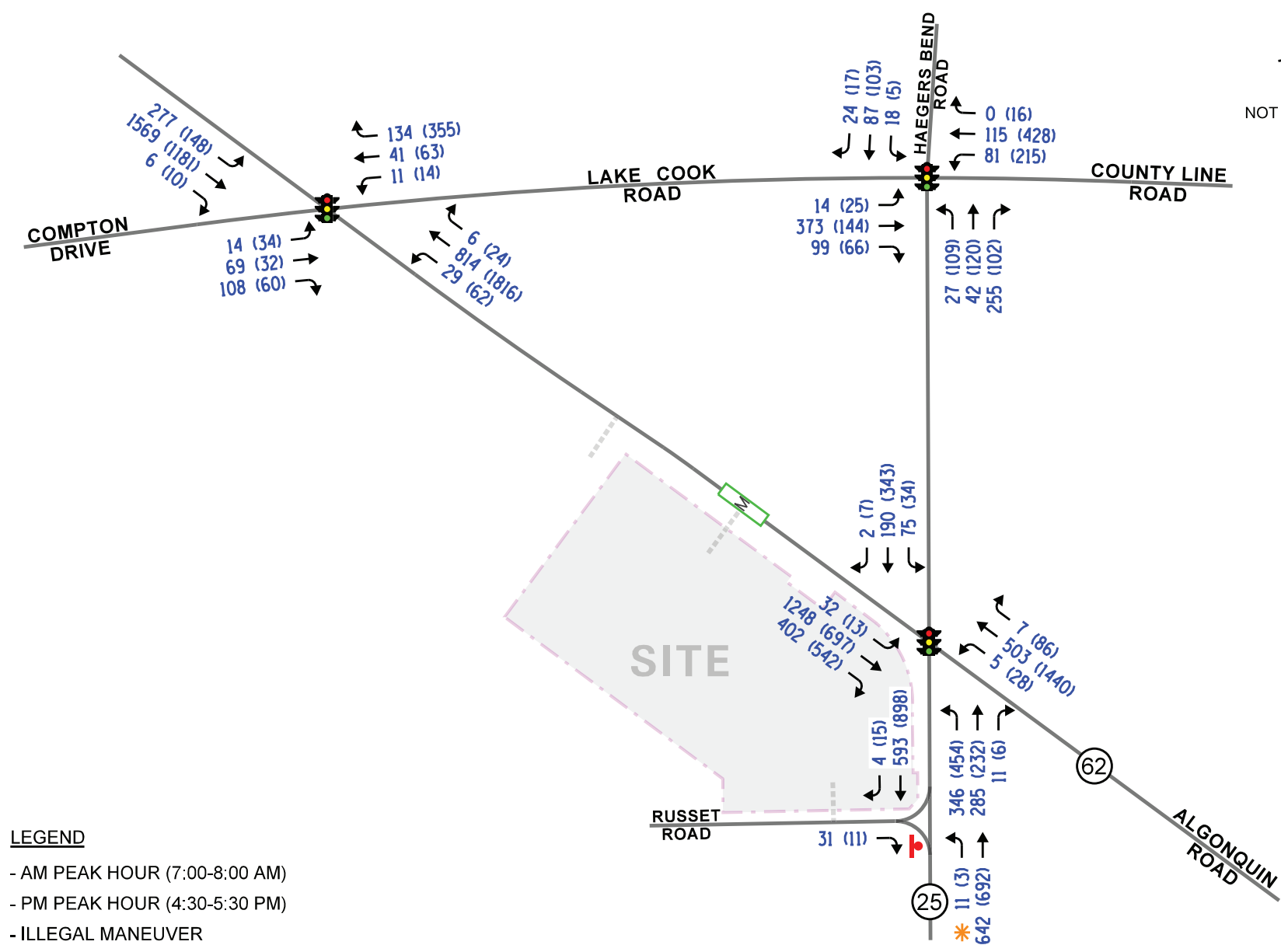
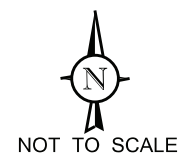
LEGEND

- 00 - AM PEAK HOUR (7:00-8:00 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)

QuikTrip
Convenience Store
Algonquin, Illinois

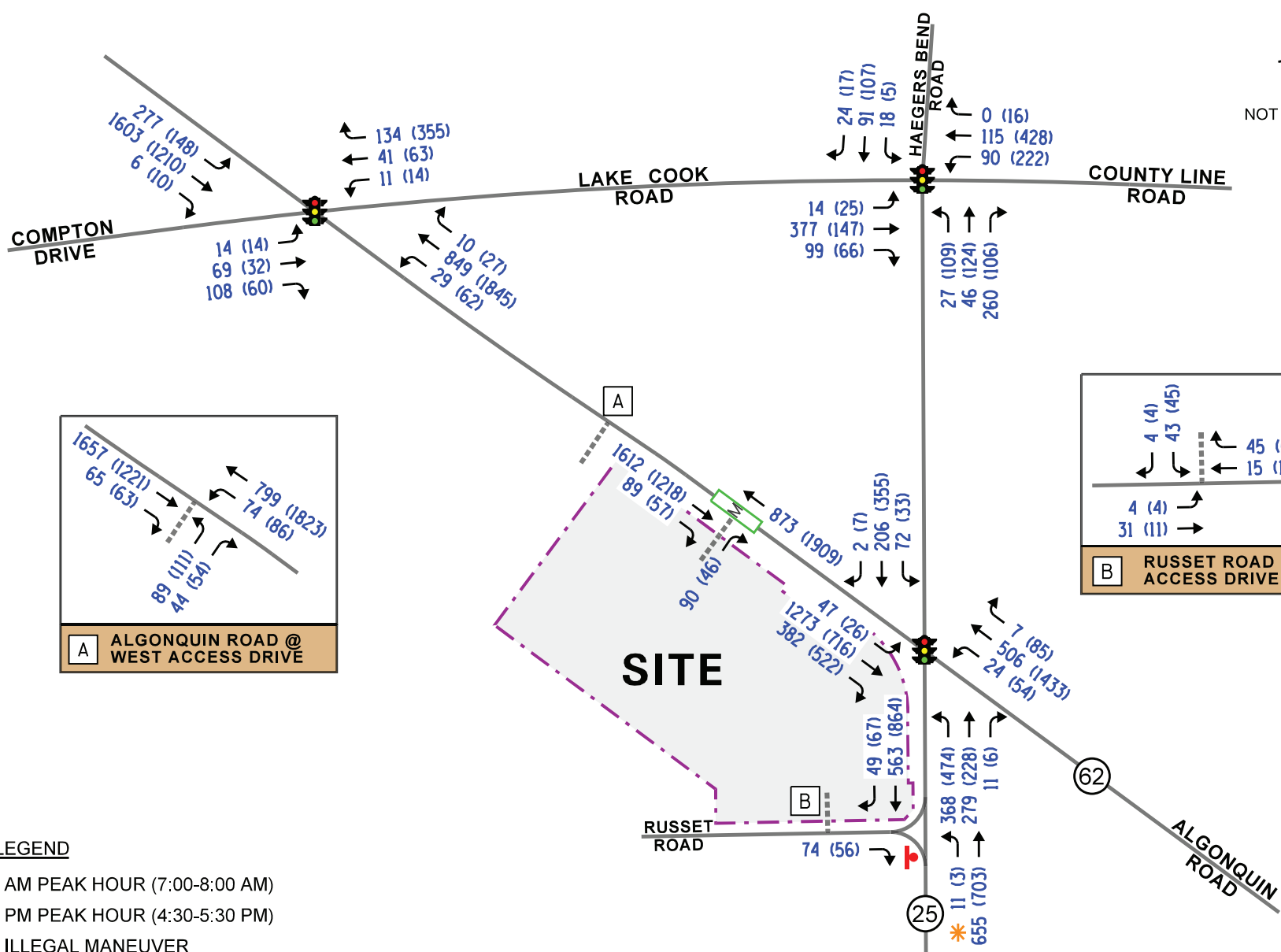
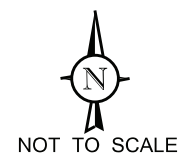
Site-Generated Traffic Volumes

KLOA
Kenig, Lindgren, O'Hara, Aboona, Inc.
Job No: 24-065 Figure: 6



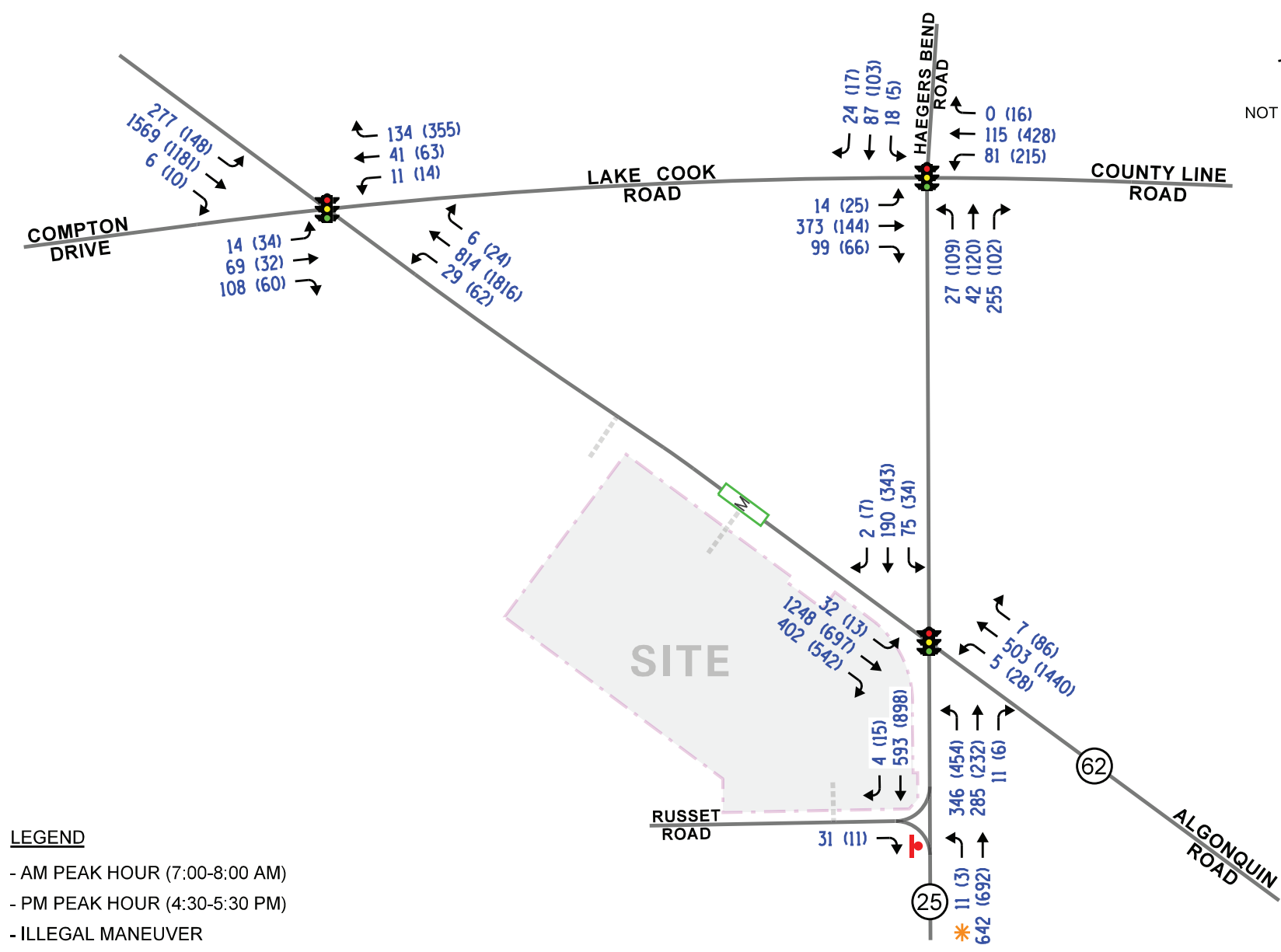
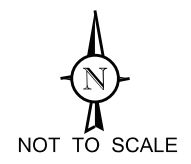
QuikTrip
Convenience Store
Algonquin, Illinois

Year 2030 No-Build Traffic Volumes



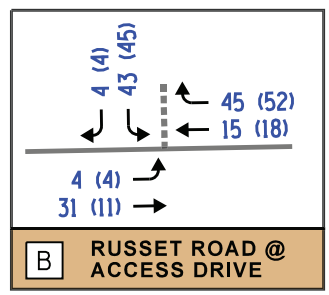
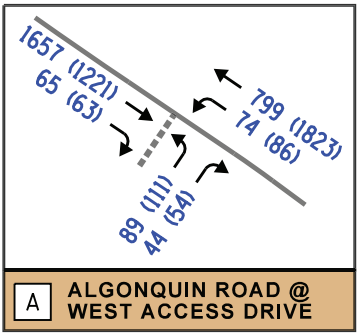
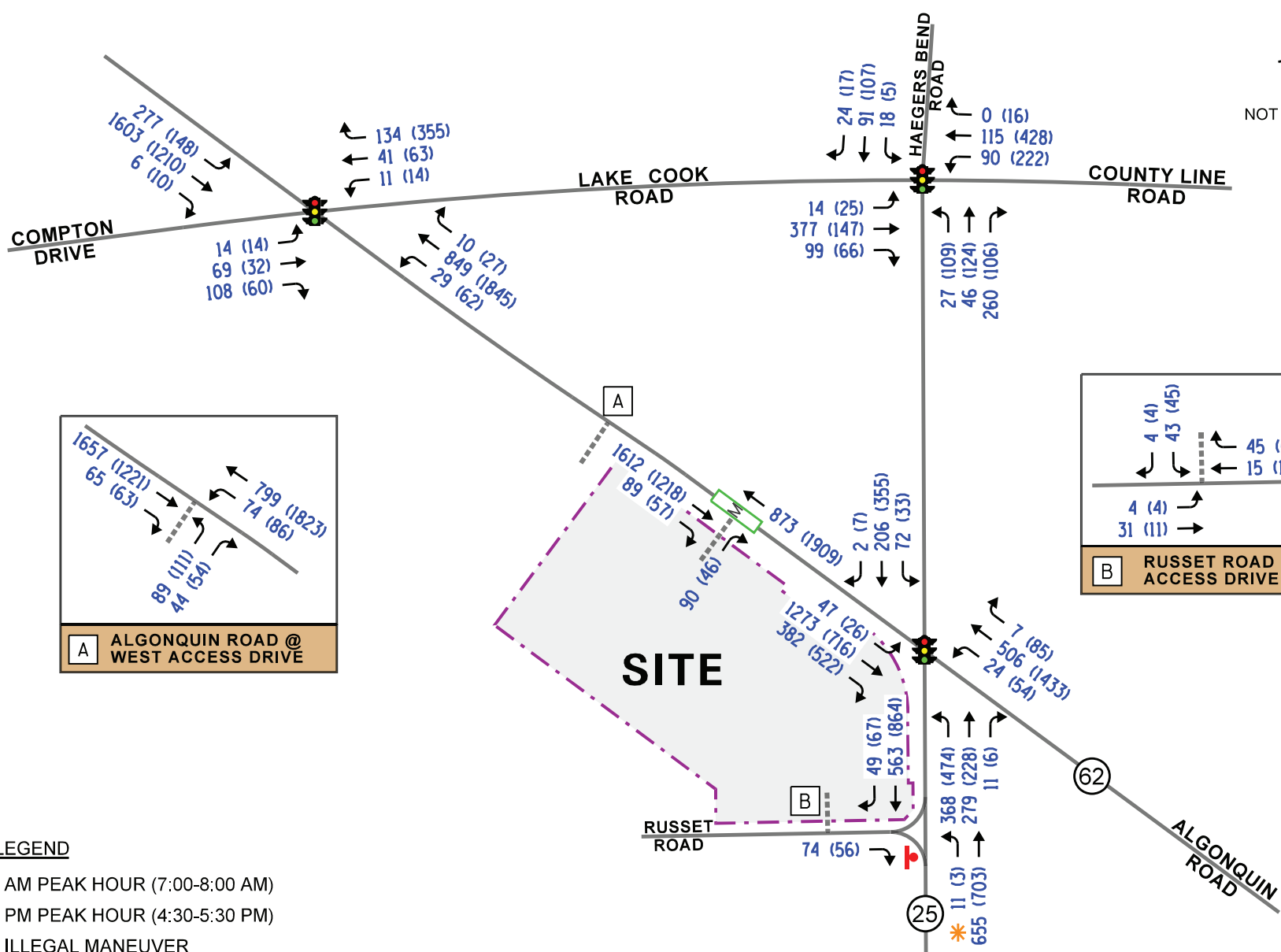
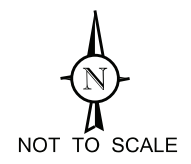
QuikTrip
Convenience Store
Algonquin, Illinois

Year 2030 Total Traffic Volumes



QuikTrip
Convenience Store
Algonquin, Illinois

Year 2030 No-Build Traffic Volumes



LEGEND

- 00 - AM PEAK HOUR (7:00-8:00 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)
- * - ILLEGAL MANEUVER

QuikTrip
Convenience Store
Algonquin, Illinois

Year 2030 Total Traffic Volumes



Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning, weekday evening, and Saturday midday peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modifications are required.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning, and weekday evening peak hours for the existing, no-build, and total projected traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 6th Edition and analyzed using Synchro/SimTraffic 11 software. The analysis for the traffic signal-controlled intersections were performed using actual cycle lengths, phasings, and offsets to determine the average overall vehicle delay and levels of service.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing, no-build, total projected conditions are presented in **Tables** through A. A discussion of each intersection follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 5

CAPACITY ANALYSIS RESULTS – ALGONQUIN ROAD WITH LAKE COOK ROAD/COMPTON DRIVE – SIGNALIZED

	Peak Hour	Eastbound Compton Drive			Eastbound Lake Cook Road			Northwest-bound Algonquin Road		Southeast-bound Algonquin Road			Overall
		L	T	R	L	T	R	L	T/R	L	T	R	
Existing Conditions	Free day Morning	E 67.7	E 59.4	D 49.2	E 72.0	E 72.9	D 37.5	E 68.8	C 20.4	E 73.6	B 14.3	A 5.0	C 26.1
		D – 54.3			D – 46.1			C – 21.9		C – 23.2			
Existing Conditions	Free day Evening	F 83.6	E 60.3	D 47.7	F 82.5	E 67.6	F 80.5	F 85.0	C 32.8	E 66.9	B 13.0	A 5.8	C 34.8
		E – 61.0			E – 78.6			C – 34.4		B – 19.0			
No-Build Conditions	Free day Morning	E 67.9	E 63.0	D 52.1	E 70.0	E 71.0	D 37.6	E 63.8	C 25.9	E 75.5	B 16.6	A 5.7	C 29.2
		E – 57.2			D – 47.0			C – 27.2		C – 25.4			
No-Build Conditions	Free day Evening	F 84.2	E 64.1	D 50.9	F 80.6	E 67.7	F 81.6	E 63.4	C 32.1	E 66.4	B 14.1	A 6.1	C 34.7
		E – 63.3			E – 79.6			C – 33.1		B – 19.8			
Projected Conditions	Free day Morning	E 67.9	E 63.0	D 52.1	E 69.6	E 71.0	D 37.6	E 66.1	C 29.5	E 75.5	B 17.0	A 5.7	C 30.2
		E – 57.2			D – 46.9			C – 30.7		C – 25.6			
Projected Conditions	Free day Evening	F 84.2	E 64.1	D 50.9	F 81.1	E 67.8	F 81.5	E 62.0	C 34.3	E 66.4	B 14.3	A 6.1	D 35.6
		E – 63.3			E – 79.5			D – 35.1		B – 19.8			

Letter denotes Level of Service L – Left Turn R – Right Turn
 Delay is measured in seconds. T – Through



Table 6

CAPACITY ANALYSIS RESULTS – ALGONQUIN ROAD WITH IL 25/HAEGER'S BEND ROAD – SIGNALIZED

	Peak Hour	Northwest-bound Algonquin Road		Southeast-bound Algonquin Road			Northbound IL 2		Southbound Haegers Bend Road		Overall
		L	T/R	L	T	R	L	T/R	L	T/R	
Existing Conditions	Free day Morning	E 65.6	B 18.8	E 73.0	C 21.0	A 5.9	E 62.9	D 51.6	E 76.3	E 60.8	C 30.7
		B – 19.2		B – 18.4			E – 57.6		E – 65.2		
Existing Conditions	Free day Evening	F 81.5	C 33.6	E 78.3	C 24.4	B 10.8	E 70.4	D 45.3	E 73.3	E 77.2	D 38.7
		C – 34.4		B – 19.0			E – 61.6		E – 76.8		
No-Build Conditions	Free day Morning	E 65.6	C 20.8	E 68.8	C 24.1	B 12.1	E 63.3	D 50.9	E 77.0	E 61.4	C 33.0
		C – 21.2		C – 22.1			E – 57.6		E – 65.7		
No-Build Conditions	Free day Evening	F 81.9	D 37.9	F 103.1	C 17.2	A 4.1	E 70.4	D 44.4	E 73.7	E 76.1	D 37.9
		D – 38.7		B – 12.4			E – 61.4		E – 75.9		
Projected Conditions	Free day Morning	E 70.1	C 21.7	E 70.7	C 32.8	B 16.0	E 63.5	D 49.6	E 76.0	E 60.8	D 37.7
		C – 23.8		C – 30.1			E – 57.4		E – 64.7		
Projected Conditions	Free day Evening	F 87.1	D 42.5	F 105.5	B 19.0	A 4.2	E 70.1	D 43.6	E 73.6	E 74.8	D 40.8
		D – 44.0		B – 14.7			E – 61.6		E – 74.7		

Letter denotes Level of Service L – Left Turn R – Right Turn
 Delay is measured in seconds. T – Through



Table 7

CAPACITY ANALYSIS RESULTS – LAKE COOK ROAD/COUNTY LINE ROAD WITH HAEGERS BEND ROAD – SIGNALIZED

	Peak Hour	Eastbound Lake Cook Road		Westbound County Line Road		Northbound Haegers Bend Road		Southbound Haegers Bend Road		Overall
		L	T/R	L	T/R	L	T/R	L	T/R	
Existing Conditions	Peak day Morning	A 8.9	C 30.0	B 10.5	B 13.7	D 43.1	F 80.7	C 33.2	D 47.7	D 42.4
		C - 29.4		B - 12.3		E - 77.6		D - 45.7		
	Peak day Evening	A 6.1	B 15.6	B 10.6	B 17.9	C 27.7	D 44.5	B 15.0	C 32.4	C 22.7
		B - 14.5		B - 15.5		D - 39.0		C - 31.7		
No-Build Conditions	Peak day Morning	A 7.7	C 30.2	B 10.9	B 13.9	D 42.3	F 81.9	C 33.1	D 47.3	D 42.4
		C - 29.6		B - 12.7		E - 78.5		D - 45.4		
	Peak day Evening	A 5.8	B 16.2	B 11.0	B 19.3	C 27.6	D 44.5	B 14.8	C 32.5	C 23.2
		B - 15.1		B - 16.6		D - 38.9		C - 31.8		
Projected Conditions	Peak day Morning	A 7.8	C 30.6	B 11.2	B 14.1	D 41.1	F 81.1	C 32.9	D 47.2	D 42.3
		C - 29.9		B - 12.8		E - 77.8		D - 45.3		
	Peak day Evening	A 6.0	B 16.6	B 11.2	B 19.4	C 25.6	D 43.1	B 14.8	C 32.5	C 23.3
		B - 15.4		B - 16.6		D - 37.5		C - 31.9		
Letter denotes Level of Service L – Left Turn R – Right Turn Delay is measured in seconds. T – Through										

Table 8
CAPACITY ANALYSIS RESULTS – UNSIGNALIZED – EXISTING CONDITIONS

Intersection	Peak Morning		Peak Evening	
	LOS	Delay	LOS	Delay
IL 2 with Russet Road				
• Eastbound Approach	B	10.7	B	11.4
• Northbound Left Turn ¹	A	8.8	A	9.6
LOS = Level of Service 1 – Illegal Movement Delay is measured in seconds.				

Table 9
CAPACITY ANALYSIS RESULTS – UNSIGNALIZED – NO BUILD CONDITIONS

Intersection	Peak Morning		Peak Evening	
	LOS	Delay	LOS	Delay
IL 2 with Russet Road				
• Eastbound Approach	B	10.9	B	11.8
• Northbound Left Turn ¹	A	9.0	A	9.9
Algonquin Road with Commercial Development Access Drive				
• Northwest-bound Left Turn	B	13.9	B	10.5
• Northbound Left Turn	D	31.9	D	25.5
• Northbound Right Turn	B	11.3	B	10.2
LOS = Level of Service 1 – Illegal Movement Delay is measured in seconds.				

Table 10
 CAPACITY ANALYSIS RESULTS – UNSIGNALIZED – TOTAL PROJECTED
 CONDITIONS

Intersection	Peak day Morning		Peak day Evening	
	LOS	Delay	LOS	Delay
IL 2 with Russet Road				
• Eastbound Approach	B	11.3	B	12.2
• Northbound Left Turn ¹	A	8.8	A	9.8
Algonquin Road with Shared Access Drive				
• Northwest-bound Left Turn	C	15.3	B	11.0
• Northbound Left Turn	E	48.0	E	40.7
• Northbound Right Turn	B	11.3	B	10.3
Algonquin Road with East Site Access Drive				
• Northbound Approach	C	21.7	B	14.6
Russet Road with Site Access Drive				
• Eastbound Left Turn	A	7.3	A	7.3
• Southbound Approach	A	9.1	A	9.0
LOS = Level of Service 1 – Illegal Movement Delay is measured in seconds.				

Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the site-generated traffic.

Algonquin Road with Lake Cook Road and Compton Drive

The results of the capacity analyses indicate that this intersection currently operates at an overall Level of Service (LOS) C during the weekday morning and weekday evening peak hours. It should be noted that multiple eastbound and westbound movements as well as northwest-bound and southeast-bound left-turn movements currently operate at E or F. This delay is primarily the result of the protected only nature of the left-turn movements, the long cycle length (140 to 160 seconds), and the fact that Algonquin Road through movements receive a majority of the green time. However, all movements operate with a volume to capacity ratio (v/c) of less than one and with 95th percentile queus that can be accommodated within the existing turn lanes. Under Year 2030 no-build conditions, this intersection is projected to continue to operate at the same overall LOS during both peak hours.

Under Year 2030 total projected conditions, this intersection is projected to operate at LOS C during the weekday morning peak hour and LOS D during the weekday evening peak hour with an increase in delay of less than once second. Further, all movements are projected to continue to operate with a volume to capacity ratio (v/c) of less than one and 95th percentile queus that can be accommodated within the existing turn lanes.

Overall, the proposed development is projected to increase the volume of traffic traversing this intersection by approximately two percent or less. As such, this intersection has sufficient reserve capacity to accommodate the traffic to be generated by the development and no roadway improvements or traffic control modifications are required.

Algonquin Road with IL 25 and Haegers Bend Road

The results of the capacity analyses indicate that this intersection currently operates at an overall LOS C during the weekday morning peak hour and at LOS D during the weekday evening peak hour. Similar to the intersection of Algonquin Road with Lake Cook Road and Compton Drive, multiple northbound and southbound movements as well as northwest-bound and southeast-bound left-turn movements currently operate at E or F. This delay is primarily the result of the protected only nature of the left-turn movements, the long cycle length (140 to 160 seconds), and the fact that Algonquin Road through movements receive a majority of the green time. However, all movements operate with a volume to capacity ratio (v/c) of less than one. Further, 95th percentile queus can be accommodated within in the existing turn lanes with the exception of the southeast-bound right-turn movements during the weekday morning peak hour. Under Year 2030 no-build conditions, this intersection is projected to continue to operate at the same overall LOS during both peak hours.

Under Year 2030 total projected conditions, this intersection is projected to operate at LOS D during both peak hours. Further, all movements are projected to continue to operate with a volume

to capacity ratio (v/c) of less than one and 95th percentile queues that can be accommodated within the existing turn lanes with the exception of the southeast-bound right-turn movements during the weekday morning peak hour. However, as part of the proposed development, the southeast-bound right-turn lane is projected to be extended to also serve the site access drives. This increased turn lane will also help accommodate existing queues.

Overall, the proposed development is projected to increase the volume of traffic traversing this intersection by approximately two percent or less. As such, this intersection has sufficient reserve capacity to accommodate the traffic to be generated by the development and no roadway improvements or traffic control modifications are required.

Algonquin Road with Lake Cook Road and Compton Drive

The results of the capacity analyses indicate that this intersection currently operates at an overall LOS D during the weekday morning peak hour and LOS C during the weekday evening peak hours. Under Year 2030 no-build conditions, this intersection is projected to continue to operate at the same overall LOS during both peak hours.

Under Year 2030 total projected conditions, this intersection is projected to continue to operate at the same LOS during both peak hours with an increase in delay approximately one second or less. Overall, the proposed development is projected to increase the volume of traffic traversing this intersection by approximately two percent or less. As such, this intersection has sufficient reserve capacity to accommodate the traffic to be generated by the development and no roadway improvements or traffic control modifications are required.

IL 25 with Russet Road

The results of the capacity analyses indicate that turning movements from Russet Road currently operate at LOS B during the weekday morning and weekday evening peak hours. Under Year 2030 no build and projected conditions, turning movements from Russet Road are projected to continue to operate at LOS B during both peak hours with minimal increase in delay. As such, the proposed development will have a limited impact on the operations of this intersection and no roadway improvements or traffic control modifications are required.

The traffic counts at this intersection revealed that vehicles were observed to turn left onto Russet Road from IL 25 despite the existing signage and median island prohibiting left-turn movements. It should be noted that the island median does not meet IDOT's design standard for suburban right-in/right-out intersections allowing for easier left-turn movements. It is recommended that this intersection be redesigned to meet current standards in order to better discourage left-turn movements. Further, if required by IDOT, a right-turn lane could be provided on IL 25 serving this access drive. The turn lane could provide 220 feet of storage and a short taper.

Algonquin Road with the West Site Access Drive

As proposed, the development will have a connection to the full movement site access drive that will serve the commercial development northwest of the site. Under Year 2030 projected conditions, outbound left-turn movements from the site access drive are projected to operate at

LOS E during the weekday morning and weekday evening peak hours. Inbound left-turn movements and outbound right-turn movements are projected to operate at LOS C or better during the peak hours. The following should be noted:

- All movements are projected to operate with a volume to capacity (v/c) ratio of less than one.
- This access drive is located between two signalized intersections on Algonquin Road that are part of a coordinated system with a long cycle length. This leads to platooning of vehicles on Algonquin Road creating gaps in the traffic stream that vehicles can use to enter and exit the site.
- Outbound vehicles will be able to use the existing median on Algonquin Road to perform a two-part left-turn maneuver.

As such, the access drive will adequately accommodate the traffic estimated to be generated by the proposed convenience store and the commercial development.

Algonquin Road with the East Site Access Drive

As proposed, a right-in/right-out access drive will be provided on Algonquin Road located approximately 220 feet west of IL 25 that will provide one inbound lane and one outbound lane restricted to right-turn only movements via signage and the median on Algonquin Road. Outbound movements under stop sign control.

When the total projected traffic volumes at this access drive are compared to the turn lane guidelines in Chapter 36 of IDOT's *Bureau of Design and Environment Manual* (BDE), a southeast-bound right-turn lane will be warranted on Algonquin Road and should be provided. This turn lane should be an extension of the right-turn lane that will serve the shared access drive and will extend to IL 25.

Under Year 2030 projected conditions, outbound movements from the site access drive are projected to operate at LOS C during the weekday morning peak hour and LOS B during the weekday evening peak hour. Southeast-bound queues on Algonquin Road from its intersection with IL 25 are projected to extend to the location of this access drive. However, these queues are projected to clear the intersection with each green cycle allowing vehicles to exit the site. As previously mentioned, southeast-bound right-turn 95th percentile queues currently exceed the existing storage. The proposed right-turn lane extension will help accommodate existing queues in addition to the turning movements into the proposed development. As such, the proposed access drive will adequately accommodate the traffic estimated to be generated by the proposed convenience store.

Russet Road with the Site Access Drive

As proposed, full movement access drive will be provided on Russet Road located approximately 225 feet west of IL 25 that will provide one inbound lane and one outbound lane with outbound movements under stop sign control.

Under Year 2030 projected conditions, all turning movements at this intersection are from the site access drive are projected to operate at LOS A during the weekday morning and weekday evening peak hours. As previously mentioned, traffic approaching and departing the site from the west at this intersection will be local traffic as the proposed development will provide direct access to Algonquin Road and IL 25. As such, the proposed access drive will adequately accommodate the traffic estimated to be generated by the proposed convenience store.

Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- The traffic projected to be generated by the proposed convenience store will be reduced due to the volume of pass-by traffic.
- The area signalized intersections have sufficient reserve capacity to accommodate site-generated traffic.
- Access to the proposed development will be provided via a right-in/right-out access drive on Algonquin Road and a full movement access drive on Russet Road as well as via a connection to the full movement access drive on Algonquin Road that will serve the commercial development that is being built northwest of the site.
 - A southeast-bound right-turn lane will be warranted serving the east (right-in/right-out) site access drive on Algonquin Road. This turn lane will be an extension of the right-turn lane that will serve the shared access drive and will extend to IL 25.
 - The shared access drive on Algonquin Road will be served by an eastbound right-turn lane and a westbound left-turn lane. These turn lanes will be provided as part of the commercial development.
 - Truck traffic will be restricted from turning right onto Russet Road from the site access drive via signage.
- The proposed access system will adequately accommodate the traffic estimated to be generated by the proposed convenience store and will ensure that efficient and flexible access is provided.
- It is recommended the intersection of IL 25 with Russet Road be rebuilt to match modern standards in order to further discourage left-turn movements.



VILLAGE OF ALGONQUIN
GENERAL SERVICES ADMINISTRATION

- M E M O R A N D U M -

DATE: February 10, 2025

TO: Tim Schloneger, Village Manager

FROM: Michael Kumbera, Deputy Village Manager/Chief Financial Officer

SUBJECT: *Northern Illinois Purchasing Cooperative IGA Extension*

The Northern Illinois Purchasing Cooperative (NIPC) member governments have agreed to extend the term of the 2020 Intergovernmental Agreement for the Purchase of Power Supplies and Other Goods and Services. This extension ensures the continued benefits of cooperative purchasing, including cost savings, reduced administrative burdens, and improved commodity pricing. Key terms of the extension include:

- The NIPC Agreement is extended through January 31, 2030.
- The extension takes effect on January 31, 2025.
- All other provisions of the original agreement remain unchanged.

Please review the attached Agreement and let me know if there are any questions.

ORDINANCE NO. 2025 – O -

An Ordinance Authorizing Execution of the 2025 Extension of the Northern Illinois Purchasing Cooperative (“NIPC”) 2020 Intergovernmental Agreement for the Purchase of Power Supplies and Other Goods and Services; Waiving Local Bidding Requirements for Purchases Made through NIPC; and Authorizing Purchase Agreements Made through NIPC

WHEREAS, the Village of Algonquin, Illinois, is a home rule municipality as contemplated under Article VII, Section 6, of the Constitution of the State of Illinois, and the passage of this Ordinance constitutes an exercise of the Village’s home rule powers and functions as granted in the Constitution of the State of Illinois.

WHEREAS, the Village has participated in the Northern Illinois Purchasing Cooperative (“NIPC”) Intergovernmental Agreement (“IGA”) for the economical purchase of goods and services; and

WHEREAS, by working through NIPC, the participants have been able to secure competitively priced electrical power and have been able to reduce the total transaction costs of identifying and negotiating power purchase arrangements with third party suppliers; and

WHEREAS, units of local government may contract and associate among themselves pursuant to Article VII, Section 10, of the Illinois Constitution of 1970 and the Illinois Intergovernmental Cooperation Act, 5 ILCS 220/1 *et seq.*; and

WHEREAS, some of the proposed NIPC members have local codes or rules that require that certain purchases must be solicited for bids pursuant to their local rules, but under the proposed NIPC intergovernmental agreement, the NIPC purchasing rules shall apply instead; and

WHEREAS, given the short turnaround time limits for executing power purchases because they reflect a rapidly changing commodity price, the NIPC agreement contemplates that its members will authorize specific parties of each member to execute contracts on behalf of that members; and

WHEREAS, the NIPC members wish to continue their cooperation by extending the term of the NIPC IGA to January 31, 2030, which extension agreement is attached hereto as Exhibit A.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Algonquin, Illinois, as follows:

SECTION 1: The President be, and is hereby authorized and directed to execute, and the Clerk is authorized and directed to attest, duplicate original copies of the ***NORTHERN ILLINOIS PURCHASING COOPERATIVE (“NIPC”) AGREEMENT TO EXTEND THE 2020 INTERGOVERNMENTAL AGREEMENT FOR THE PURCHASE OF POWER SUPPLIES***

AND OTHER GOODS AND SERVICES (“Agreement”), a copy of which is attached hereto as Attachment A.

SECTION 2: The administration is directed to take all actions necessary to implement the terms of the IGA and to execute contracts negotiated under the IGA in a manner consistent with its terms, and any local ordinances or rules governing purchases that will instead be made through NIPC are hereby waived and those purchases will instead be subject to NIPC’s procedures.

SECTION 3: If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 4: All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 5: This Ordinance shall be in full force and effect upon its passage, approval and publication in pamphlet form (which publication is hereby authorized) as provided by law.

Voting Aye:

Voting Nay:

Abstain:

Absent:

APPROVED:

Village President Debby Sosine

(SEAL)

ATTEST: _____
Village Clerk Fred Martin

Passed: _____

Approved: _____

Published: _____

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ATTACHMENT A

**NORTHERN ILLINOIS PURCHASING COOPERATIVE ("NIPC")
AGREEMENT TO EXTEND THE 2020 INTERGOVERNMENTAL
AGREEMENT FOR THE PURCHASE OF POWER SUPPLIES
AND OTHER GOODS AND SERVICES**

**NORTHERN ILLINOIS PURCHASING COOPERATIVE ("NIPC")
AGREEMENT TO EXTEND THE 2020 INTERGOVERNMENTAL
AGREEMENT FOR THE PURCHASE OF POWER SUPPLIES
AND OTHER GOODS AND SERVICES**

This Intergovernmental Agreement ("Agreement") is entered into between the signatory parties below, all Illinois municipal corporations or other governmental entities (collectively, "Members") for purposes of renewing and extending the term of the 2020 Intergovernmental Agreement for the Northern Illinois Purchasing Cooperative ("NIPC").

WHEREAS, the Members have worked cooperative to achieve economies of scale, reduced administrative burdens and improved commodity prices by purchasing goods and services, electricity, and other power supplies as a group through NIPC; and

WHEREAS, the 2020 Intergovernmental Agreement for the Purchase of Power Supplies and Other Goods and Services governing the operations of NIPC (the "NIPC IGA") has been effective in ensuring the operation of NIPC and the cooperation of its local government members for that purpose; and

WHEREAS, NIPC's member governments wish to continue their association through NIPC by extending the term of the NIPC IGA; and

WHEREAS, such cooperation is one of the purposes of the Intergovernmental Cooperation Agreement Act ("Act") (5 ILCS 220/1 *et seq.*); and

WHEREAS, this Agreement satisfies the requirements of that Act and of the Illinois State Constitution provisions authorizing Intergovernmental Agreements (Article 7, Section 10).

NOW, THEREFORE, the Members agree as follows:

1. The term of the NIPC Agreement (attached hereto as Exhibit A) which governs the operations of NIPC is hereby extended through January 31, 2030.
2. The effective date of this Agreement shall be January 31, 2025.

3. In all other respects, the attached NIPC Agreement shall remain unchanged.

4. This Agreement may be executed by all the parties in identical original duplicates and each of the duplicates shall, individually and taken together, constitute one and the same Agreement.

[SIGNATURE PAGES FOLLOW]

<p>VILLAGE OF ALGONQUIN</p> <p>By _____ Debby Sosine, President</p> <p>DATE: _____, 2025</p>	<p>ATTEST:</p> <p>_____</p> <p> Fred Martin, Clerk</p>
<p>CITY OF GENOA</p> <p>By _____ Jonathan Brust, Mayor</p> <p>DATE: _____, 2025</p>	<p>ATTEST:</p> <p>_____</p> <p> Becca Stevenson, Clerk</p>
<p>VILLAGE OF HAMPSHIRE</p> <p>By _____ Mike Reid, Jr., President</p> <p>DATE: _____, 2025</p>	<p>ATTEST:</p> <p>_____</p> <p> Karen Stuehler , Clerk</p>
<p>VILLAGE OF HUNTLEY</p> <p>By _____ Timothy J. Hoeft, Mayor</p> <p>DATE: _____, 2025</p>	<p>ATTEST:</p> <p>_____</p> <p> _____, Clerk</p>
<p>VILLAGE OF JOHNSBURG</p> <p>By _____ Edwin P. Hettermann, President</p> <p>DATE: _____, 2025</p>	<p>ATTEST:</p> <p>_____</p> <p> Claudett E. Sofiakis, Clerk</p>
<p>VILLAGE OF LAKE IN THE HILLS</p> <p>By _____ Ray Bogdanowski, President</p> <p>DATE: _____, 2025</p>	<p>ATTEST:</p> <p>_____</p> <p> Shannon DuBeau, Clerk</p>

<p>VILLAGE OF LAKEWOOD</p> <p>By _____ David Stavropoulos, President</p> <p>DATE: _____, 2025</p>	<p>ATTEST:</p> <p>_____ Jeanette LoBosco, Clerk</p>
<p>CITY OF McHENRY</p> <p>By _____ Wayne S. Jett, President</p> <p>DATE: _____, 2025</p>	<p>ATTEST:</p> <p>_____ Trisha Ramel, Clerk</p>
<p>VILLAGE OF RICHMOND</p> <p>By _____ Toni Wardanian, President</p> <p>DATE: _____, 2025</p>	<p>ATTEST:</p> <p>_____ Karla L. Thomas, Clerk</p>
<p>VILLAGE OF SPRING GROVE</p> <p>By _____ Mark Eisenberg, President</p> <p>DATE: _____, 2025</p>	<p>ATTEST:</p> <p>_____ Kelly Popelka, Village Clerk</p>
<p>CITY OF WOODSTOCK</p> <p>By _____ Michael A. Turner, Mayor</p> <p>DATE: _____, 2025</p>	<p>ATTEST:</p> <p>_____ Jane Howie, Clerk</p>
<p>WOODSTOCK FIRE AND RESCUE DISTRICT</p> <p>By _____ Fred Spitzer, President</p> <p>DATE: _____, 2025</p>	<p>ATTEST:</p> <p>_____ Robert A. Kristensen, Secretary</p>

EXHIBIT A

2020 Northern Illinois Purchasing Cooperative (“NIPC”) Intergovernmental Agreement



Village of Algonquin

The Gem of the Fox River Valley

MEMORANDUM

TO: Tim Schloneger, Village Manager
FROM: Stacey VanEnkevort, Recreation Director
DATE: February 7, 2025
SUBJECT: Algonquin Recreation Summer Concert Series

The Recreation Department is preparing for the upcoming summer events in Algonquin and the highly anticipated return of our Summer Concert Series in Towne Park. These concerts encourage participants to come to Algonquin and enjoy what the Village has to offer. Concerts will run Thursdays beginning June 19 through August 14 starting at 7:00pm-8:30pm.

Schedule of Events

<u>Date</u>	<u>Band Name</u>	<u>Music Type</u>
June 19	Reckless	Pop/Dance/Rock
June 26	Fortunate Sons	CCR Cover
July 10	Second Hand Soul Band	Soul/Funk
July 17	Rico	Santana Cover
July 24	Semple Band	Rock
July 31	Libido Funk Circus	60's to Today's Hits
August 7	Boy Band Night	90's Boy Bands
August 14	Hillbilly Rockstarz	Country

*August 21 & 28 may be used as makeup dates for inclement weather in needed

Approvals Requested

1. Pursuant to the Algonquin Municipal Code section 34.12, staff is proactively requesting a waiver to invite various food vendors to sell food and drink products during the events.
2. Pursuant to Section 11.04 of the Municipal Code, the department is seeking a waiver as it pertains to alcoholic beverages only during the duration of the concerts.
3. Pursuant to Section 31.04 of the Municipal Code, the Village Board must approve any public events in the Village, including concerts and musical performances.
4. Pursuant to Algonquin Municipal Code Section 43.10, regarding amplified sound systems, staff is requesting approval to have live and amplified music at all listed events.

If you agree, please forward to the Village Board for approval to hold these events. Thank you for your support and consideration.

C: Michael Kumbera, Deputy Village Manager
Dennis Walker, Police Chief



Village of Algonquin

The Gem of the Fox River Valley

MEMORANDUM

TO: Tim Schloneger, Village Manager
FROM: Stacey VanEnkevort, Recreation Director
DATE: February 7, 2025
SUBJECT: Algonquin Recreation Summer Events | Request for Approval and Street Closure

The Recreation Department is preparing for the upcoming summer events in Algonquin. In an effort to provide the safest possible experience for the National Night Out, Main Street will be closed to traffic. These community events encourage participants to come to Algonquin and enjoy what the Village has to offer.

Schedule of Events

- Kick off to Summer***– Wednesday, June 4th located in Spella Park
Summary: This will be a cooperative event with Algonquin Area Public Library showcasing children’s activities and a magic show starting at 6:30pm followed by a Movie in the Park showing “Dog Man” starting at 8PM. *Rain Date will be June 5th*
- Lunchalooza Children’s Concert Series** – Wednesday afternoons located at Towne Park
Summary: This is a repeat series that we host in cooperation with AAPLD, but this year we added on an additional date. These free events invite families to pack a lunch and come out to the park to enjoy a children’s singer and/or a variety act.

Dates	Entertainer	Type	Location	Time
6/25/25	Istvan and His Imaginary Band	Children’s Singer	Towne Park	11:00a-12:00p
7/9/25	Ben Tator and the Tator Tots	Children’s Singer	Towne Park	11:00-12:00p
7/23/25	Todd Dowing	Children’s Singer	Towne Park	11:00a-12:00p
8/6/25	Jeanie B!	Children’s Singer	Towne Park	11:00a-12:00p

- Unplug IL*** – Saturday, July 12th located in Towne Park
Summary: Unplug Illinois is a statewide initiative that encourages people to disconnect from their devices and reconnect with play, nature, and their community. We will be having a variety of family activities throughout the afternoon, including balloon artists, bubble stations, games and more.
- Pool Appreciation Night*** - Saturday, July 26th at Lions Armstrong Memorial Pool
Summary: This is a repeat of an annual event which is a peak of being a pool pass holder. Pool pass holders are invited to come after hours for swimming, games, live DJ, free giveaways and treats provided with the option to buy additional food, drinks or treats.

5. **National Night Out** – Tuesday, August 5th located on Main Street (with street closure)
Summary: This is our annual event with the Police Department, which expanded last year to include the Algonquin/LITH Fire Department as well. This event is a nationwide annual community-building campaign that promotes police-community partnerships and neighborhood camaraderie. This event includes live entertainment, demonstrations, activities for a variety of ages and abilities, free giveaways and more.
6. **Shakespeare in the Park***-Wednesday, August 20th in Towne Park
Summary: This will be a new event in cooperation with the Algonquin Library. It will be a live theatre showing of "Much Ado About Nothing". This will be a great addition to our event lineup that appeals to a variety of ages. **Rain Date will be August 27th**

Approvals Requested

1. Pursuant to the Algonquin Municipal Code section 34.12, staff is proactively requesting a waiver to invite various food vendors to sell food and drink products during the *events.
2. Pursuant to the Algonquin Municipal Code section 31.04, Recreation staff, with Police recommendation is requesting approval to close South Main Street (between Algonquin Road and Madison Street) during the hours of 12:00pm until the conclusion of the event approximately 8:00pm, as needed for National Night Out.
3. Pursuant to Section 31.04 of the Municipal Code, the Village Board must approve any public events in the Village, including concerts and musical performances.
4. Pursuant to Algonquin Municipal Code Section 43.10, regarding amplified sound systems, staff is requesting approval to have live and amplified music at all six listed events.

If you agree, please forward to the Village Board for approval to hold these events. Thank you for your support and consideration.

C: Michael Kumbera, Deputy Village Manager
Dennis Walker, Police Chief



VILLAGE OF ALGONQUIN
GENERAL SERVICES ADMINISTRATION

- M E M O R A N D U M -

DATE: February 10, 2025

TO: Committee of the Whole

FROM: Tim Schloneger, Village Manager

SUBJECT: *Proposed Budget – 2025/2026 - Cemetery & Swimming Pool Funds*

Attached are the proposed budgets for the cemetery and swimming pool special funds. The budgets include anticipated revenues and expenditures for fiscal year 2025/2026. Each of these special funds operates independently from the General Fund. The Swimming Pool Fund is supported by a budgeted transfer (\$248,500) from the General Fund to balance revenues and expenditures.

Interest from the monies in the Cemetery Trust Account is intended to fund the perpetual care of the property once all gravesites have been sold. The proposed expenditures for the Cemetery Fund and Swimming Pool Fund are balanced with expenditures at \$189,300 and \$375,700, respectively.

ANTICIPATED REVENUE - CEMETERY FUND - \$189,300

The Cemetery Fund operates like a true enterprise fund, in which revenues from user fees are the primary funding mechanism for operational expenditures. User fees in this fund must correspond directly to expenditures to ensure the long-term financial stability of the Algonquin Cemetery. Further, the implementation of administrative rules for the Cemetery Oversight Act requires additional performance standards and licensing fees for municipal cemeteries, which are accounted for in the fee schedule.

Estimated revenue for the Cemetery Fund includes interest, purchases of gravesites, fees for grave openings, and revenue from the telecommunications tower located on the cemetery site (rental income).

The \$1,500 under the perpetual care revenue line item is from proceeds received for the purchase of gravesites; it will be used for cemetery repair and perpetual maintenance anticipated in the future (when there are no more sales of gravesites); revenues from this source should not be spent on annual maintenance expenses.

A one-time transfer of \$134,800 from the General Fund was used to balance the Cemetery Fund this year, paying for the repair of the Mausoleum roof and the completion of the Columbarium Garden.

ESTIMATED EXPENDITURES - CEMETERY FUND \$189,300

ACCOUNT 42225, BANK PROCESSING FEES - \$300 – This line item accounts for bank processing fees for point-of-sale credit card purchases for cemetery items.

ACCOUNT 42232, ENGINEERING/DESIGN SERVICES - \$0

ACCOUNT 42234, PROFESSIONAL SERVICES - \$65,500 - This item accounts for most cemetery expenditures. It reflects the current contract for maintenance of the cemetery, which consists of all lawn mowing, weed control, trimming, snow removal, and leaf raking. When monuments or markers become so dilapidated as to disfigure the remainder of the cemetery, the Village as trustee may require to either have the markers or monuments repaired by the friends or relatives of the owner of the lot or to remove the markers. In addition to the regular annual maintenance costs, \$35,000 is included to replace the roof on the Mausoleum.

ACCOUNT 42236, INSURANCE - \$1,500 - This item identifies the portion of the liability insurance premium that is allocated to the Cemetery Fund.

ACCOUNT 42290, GRAVE OPENINGS - \$12,000 - This expenditure is estimated based on the number of grave openings anticipated throughout the fiscal year. This revenue estimation can only be based on past trends.

ACCOUNT 45593, CAPITAL IMPROVEMENT - \$110,000 – Funds are included to complete the construction of the Columbarium Garden.

SUMMARY - CEMETERY FUND

The recommendations proposed in this budget align with the amount of activity seen over the past few years. Needed maintenance can continue to improve the cemetery's appearance and respect for this facility.

ANTICIPATED REVENUE - SWIMMING POOL FUND - \$375,700

RENTAL INCOME - \$30,000 - This revenue item covers rental fees for pool parties scheduled after hours and reimbursement for staff time needed to oversee swim team and school use of the pool when the general public is not in attendance. It also includes locker rental and the use agreement with the Trails Swim Team for use of the facility.

SWIMMING ANNUAL FEES - \$30,000 – This estimate is based on past years' participation at the pool (season passes).

DAILY FEES - \$30,000 - This line item estimates the daily fees from non-pass users. The revenue typically varies from year to year due to weather conditions and temperatures during the season, but it has been reduced as a result of the pandemic.

LESSONS - \$25,000 - This account recognizes the fees collected for swim lessons, which remain one of the pool's most popular programs.

CONCESSIONS - \$12,000 - Essentially flat revenue projections based on past years' experience are expected for the sale of concessions this upcoming swim season.

INTEREST - \$0 - This account estimates the return on investment of any cash reserves accumulated within the Pool Fund.

TRANSFER FROM GENERAL FUND - \$248,500 - This item identifies the amount to be transferred from the General Fund to supplement and balance this fund. This transfer accounts for sixty-six percent (66%) of the pool revenue.

ESTIMATED EXPENDITURES – SWIMMING POOL FUND - \$343,700

PERSONNEL - \$174,600 - Personnel at the swimming pool are focused on service and safety. Personnel expenditures are one of the most significant operating costs for the swimming pool. The personnel expenditures include salaries, unemployment tax, and FICA. This year, additional funds have been included for wage increases related to the Illinois minimum wage law, as well as an employee referral program to encourage pool staff to help recruit Lifeguard positions, which has been challenging in recent years.

CONTRACTUAL SERVICES - \$59,600 - Most contractual services include utilities (gas, phone, electric, and water). Contractual services are proposed at a similar level of spending as compared to the previous year. Included this year is \$12,000 for Design and Engineering Services for a new splash pad as the current has expired its useful life. A complete replacement is recommended as much of the equipment is aged and no longer replaceable.

SUPPLIES AND MATERIALS - \$10,500 - This expenditure account includes the general operational needs for office supplies, ID supplies, software, a cash register, and pool forms.

MAINTENANCE - \$105,000 - General pool and building maintenance items such as paint, chemicals, and other supplies make up the costs under this category. The Public Works Building Services Division will continue maintaining the bath house at the pool and will bill labor and supplies (chemicals) appropriate from the 44423 account. Account 44445 provides \$3,000 for a concession door replacement and \$14,500 for the pump house roof replacement.

OTHER CHARGES - \$26,000 - These accounts cover CPR, first aid training, and the cost of concessions. Health and safety certifications for pool staff and uniform and safety items, which include bathing suits, t-shirts, first aid packs, and whistles/safety equipment, are all covered under the “Other Charges” category. The concession line item covers the purchase of concessions offered to pool customers for the entire pool season.

SUMMARY - SWIMMING POOL FUND

The Swimming Pool Fund is proposed to be balanced with required improvements and facility maintenance. With a transfer from the General Fund to cover maintenance costs, recreational swimming opportunities continue to be offered to the public in the 2025 swim season at affordable rates. Like any other park or recreational facility, recognizing market trends and consumer expectations is paramount for a successful parks and recreation program that meets the community's needs. The FY 25/26 budget, as proposed, will continue to provide aquatic recreational opportunities to our community at a good value.

Cemetery Fund

Revenues

			FY 21/22 Actual	FY 22/23 Actual	FY 23/24 Actual	FY 24/25 Q2	FY 24/25 Budget	FY 25/26 Budget
02000100	34100	Rental Income ¹	\$ 25,536.52	\$ 26,302.62	\$ 37,534.64	\$ 34,674.45	\$ 29,000.00	\$ 32,000.00
02000100	34300	Lots & Graves	13,600.00	6,800.00	4,150.00	850.00	7,000.00	5,000.00
02000100	34310	Grave Opening	14,650.00	14,950.00	9,100.00	4,450.00	12,000.00	10,000.00
02000100	34320	Perpetual Care ²	4,150.00	2,100.00	1,200.00	300.00	2,000.00	1,500.00
02000500	36001	Interest	7.70	6.31	2.61	0.47	-	-
02000500	36020	Interest - Investment Pools	353.55	8,559.81	18,836.21	10,838.85	10,900.00	6,000.00
02000500	36026	Interest - Cemetery Trust ²	20.49	58.34	140.48	71.54	100.00	-
02000500	38001	Transfer - General Fund	-	-	10,756.09	-	-	134,800.00
Cemetery Fund Total			\$ 58,318.26	\$ 58,777.08	\$ 81,720.03	\$ 51,185.31	\$ 61,000.00	\$ 189,300.00
¹ - Rental Income includes the annual rental payment for a ground lease by a wireless service provider at the cemetery.								
² - Restricted Account								

Cemetery Fund

Expenditures

			FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 24/25	FY 25/26	FY 25/26	FY 25/26
			Actual	Actual	Actual	Q2	Budget	Dept.	Manager	Budget
02400100	42225	Bank Processing Fees	\$ 297.94	\$ 103.85	\$ 45.23	\$ 51.54	\$ 300.00	\$ 300.00	\$ 300.00	\$ -
02400100	42232	Engineering/Design Services	-	-	11,416.09	825.00	6,000.00	110,222.00	-	-
02400100	42234	Professional Services	22,024.02	23,210.22	22,593.60	11,341.72	30,500.00	30,500.00	65,500.00	-
02400100	42236	Insurance	1,458.79	1,412.61	1,394.47	1,468.32	1,500.00	1,500.00	1,500.00	-
02400100	42290	Grave Opening	12,100.00	13,962.50	8,087.50	5,787.50	12,000.00	12,000.00	12,000.00	-
02400100	45593	Capital Improvement	-	-	-	-	-	-	110,000.00	-
Cemetery Fund Total			\$ 35,880.75	\$ 38,689.18	\$ 43,536.89	\$ 19,474.08	\$ 50,300.00	\$ 154,522.00	\$ 189,300.00	\$ -

Swimming Pool Fund

Revenues

			FY 21/22 Actual	FY 22/23 Actual	FY 23/24 Actual	FY 24/25 Q2	FY 24/25 Budget	FY 25/26 Budget
05000100	33030	Donations-Operating-Gen. Gov.	\$ 36.00	\$ 124.00	\$ 250.00	\$ 10.00	\$ 200.00	\$ 200.00
05000100	34100	Rental Income ¹	9,075.00	27,836.00	18,400.00	28,840.00	30,000.00	30,000.00
05000100	34500	Swimming Annual Pass	2,400.00	22,120.00	28,485.00	25,872.00	30,000.00	30,000.00
05000100	34510	Swimming Daily Fees ²	25,297.00	22,807.25	28,565.66	32,996.00	30,000.00	30,000.00
05000100	34520	Swimming Lesson Fees	2,560.00	19,930.00	20,604.00	16,064.00	20,000.00	25,000.00
05000100	34560	Concessions	766.50	8,305.61	9,908.25	12,491.50	10,000.00	12,000.00
05000500	36001	Interest	0.32	0.95	1.11	1.08	-	-
05000500	37900	Miscellaneous Revenue	-	-	-	-	-	-
05000500	38001	Transfer from General Fund	133,295.75	232,673.71	297,589.56	190,667.22	223,500.00	248,500.00
Swimming Pool Fund Total			\$ 173,430.57	\$ 333,797.52	\$ 403,803.58	\$ 306,941.80	\$ 343,700.00	\$ 375,700.00
Notes:								
¹ - Trails Swim Team contribution.								
² - Includes reduced admission for groups.								
³ - Concession revenues have been consolidated into one line item.								

Swimming Pool Fund

Expenditures

			FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 24/25	FY 25/26	FY 25/26	FY 25/26
			Actual	Actual	Actual	Q2 YTD	Budget	Dept.	Manager	Budget
Nondepartmental Personnel										
05900100	41104	FICA	\$ 3,477.80	\$ 8,080.38	\$ 10,114.69	\$ 10,207.55	\$ 11,100.00	\$ 12,250.00	\$ 12,200.00	\$ -
05900100	41105	Unemployment Tax	397.75	765.84	1,388.18	1,401.04	1,300.00	1,400.00	1,400.00	-
05900100	41110	Salaries	44,780.92	104,805.85	131,513.33	132,121.99	145,000.00	160,000.00	160,000.00	-
05900100	41140	Overtime	678.96	819.68	702.40	1,308.00	1,000.00	1,000.00	1,000.00	-
Subtotal			\$ 49,335.43	\$ 114,471.75	\$ 143,718.60	\$ 145,038.58	\$ 158,400.00	\$ 174,650.00	\$ 174,600.00	\$ -
Contractual Services										
05900100	42210	Telephone	\$ 1,815.81	\$ 2,232.10	\$ 2,169.05	\$ 1,013.91	\$ 2,800.00	\$ 3,400.00	\$ 3,400.00	\$ -
05900100	42211	Natural Gas	5,647.36	12,544.13	5,802.97	3,216.17	8,000.00	6,500.00	6,500.00	-
05900100	42212	Electric	5,466.73	2,584.42	7,699.00	5,509.96	7,500.00	7,500.00	7,500.00	-
05900100	42213	Water	7,547.46	10,116.52	14,252.76	13,343.68	15,000.00	16,000.00	16,000.00	-
05900100	42225	Bank Processing Fees	159.48	797.10	1,018.53	563.42	1,000.00	1,800.00	1,800.00	-
05900100	42234	Professional Services	120.00	316.00	270.00	573.00	8,700.00	13,383.00	13,400.00	-
05900100	42236	Insurance	7,150.00	8,222.47	9,669.22	9,349.73	11,000.00	11,000.00	11,000.00	-
Subtotal			\$ 27,906.84	\$ 36,812.74	\$ 40,881.53	\$ 33,569.87	\$ 54,000.00	\$ 59,583.00	\$ 59,600.00	\$ -
Supplies & Materials										
05900100	43308	Office Supplies	\$ 32.71	\$ 60.41	\$ 1,274.75	\$ 106.29	\$ 300.00	\$ 300.00	\$ 300.00	\$ -
05900100	43320	Tools, Equipment & Supplies	6,711.15	1,643.56	1,284.20	4,025.59	4,100.00	6,900.00	6,900.00	-
05900100	43332	Office Furniture & Equipment	-	-	-	-	-	300.00	300.00	-
05900100	43333	IT Equipment	2,470.05	-	-	-	-	3,000.00	3,000.00	-
05900100	43370	Infrastructure Maintenance	(1,425.00)	-	-	-	-	-	-	-
Subtotal			\$ 7,788.91	\$ 1,703.97	\$ 2,558.95	\$ 4,131.88	\$ 4,400.00	\$ 10,500.00	\$ 10,500.00	\$ -
Maintenance										
05900100	44423	Building Services (\$)	\$ 62,985.42	\$ 119,462.98	\$ 108,498.50	\$ 103,567.78	\$ 83,000.00	\$ 105,000.00	\$ 105,000.00	\$ -
05900100	44445	Outsourced Building Maint.	19,191.25	43,396.22	93,973.84	7,100.00	17,500.00	-	-	-
Subtotal			\$ 82,176.67	\$ 162,859.20	\$ 202,472.34	\$ 110,667.78	\$ 100,500.00	\$ 105,000.00	\$ 105,000.00	\$ -
Other Charges										
05900100	47701	Recreation Programs	\$ -	\$ 786.25	\$ 183.15	\$ 1,670.34	\$ 3,000.00	\$ 3,000.00	\$ 3,000.00	\$ -
05900100	47740	Travel/Training/Dues	4,680.73	6,742.37	4,320.00	4,256.15	6,200.00	6,000.00	6,000.00	-
05900100	47760	Uniforms & Safety Items	2,844.72	2,522.31	3,857.49	5,034.63	5,200.00	5,500.00	5,500.00	-
05900100	47800	Concession Purchases	535.37	6,900.70	7,727.28	10,139.35	12,000.00	11,500.00	11,500.00	-
Subtotal			\$ 8,060.82	\$ 16,951.63	\$ 16,087.92	\$ 21,100.47	\$ 26,400.00	\$ 26,000.00	\$ 26,000.00	\$ -
Swimming Pool Fund Total			\$ 175,268.67	\$ 332,799.29	\$ 405,719.34	\$ 314,508.58	\$ 343,700.00	\$ 375,733.00	\$ 375,700.00	\$ -
(S) indicates those line items that reimburse the Internal Service Funds.										
Note: Administrative support staff is not accounted for in Personnel line-items.										



VILLAGE OF ALGONQUIN
GENERAL SERVICES ADMINISTRATION

- M E M O R A N D U M -

DATE: February 10, 2025
TO: Committee of the Whole
FROM: Tim Schloneger, Village Manager
SUBJECT: *Proposed Budget – 2025/2026 - Water and Sewer Operating Fund*

The Water and Sewer Operating fund is a separate enterprise fund that receives no tax income since revenue is derived solely from using the Village's water and sewer services. Water, sewers, and all other utilities are businesses, regardless of who owns them. The Village's Water & Sewer utilities are businesses that happen to be owned by the government. For this reason, the fund is classified as a proper enterprise fund. It is the pure business of providing water and sewer services. The revenues and expenditures are directly related to the demand for these water and sewer services and are not supplemented by any other fund or tax dollars.

The fiscal year 2025/2026 Water and Sewer Operating Fund budget proposed estimated expenditures of \$15,340,000, which includes \$1,584,850 in loan/debt service payments and a \$3,250,850 transfer to the Water and Sewer Capital Fund.

ANTICIPATED REVENUE - WATER AND SEWER OPERATING FUND – (\$15,340,000)

Approximately \$14,345,000 is expected to be generated from water, sewer, and fixed fees. This source alone accounts for 94% of the revenue needed to operate the water and sewer system of the Village. Other revenue sources are interest on cash reserves, service charges, late charges, cell tower rental fees, and new meter sales.

PROPOSED EXPENDITURES - WATER AND SEWER OPERATING FUND – (\$15,340,000)

The expenditure format for the Water and Sewer Operating Fund separates the Water and Sewer Divisions; however, many expenditure items are split between the Water Division line items and the Sewer Division line items.

Utilities Division staff will focus on operating and maintaining the wastewater treatment plant, maintaining water and sewer distribution lines, and operating the three water treatment plants. The priority of this year's water and sewer operating budget is continued maintenance of the existing system and environmental protection of our water and sewer utility system.

PERSONNEL - (Water \$2,244,200 - Sewer \$1,905,400)

ACCOUNTS 41103, 41104, AND 41105—These accounts are calculated at the statutory rates for IMRF, FICA, and unemployment tax and are fixed according to the divisions' salaries and pay ranges.

ACCOUNT 41106, HEALTH INSURANCE - This item is budgeted to account for distributing health insurance costs to the divisions.

ACCOUNTS 41110 AND 41140, SALARIES/OVERTIME - These items include the salary for office and utility maintenance personnel with some anticipated overtime expenditures. This account consists of the existing staff of the Water and Sewer Divisions.

Potential salary increases that will be discussed under the Village's Merit Compensation Plan at the end of the budget process are included for nonunion personnel. The salaries for union personnel will depend on the current collective bargaining agreement.

WATER AND SEWER CONTRACTUAL SERVICES - (Water \$1,091,400 - Sewer \$1,257,800)

The line items under Contractual Services include those services that the Village will contract with outside vendors. These services are for the divisions' use of utilities, legal services, engineering, professional services, publications, rental equipment, and physical exams. These are generally proportioned evenly between the Water and Sewer Divisions. The proposed budget recognizes increased expenditures for contractual services primarily due to a higher liability insurance premium and outsourced additional expenses (i.e., utility locating and valve exercising).

ACCOUNT 42212, ELECTRIC – (Water \$365,300 – Sewer \$388,600)

The energy cost to run the pumps and motors for the water and sewer system is the most extensive line item under contractual services.

ACCOUNT 42225, BANK PROCESSING—(Water \$52,000—Sewer \$52,000) The water and Sewer Divisions share the cost of the lockbox system, which receives and processes billing payments.

ACCOUNT 42234, PROFESSIONAL SERVICES – (Water \$357,400 – Sewer \$344,900)

This account includes the costs for services of lab testing, valve maintenance, water system leak audit, outsourcing of utility billing, JULIE utility locating, maintenance of the SCADA system, and the state's increased fee for the sewage treatment plant NPDES fee.

ACCOUNT 42262, SLUDGE REMOVAL - Under the Sewer Division, this item covers the contract cost for sludge hauling and disposal (\$200,000) based on the estimated volume of sludge generated at the sewage treatment plant. Due to new regulations and prevailing wage mandates, the landfilling of sludge is driving the increasing cost of this line item from previous years.

SUPPLIES AND MATERIALS - (Water \$640,100 - Sewer \$605,200)

This general category of the budget covers the supplies and materials relating to the production and treatment of water and sewage. Purchasing supplies and materials include a wide range of materials, parts, tools, traffic safety equipment, chemicals, and supplies. Some of the larger purchases proposed under supplies and materials are as follows:

<u>Account #</u>	<u>100% Water Division</u>		<u>Account #</u>	<u>100% Sewer Division</u>	
43342	Softening Salt	\$23,000	43342	Ferric Chloride	\$103,000
43342	Citric Acid	\$31,500	43342	Polymer for Sludge Thickening	\$55,000
43342	Sodium Hypochlorite	\$120,000			
43342	Orthophosphate	\$55,000			
43342	Fluoride	\$9,500			

<u>Account #</u>	<u>50% Water and 50% Sewer Divisions</u>	
43317	Postage for Water & Sewer Bills and Notices	\$68,800
43348	Meters & Meter Supplies	\$222,600

MAINTENANCE - (Water \$1,060,700 - Sewer \$656,700)

This general category accounts for day-to-day maintenance requirements of the water and sewer facilities. As various parts of this system age, expenses increase to keep the facilities operating effectively. Some of the larger maintenance projects proposed for this fiscal year are as follows:

<u>Account #</u>	<u>100% Water Division</u>		<u>Account #</u>	<u>100% Sewer Division</u>	
44418	Remove & Inspect Well no. 8	\$40,000	44412	Blower 401	\$32,000
44418	Remove & Inspect Well no. 15	\$40,000	44412	Instrumentation Maintenance & Replacement	\$17,000
44418	Replace Well Meters at WTP #3	\$16,000	44412	Primary Sludge P-904 Replacement	\$16,000
44418	Install HRG System at Well #10	\$28,000	44412	Channel Grating Installation	\$30,000
44418	Install Gate at Well #13	\$11,000	44412	Laboratory A/C Unit	\$50,000
44418	Fence Replacement at Well #9	\$28,000	44412	Instrumentation Corridor Heating Unit	\$28,000
			44412	Door Replacement	\$35,500

CAPITAL EXPENDITURES - (Water \$413,300 - Sewer \$563,300)

ACCOUNT 45590, CAPITAL PURCHASES – The Water & Sewer Divisions are allocated a combined \$976,600 for: SCADA Software Upgrade and Programming Phase 3 (\$60,000 combined), and HVAC Controls - PW Facility (\$85,000 combined), Replacement Meter Van #803 (\$65,000), New Ford F150 Truck - Water Treatment (\$45,000), WWTF Cellular Coverage Phase 2 - Small Building (\$55,000), Replacement Sewer Camera Van #951 (\$300,000), and Lift Station Bypass Pump (\$125,000).

OTHER CHARGES - (Water \$32,400 - Sewer \$33,800)

Other Charges include the Water and Sewer Divisions' share of travel, training and dues, uniforms, and personnel protective equipment required by the Public Works Department.

SUMMARY - WATER AND SEWER OPERATING FUND

Maintaining safe drinking water and environmentally sound sewer services is one of the most essential responsibilities of the Village of Algonquin. As providing Water and sewer services becomes more expensive, the Village is faced with the constant challenge of balancing our interest in offering a fundamental public health service at an affordable price against the necessity of managing our systems in a financially sustainable manner.

The Water and Sewer Operating Fund budget proposes a significant contribution to maintaining and constructing our water and sewer utility assets, pursuant to the water and sewer rate and fee study. Operation and maintenance costs are increasing due to the expansion of water and sewer distribution and treatment processes and the system's continued aging.

The water and sewer operating budgets recognize the balance of operation and maintenance costs equally between the Water and Sewer Divisions (approximately 50% water—50% sewer). There is one active bond issue in the Water and Sewer Operating Fund, which will mature in 2025. Loan servicing through the Illinois Environmental Protection Agency will be present in this budget and future budgets until maturity in 2040.

The Village must continue the day-to-day operations and maintenance of this enterprise fund. Environmental Protection Agency requirements consistently tighten the quality of drinking water and sanitary sewer effluent standards. This, in turn, raises the bar on the quality of the product generated by the Water and Sewer Divisions for the benefit of our citizens.

Attachments

Water and Sewer Operating Fund

Revenues

			FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 24/25	FY 25/26
			Actual	Actual	Actual	Q2	Budget	Budget
07000400	33035	Donations - Operating - W&S	\$ 16,741.64	\$ 14,309.17	\$ 4,269.83	\$ 2,155.67	\$ 14,000.00	\$ -
07000400	33055	Donations - Capital - W&S	-	-	1,613,903.00		-	-
07000400	33235	Grants - Operating	-	-	-		-	-
07000400	33252	Grants - Capital - Public Works	-	3,300,000.00	-		-	-
07000400	34100	Rental Income ¹	88,212.52	91,247.33	89,277.79	270.00	95,000.00	100,000.00
07000400	34200	Miscellaneous Billings	-	-	-		-	-
07000400	34700	Water Fees	4,495,696.37	4,836,426.09	5,343,355.03	2,532,716.08	5,280,000.00	5,585,000.00
07000400	34710	Sewer Fees	5,944,631.38	6,427,929.49	7,060,802.02	3,333,396.87	6,980,000.00	7,385,000.00
07000400	34715	Infrastructure Fee	1,339,881.17	1,353,854.29	1,372,049.81	695,432.60	1,330,000.00	1,375,000.00
07000400	34720	Administrative Fees	3,127.88	4,212.34	5,646.67	3,131.94	3,000.00	4,000.00
07000400	34730	Late Charges	96,318.22	104,196.27	125,556.29	62,728.90	85,000.00	110,000.00
07000400	34740	Reinstatement Fees	21,716.14	17,718.11	22,228.70	11,460.50	18,000.00	20,000.00
07000400	34820	Meter Sales	96,779.00	102,132.00	127,706.00	57,268.20	60,000.00	100,000.00
07000500	36001	Interest	1,244.53	14,359.73	32,736.64	17,747.24	20,000.00	21,000.00
07000500	36020	Interest - Investment Pools	22,549.21	344,947.17	731,138.61	429,853.21	400,000.00	600,000.00
07000400	37100	Restitution	(1,162.69)	10,000.00	430.00	1,400.00	-	-
07000500	37110	Insurance Claims	3,137.79	-	19,897.01	1,167.01	-	-
07000500	37900	Miscellaneous Revenue	-	-	-	-	-	-
07000400	37905	Sale of Surplus Property	47,204.45	69,012.50	88,243.08	3,687.61	45,000.00	40,000.00
Water & Sewer Operating Fund Total			\$ 11,216,317.41	\$ 12,176,077.61	\$ 16,637,240.48	\$ 7,152,415.83	\$ 14,330,000.00	\$ 15,340,000.00
Actual figures have been adjusted, per auditor.								
¹ - Accounts for rental from wireless service providers for tower rental fees.								

Water and Sewer Operating Fund

Total Expenses

			FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 24/25	FY 25/26	FY 25/26	FY 25/26
			Actual	Actual	Actual	Q2	Budget	Dept.	Manager	Budget
07700400		Water Division Total	\$ 3,453,545.53	\$ 3,582,989.16	\$ 4,316,044.80	\$ 2,234,114.69	\$ 4,820,300.00	\$ 5,413,780.71	\$ 5,482,100.00	\$ -
07800400		Sewer Division Total	2,974,532.92	3,022,316.08	3,576,762.48	2,113,222.97	4,783,300.00	4,958,185.09	5,022,200.00	-
07080400	46700	IEPA Loan Principal Expense								
		<i>W1750 - Stage 2 Utilities</i>	-	124,293.55	126,591.07	-	129,000.00	131,315.00	131,315.00	
		<i>W1840 - Phase 6B WWTF</i>	-	634,512.10	701,640.77	-	715,750.00	730,135.00	730,135.00	
		<i>W1950 - Stage 3 Utilities</i>	-	271,180.31	276,631.03	-	282,200.00	287,865.00	287,865.00	
07080400	46701	IEPA Loan Interest Expense								
		<i>W1750 - Stage 2 Utilities</i>	52,451.33	47,558.53	43,436.57	-	43,150.00	40,730.00	40,730.00	
		<i>W1840 - Phase 6B WWTF</i>	305,215.00	403,862.00	303,376.06	-	303,250.00	288,840.00	288,840.00	
		<i>W1950 - Stage 3 Utilities</i>	108,530.50	120,385.78	114,889.63	-	111,700.00	105,965.00	105,965.00	
07080400	46680	Bond Principal Payment	755,000.00	770,000.00	815,000.00	-	830,000.00	-	-	
07080400	46681	Bond Interest Expense	85,172.41	62,484.91	39,272.41	-	27,000.00	-	-	
07080400	46682	Bond Fees	428.00	428.00	802.50	-	550.00	-	-	
07800500	48012	Transfer to W/S Capital	1,339,881.17	4,525,043.68	1,372,049.81	695,432.60	4,880,000.00	3,375,000.00	3,250,850.00	
Subtotal			\$ 9,074,756.86	\$ 13,565,054.10	\$ 11,686,497.13	\$ 5,042,770.26	\$ 16,926,200.00	\$ 15,331,815.81	\$ 15,340,000.00	\$ -
Non Budgeted Expense										
07800400	46702	ARO Amortization	\$ 8,409.00	\$ 8,409.00	\$ 8,409.00	\$ -	\$ -	\$ -	\$ -	\$ -
07700400	47853	Pension Expense W/S	(305,005.00)	43,007.00	(154,534.00)	-	-	-	-	-
07800400	47853	Pension Expense W/S	(271,539.00)	37,081.00	(134,710.00)	-	-	-	-	-
07700400	47854	OPEB Expense W/S	19,113.83	7,909.00	7,411.00	-	-	-	-	-
07800400	47854	OPEB Expense W/S	15,449.33	6,313.00	6,559.00	-	-	-	-	-
07800400	47785	Depreciation Expense	4,321,559.00	4,305,289.00	4,220,940.00	-	-	-	-	-
07700400	47790	Interest Expense	-	-	2,599.83	-	-	-	-	-
07800400	47790	Interest Expense	-	-	226.00	-	-	-	-	-
07700400	47795	Lease Amortization Expense	-	12,453.16	21,683.93	-	-	-	-	-
07800400	47795	Lease Amortization Expense	-	7,772.25	7,662.76	-	-	-	-	-
Subtotal			\$ 3,787,987.16	\$ 4,428,233.41	\$ 3,986,247.52	\$ -	\$ -	\$ -	\$ -	\$ -
Water and Sewer Operating Fund Total			\$ 12,862,744.02	\$ 17,993,287.51	\$ 15,672,744.65	\$ 5,042,770.26	\$ 16,926,200.00	\$ 15,331,815.81	\$ 15,340,000.00	\$ -
Depreciation Expense, which is an adjustment made by the auditors each year, has been moved from the Sewer Division budget to this summary budget.										

			FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 24/25	FY 25/26	FY 25/26	FY 25/26
			Actual	Actual	Actual	Q2	Budget	Dept.	Manager	Budget
Personnel										
07700400	41103	IMRF	\$ 130,941.71	\$ 118,685.76	\$ 112,767.78	\$ 59,202.98	\$ 129,000.00	\$ 145,000.00	\$ 153,000.00	\$ -
07700400	41104	FICA	88,323.23	98,428.25	103,642.47	56,701.67	122,000.00	124,000.00	126,000.00	-
07700400	41105	Unemployment Tax	1,337.28	2,295.73	2,195.34	244.14	2,500.00	3,000.00	3,000.00	-
07700400	41106	Health Insurance	186,506.50	200,924.97	202,896.92	114,551.47	240,000.00	265,000.00	265,000.00	-
07700400	41110	Salaries	1,170,981.04	1,310,480.75	1,368,078.21	738,868.37	1,530,000.00	1,620,000.00	1,630,000.00	-
07700400	41140	Overtime	51,640.84	51,611.25	49,482.64	24,234.01	64,000.00	67,200.00	67,200.00	-
Subtotal			\$ 1,629,730.60	\$ 1,782,426.71	\$ 1,839,063.36	\$ 993,802.64	\$ 2,087,500.00	\$ 2,224,200.00	\$ 2,244,200.00	\$ -
Contractual Services										
07700400	42210	Telephone	\$ 17,784.34	\$ 18,788.79	\$ 17,574.87	\$ 7,486.70	\$ 26,400.00	\$ 26,885.71	\$ 24,800.00	\$ -
07700400	42211	Natural Gas	23,802.59	30,713.99	15,922.79	4,095.81	43,000.00	43,000.00	43,000.00	-
07700400	42212	Electric	266,462.15	182,011.34	348,430.02	140,497.96	339,900.00	365,240.00	365,300.00	-
07700400	42215	Radio Communications	8,748.10	10,279.85	6,795.06	(715.27)	3,400.00	3,685.00	3,700.00	-
07700400	42225	Bank Processing Fees	36,767.47	38,113.11	44,908.66	23,447.51	42,000.00	52,000.00	52,000.00	-
07700400	42226	ACH Rebate	27,590.00	29,175.50	30,917.50	16,145.50	28,000.00	32,400.00	32,400.00	-
07700400	42230	Legal Services	277.50	231.25	3,158.45	-	4,000.00	4,000.00	4,000.00	-
07700400	42231	Audit Services	6,179.22	6,293.25	6,712.50	5,595.00	6,900.00	7,075.00	7,100.00	-
07700400	42232	Engineering Services	4,750.00	1,618.83	-	-	4,000.00	4,000.00	4,000.00	-
07700400	42234	Professional Services	357,729.89	355,267.65	334,343.58	182,798.77	376,500.00	357,390.00	357,400.00	-
07700400	42236	Insurance	110,930.02	106,717.30	142,129.07	131,189.95	156,000.00	162,000.00	162,000.00	-
07700400	42242	Publications	836.03	580.60	664.97	444.50	1,100.00	1,100.00	1,100.00	-
07700400	42243	Printing & Advertising	3,990.62	4,097.33	8,250.39	338.57	4,600.00	1,100.00	1,100.00	-
07700400	42260	Physical Exams	559.33	365.00	533.31	306.36	1,600.00	1,600.00	1,600.00	-
07700400	42270	Equipment Rental	-	303.75	270.00	-	1,000.00	1,000.00	1,000.00	-
07700400	42272	Principal Lease Payments	13,996.99	4,615.69	7,013.02	15,974.58	26,400.00	30,900.00	30,900.00	-
Subtotal			\$ 880,404.25	\$ 789,173.23	\$ 967,624.19	\$ 527,605.94	\$ 1,064,800.00	\$ 1,093,375.71	\$ 1,091,400.00	\$ -
Supplies & Materials										
07700400	43308	Office Supplies	\$ 41.89	\$ 332.00	\$ 436.31	\$ -	\$ 500.00	\$ 500.00	\$ 500.00	\$ -
07700400	43309	Materials	14,985.94	26,046.80	46,993.24	8,129.63	59,000.00	49,000.00	49,000.00	-
07700400	43317	Postage	27,828.72	29,954.93	33,286.71	18,027.02	34,400.00	34,400.00	34,400.00	-
07700400	43320	Tools, Equipment & Supplies	12,716.30	11,530.32	12,878.66	38,614.88	44,700.00	25,500.00	25,500.00	-
07700400	43332	Office Furniture & Equipment	4,347.00	12,203.05	317.33	3,022.63	-	-	-	-
07700400	43333	IT Equipment	69,448.46	76,045.28	82,786.20	64,804.16	159,100.00	140,720.00	142,900.00	-
07700400	43340	Fuel (S)	15,924.54	26,526.58	24,365.44	9,165.02	19,000.00	20,000.00	20,000.00	-
07700400	43342	Chemicals	232,121.37	240,310.83	265,823.84	119,861.02	233,600.00	243,100.00	243,100.00	-
07700400	43345	Lab Supplies	7,606.24	20,656.08	14,768.19	7,223.46	12,400.00	13,400.00	13,400.00	-
07700400	43348	Meters & Meter Supplies	26,756.34	73,137.51	51,760.04	36,107.86	79,800.00	111,300.00	111,300.00	-
Subtotal			\$ 411,776.80	\$ 516,743.38	\$ 533,415.96	\$ 304,955.68	\$ 642,500.00	\$ 637,920.00	\$ 640,100.00	\$ -
Maintenance										
07700400	44410	Booster Station	\$ 4,041.36	\$ 18,154.43	\$ 6,398.68	\$ 28,316.33	\$ 59,900.00	\$ 67,595.00	\$ 67,600.00	\$ -
07700400	44411	Storage Facility	20,225.82	48,054.26	70,963.30	86,154.29	136,500.00	109,500.00	109,500.00	-
07700400	44412	Treatment Facility	66,478.66	37,200.02	65,433.07	53,860.40	76,800.00	525,220.00	305,200.00	-
07700400	44415	Distribution System	87,331.50	98,392.89	99,922.30	19,060.36	165,500.00	160,160.00	160,200.00	-
07700400	44418	Wells	150,862.61	56,295.68	60,204.26	47,293.40	94,600.00	186,770.00	186,800.00	-
07700400	44420	Vehicle Maintenance (S)	55,217.83	51,340.97	60,888.21	23,540.87	51,000.00	59,000.00	59,000.00	-
07700400	44421	Equipment Maintenance (S)	38,330.67	42,209.14	26,913.93	15,071.95	52,000.00	49,000.00	49,000.00	-
07700400	44423	Building Services (S)	87,979.21	112,229.59	94,240.89	53,019.06	143,000.00	123,000.00	123,000.00	-
07700400	44426	Office Equipment Maintenance	313.29	410.46	390.39	83.82	400.00	400.00	400.00	-
Subtotal			\$ 510,780.95	\$ 464,287.44	\$ 485,355.03	\$ 326,400.48	\$ 779,700.00	\$ 1,280,645.00	\$ 1,060,700.00	\$ -
Capital Expenditures										
07700400	43335	Vehicles & Equipment	\$ -	\$ 7,500.00	\$ -	\$ 16,839.25	\$ 35,000.00	\$ -	\$ 10,800.00	\$ -
07700400	45590	Capital Purchase	-	(0.01)	-	54,250.00	180,000.00	140,000.00	182,500.00	-
07700400	45593	Capital Improvement	-	-	467,265.00	-	-	-	220,000.00	-
Subtotal			\$ -	\$ 7,499.99	\$ 467,265.00	\$ 71,089.25	\$ 215,000.00	\$ 140,000.00	\$ 413,300.00	\$ -
Other Charges										
07700400	47740	Travel/Training/Dues	\$ 7,997.69	\$ 11,597.25	\$ 8,287.03	\$ 1,355.81	\$ 11,800.00	\$ 17,640.00	\$ 12,400.00	\$ -
07700400	47760	Uniforms & Safety Items	10,983.80	8,171.25	7,698.58	5,476.40	11,800.00	12,400.00	12,400.00	-
07700600	47790	Interest Lease Expense	1,871.44	3,089.91	7,335.65	3,428.49	7,200.00	7,600.00	7,600.00	-
Subtotal			\$ 20,852.93	\$ 22,858.41	\$ 23,321.26	\$ 10,260.70	\$ 30,800.00	\$ 37,640.00	\$ 32,400.00	\$ -
Water Total			\$ 3,453,545.53	\$ 3,582,989.16	\$ 4,316,044.80	\$ 2,234,114.69	\$ 4,820,300.00	\$ 5,413,780.71	\$ 5,482,100.00	\$ -
Non Budgeted Expense										
07700400	47853	Pension Expense W/S	\$ (305,005.00)	\$ 43,007.00	\$ (154,534.00)	\$ -	\$ -	\$ -	\$ -	\$ -
07700400	47854	OPEB Expense W/S	19,113.83	7,909.00	7,411.00	-	-	-	-	-
07700400	47790	Interest Expense	-	-	2,599.83	-	-	-	-	-
07700400	47795	Lease Amortization Expense	-	12,453.16	21,683.93	-	-	-	-	-
Water Total (Audited)			\$ 3,167,654.36	\$ 3,646,358.32	\$ 4,193,205.56	\$ 2,234,114.69	\$ 4,820,300.00	\$ 5,413,780.71	\$ 5,482,100.00	\$ -

			FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 24/25	FY 25/26	FY 25/26	FY 25/26
			Actual	Actual	Actual	Q2	Budget	Dept.	Manager	Budget
Personnel										
07800400	41103	IMRF	\$ 119,241.94	\$ 96,789.52	\$ 101,117.03	\$ 52,134.81	\$ 115,000.00	\$ 124,000.00	\$ 133,000.00	\$ -
07800400	41104	FICA	80,603.13	80,303.08	93,240.78	49,891.31	110,000.00	105,000.00	107,000.00	-
07800400	41105	Unemployment Tax	1,391.67	2,212.35	2,188.30	161.33	2,500.00	2,500.00	2,500.00	-
07800400	41106	Health Insurance	150,749.53	172,036.41	199,826.33	107,823.28	231,000.00	235,000.00	235,000.00	-
07800400	41110	Salaries	1,034,582.50	1,062,038.30	1,233,092.62	650,237.45	1,340,000.00	1,387,000.00	1,388,000.00	-
07800400	41140	Overtime	51,760.16	32,158.16	40,552.05	18,389.10	37,500.00	39,900.00	39,900.00	-
Subtotal			\$ 1,438,328.93	\$ 1,445,537.82	\$ 1,670,017.11	\$ 878,637.28	\$ 1,836,000.00	\$ 1,893,400.00	\$ 1,905,400.00	\$ -
Contractual Services										
07800400	42210	Telephone	\$ 20,814.68	\$ 17,525.82	\$ 13,933.98	\$ 6,430.70	\$ 21,600.00	\$ 26,490.71	\$ 25,100.00	\$ -
07800400	42211	Natural Gas	38,089.17	34,967.83	17,697.81	9,743.74	41,200.00	38,200.00	38,200.00	-
07800400	42212	Electric	295,856.01	177,997.73	410,702.79	139,556.61	388,600.00	388,600.00	388,600.00	-
07800400	42215	Radio Communications	8,748.10	10,279.85	6,795.06	(715.27)	3,200.00	3,685.00	3,700.00	-
07800400	42225	Bank Processing Fees	36,767.49	38,113.12	44,908.70	23,447.55	42,000.00	52,000.00	52,000.00	-
07800400	42226	ACH Rebate	27,713.00	29,302.50	31,047.50	16,215.50	28,000.00	32,400.00	32,400.00	-
07800400	42230	Legal Services	185.00	-	2,150.62	-	4,000.00	4,000.00	4,000.00	-
07800400	42231	Audit Services	6,179.22	6,293.25	6,712.50	5,595.00	6,900.00	7,075.00	7,100.00	-
07800400	42232	Engineering Services	56,856.64	62,875.67	-	-	4,000.00	4,000.00	4,000.00	-
07800400	42234	Professional Services	208,543.69	246,306.01	251,367.48	171,400.79	339,300.00	344,900.00	344,900.00	-
07800400	42236	Insurance	101,130.32	99,757.12	119,319.32	130,183.40	131,000.00	136,000.00	136,000.00	-
07800400	42242	Publications	444.50	768.50	543.43	444.50	1,100.00	1,100.00	1,100.00	-
07800400	42243	Printing & Advertising	825.05	733.81	866.56	338.57	1,100.00	1,100.00	1,100.00	-
07800400	42260	Physical Exams	694.33	1,470.00	217.31	206.36	1,600.00	1,600.00	1,600.00	-
07800400	42262	Sludge Removal	90,546.85	95,768.70	111,699.50	46,397.25	191,500.00	200,000.00	200,000.00	-
07800400	42270	Equipment Rental	-	4.74	1,168.56	50.52	1,500.00	1,180.00	1,200.00	-
07800400	42272	Principal Lease Payments	9,190.07	4,263.96	8,830.90	8,057.69	11,600.00	16,800.00	16,800.00	-
Subtotal			\$ 902,584.12	\$ 826,428.61	\$ 1,027,962.02	\$ 557,352.91	\$ 1,218,200.00	\$ 1,259,130.71	\$ 1,257,800.00	\$ -
Supplies & Materials										
07800400	43308	Office Supplies	\$ 129.49	\$ 401.03	\$ 290.79	\$ -	\$ 500.00	\$ 500.00	\$ 500.00	\$ -
07800400	43309	Materials	362.28	-	19,207.45	-	36,000.00	40,500.00	40,500.00	-
07800400	43317	Postage	28,040.76	29,954.85	33,602.29	17,989.88	34,400.00	34,400.00	34,400.00	-
07800400	43320	Tools, Equipment & Supplies	13,190.54	13,999.81	13,929.60	24,206.70	43,700.00	158,900.00	33,900.00	-
07800400	43332	Office Furniture & Equipment	801.68	6,458.74	12,639.39	2,963.30	-	-	-	-
07800400	43333	IT Equipment	66,474.14	72,039.54	86,048.68	67,805.78	249,300.00	160,780.00	160,800.00	-
07800400	43340	Fuel (S)	23,375.37	29,112.64	22,860.62	10,134.24	24,000.00	25,000.00	25,000.00	-
07800400	43342	Chemicals	92,262.55	118,709.29	101,574.18	43,429.51	163,700.00	170,200.00	170,200.00	-
07800400	43345	Lab Supplies	6,399.23	16,592.41	32,601.74	40,391.21	37,600.00	28,600.00	28,600.00	-
07800400	43348	Meters & Meter Supplies	10,473.13	70,341.33	51,559.79	35,434.85	79,800.00	111,300.00	111,300.00	-
Subtotal			\$ 241,509.17	\$ 357,609.64	\$ 374,314.53	\$ 242,355.47	\$ 669,000.00	\$ 730,180.00	\$ 605,200.00	\$ -
Maintenance										
07800400	44412	Treatment Facility	\$ 85,467.97	\$ 100,596.50	\$ 189,505.71	\$ 149,554.62	\$ 328,400.00	\$ 269,100.00	\$ 269,100.00	\$ -
07800400	44414	Lift Station Maintenance	37,867.98	43,457.13	57,636.50	11,156.38	102,700.00	114,200.00	114,200.00	-
07800400	44416	Collection System Maintenance	61,782.50	36,067.43	10,517.96	-	23,500.00	31,000.00	31,000.00	-
07800400	44420	Vehicle Maintenance (S)	51,018.38	43,275.37	47,303.04	35,260.98	52,000.00	50,000.00	50,000.00	-
07800400	44421	Equipment Maintenance (S)	24,944.12	38,750.53	46,924.02	21,496.19	51,000.00	50,900.00	50,900.00	-
07800400	44423	Building Services (S)	114,714.43	108,277.81	99,925.40	73,930.26	147,000.00	141,000.00	141,000.00	-
07800400	44426	Office Equipment Maintenance	348.21	458.66	497.15	117.17	500.00	474.38	500.00	-
Subtotal			\$ 376,143.59	\$ 370,883.43	\$ 452,309.78	\$ 291,515.60	\$ 705,100.00	\$ 656,674.38	\$ 656,700.00	\$ -
Capital Expenditures										
07800400	43335	Vehicles & Equipment	\$ -	\$ 7,500.00	\$ 26,821.00	\$ 16,839.25	\$ 35,000.00	\$ -	\$ 10,800.00	\$ -
07800400	45590	Capital Purchase	-	(0.01)	-	116,549.00	298,000.00	385,000.00	552,500.00	-
07800400	45597	Capital Lease Payment	-	-	-	-	-	-	-	-
Subtotal			\$ -	\$ 7,499.99	\$ 26,821.00	\$ 133,388.25	\$ 333,000.00	\$ 385,000.00	\$ 563,300.00	\$ -
Other Charges										
07800400	47740	Travel/Training/Dues	\$ 3,810.30	\$ 3,578.21	\$ 11,266.27	\$ 2,449.71	\$ 9,700.00	\$ 15,900.00	\$ 15,900.00	\$ -
07800400	47760	Uniforms & Safety Items	10,651.81	7,832.54	9,905.18	5,839.99	8,500.00	11,400.00	11,400.00	-
07800600	47790	Interest Lease Expense	1,505.00	2,945.84	4,166.59	1,683.76	3,800.00	6,500.00	6,500.00	-
Subtotal			\$ 15,967.11	\$ 14,356.59	\$ 25,338.04	\$ 9,973.46	\$ 22,000.00	\$ 33,800.00	\$ 33,800.00	\$ -
Sewer Total			\$ 2,974,532.92	\$ 3,022,316.08	\$ 3,576,762.48	\$ 2,113,222.97	\$ 4,783,300.00	\$ 4,958,185.09	\$ 5,022,200.00	\$ -
Non Budgeted Expense										
07800400	46702	ARO Amortization	\$ 8,409.00	\$ 8,409.00	\$ 8,409.00	\$ -	\$ -	\$ -	\$ -	\$ -
07800400	47853	Pension Expense W/S	(271,539.00)	37,081.00	(134,710.00)	-	-	-	-	-
07800400	47854	OPEB Expense W/S	15,449.33	6,313.00	6,559.00	-	-	-	-	-
07800400	47790	Interest Expense	-	-	226.00	-	-	-	-	-
07800400	47795	Lease Amortization Expense	-	7,772.25	7,662.76	-	-	-	-	-
Sewer Total (Audited)			\$ 2,726,852.25	\$ 3,081,891.33	\$ 3,464,909.24	\$ 2,113,222.97	\$ 4,783,300.00	\$ 4,958,185.09	\$ 5,022,200.00	\$ -



VILLAGE OF ALGONQUIN
GENERAL SERVICES ADMINISTRATION

- M E M O R A N D U M -

DATE: February 10, 2025
TO: Committee of the Whole
FROM: Tim Schloneger, Village Manager
SUBJECT: Proposed Budget – 2025/2026 – Building Services Fund

Building Services is a division in Public Works, and this fund functions like the Vehicle Maintenance Service Fund. The Building Services Fund was established to allow the building maintenance staff to plan routine maintenance procedures, generate more accurate staffing levels, and provide budgeting information reflective of the demand placed on each department and division of the Village for building maintenance. All equipment, supplies, and labor incurred with the maintenance of municipal buildings are estimated and then allocated to each department based on the facilities used by each department or division. This inter-service fund more accurately reflects the true costs of operating each department and division of the Village by including what is commonly called “building overhead” in each department’s respective budget.

ANTICIPATED REVENUE - \$1,116,000

The only source of revenue is the payment (reimbursement) from all Village departments for the maintenance of their buildings and ancillary facilities.

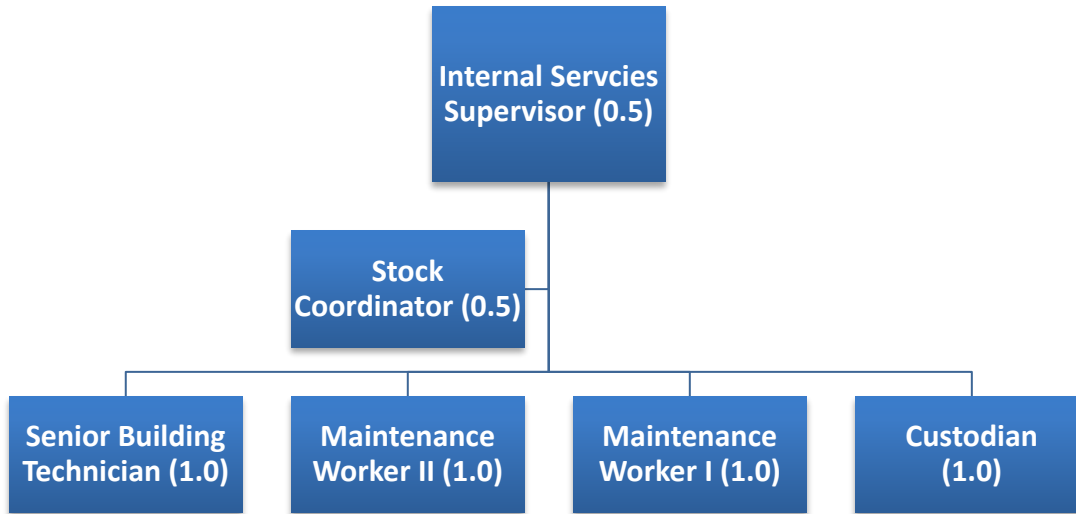
PROPOSED EXPENDITURES - \$1,116,000

PERSONNEL - \$579,000

The line items under this category cover the statutory rates for IMRF, FICA, and unemployment tax and the appropriate distributions of health insurance costs for employees within the Building Services Fund. The employees allocated to this fund are dedicated to the:

1. general administration & management
2. operations and maintenance
3. energy utilities and environmental stewardship
4. planning and minor construction repairs of our facilities

These employees work to increase the operational efficiency of our facilities and reduce the overall inventory, square footage, and building ownership costs.



CONTRACTUAL SERVICES – \$36,600

The line items under contractual services include those services that the Village will contract with outside vendors. These line items cover the Building Services Division’s portion of utility expenses, repeater lines, cleaning services, publications (such as safety manuals), printing, and lease payments for vehicles.

SUPPLIES AND MATERIALS - \$192,100

These line items cover the purchase of building supplies (paper towels, cleaning items, etc.) and equipment (plumbing, HVAC, etc.) needed to maintain the facilities the Village uses. These products are purchased within the service fund as inventory. When the products are used for any of the Village’s departments, the supplies and labor are charged to the particular department (via a shop ticket) as a building maintenance expense. Each department will contribute their fair share of the cost for these supplies and materials, which are accounted for in the revenue side of the Building Services Fund.

MAINTENANCE \$288,300

These line items (except for item 44445) cover the maintenance expenses used within the Building Services Division. Line item 44445 (outsourced building maintenance) covers the costs of outsourcing building or equipment maintenance to an outside vendor for repairs, such as cleaning services and HVAC control maintenance. The specific department or departments will be charged for outsourcing the repair for their building space, as is done with in-house maintenance.

CAPITAL EXPENDITURES - \$0

No funds are budgeted.

OTHER CHARGES - \$20,000

Other charges include the Division’s share of travel, training, and dues for professional organizations, as well as uniforms and safety equipment needed by Maintenance personnel.

SUMMARY – BUILDING SERVICES FUND

The Building Services Fund is a self-balancing fund, with the expenditures being offset by the revenues generated from each department of the Village. The charges to each department are based on the building maintenance and supply needs of that specific department. Although facilities continue to age, there are no major capital improvements planned. The

maintenance of the Village's facilities is an investment that must be sustained to ensure long-term benefit for employees and residents. This will translate into improved public services to the citizens of the Village in the long run.

Building Services Fund

Revenues

			FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 24/25	FY 25/26
			Actual	Actual	Actual	Q2	Budget	Budget
28	33160	Donations	\$ 1,761.34	\$ 160.00	\$ 180.00	\$ 90.00	\$ -	\$ -
28	34900	Building Services Billings	789,627.43	947,847.02	981,570.40	605,766.29	1,133,700.00	1,116,000.00
28	37110	Insurance Claims	-	-	-	-	-	-
28	37900	Miscellaneous Revenue	-	-	-	-	-	-
28	37905	Sale of Surplus Property	19,680.63	7,515.63	-	-	-	-
Building Services Fund Total			\$ 811,069.40	\$ 955,522.65	\$ 981,750.40	\$ 605,856.29	\$ 1,133,700.00	\$ 1,116,000.00

Building Services Fund

Expenses

			FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 24/25	FY 25/26	FY 25/26	FY 25/26
			Actual	Actual	Actual	Q2 YTD	Budget	Dept.	Manager	Budget
Personnel										
28900000	41103	IMRF	\$ 27,979.89	\$ 27,812.29	\$ 29,373.19	\$ 16,146.97	\$ 34,000.00	\$ 40,000.00	\$ 40,000.00	\$ -
28900000	41104	FICA	21,339.27	23,380.99	26,879.05	15,386.55	31,000.00	34,000.00	34,000.00	-
28900000	41105	Unemployment Tax	537.41	576.61	713.48	-	800.00	900.00	1,000.00	-
28900000	41106	Health Insurance	42,844.05	58,504.16	68,700.07	34,861.60	83,000.00	65,000.00	65,000.00	-
28900000	41110	Salaries	272,440.07	303,704.44	348,925.21	197,947.87	395,000.00	425,000.00	425,000.00	-
28900000	41140	Overtime	11,793.92	12,303.40	13,449.89	8,439.16	13,000.00	14,000.00	14,000.00	-
Subtotal			\$ 376,934.61	\$ 426,281.89	\$ 488,040.89	\$ 272,782.15	\$ 556,800.00	\$ 578,900.00	\$ 579,000.00	\$ -
Contractual Services										
28900000	42210	Telephone	\$ 4,435.97	\$ 4,990.47	\$ 4,360.12	\$ 1,903.33	\$ 8,000.00	\$ 7,006.00	\$ 7,100.00	\$ -
28900000	42215	Radio Communications	8,748.10	10,279.85	6,795.06	(715.93)	3,200.00	3,685.00	3,700.00	-
28900000	42234	Professional Services	589.50	6,138.89	1,002.79	130.00	1,400.00	1,500.00	1,500.00	-
28900000	42242	Publications	-	-	-	-	300.00	300.00	300.00	-
28900000	42243	Printing & Advertising	-	-	50.00	-	600.00	550.00	550.00	-
28900000	42260	Physical Exams	672.50	50.00	-	-	200.00	150.00	150.00	-
28900000	42270	Equipment Rental	-	120.00	-	-	500.00	500.00	500.00	-
28900000	42272	Principal Lease Payments	10,050.56	15,084.78	16,898.08	7,818.84	12,200.00	22,800.00	22,800.00	-
Subtotal			\$ 24,496.63	\$ 36,663.99	\$ 29,106.05	\$ 9,136.24	\$ 26,400.00	\$ 36,491.00	\$ 36,600.00	\$ -
Supplies & Materials										
28900000	43308	Office Supplies	\$ -	\$ 566.39	\$ -	\$ -	\$ 200.00	\$ 225.00	\$ 250.00	\$ -
28900000	43317	Postage	293.72	26.19	-	36.70	500.00	500.00	500.00	-
28900000	43319	Building Supplies	143,162.80	188,451.27	187,707.22	125,441.43	\$ 158,000.00	168,500.00	178,500.00	-
28900000	43320	Tools, Equipment & Supplies	2,870.04	2,248.64	3,194.39	5,764.36	8,300.00	3,800.00	3,800.00	-
28900000	43332	Office Furniture & Equipment	-	2,375.01	-	-	-	-	-	-
28900000	43333	IT Equipment	7,998.98	3,632.75	3,975.65	1,489.60	2,200.00	880.00	5,750.00	-
28900000	43340	Fuel (S)	1,478.13	3,604.47	2,666.44	1,051.58	3,000.00	3,300.00	3,300.00	-
Subtotal			\$ 155,803.67	\$ 200,904.72	\$ 197,543.70	\$ 133,783.67	\$ 172,200.00	\$ 177,205.00	\$ 192,100.00	\$ -
Maintenance										
28900000	44420	Vehicle Maintenance (S)	\$ 3,192.23	\$ 2,360.04	\$ 2,664.70	\$ 1,377.00	\$ 5,000.00	\$ 2,500.00	\$ 2,500.00	\$ -
28900000	44421	Equipment Maintenance (S)	644.50	4,144.91	818.10	1,915.88	3,000.00	3,000.00	3,000.00	-
28900000	44426	Office Equipment Maintenance	485.79	600.73	590.39	299.82	600.00	5,470.00	700.00	-
28900000	44445	Outsourced Building Maint. (S)	276,319.51	296,676.51	291,002.29	206,951.88	273,500.00	1,198,715.00	282,100.00	-
Subtotal			\$ 280,642.03	\$ 303,782.19	\$ 295,075.48	\$ 210,544.58	\$ 282,100.00	\$ 1,209,685.00	\$ 288,300.00	\$ -
Capital Expenditures										
28900000	43335	Vehicles & Equipment	\$ -	\$ -	\$ -	\$ 13,177.39	\$ 81,000.00	\$ -	\$ -	\$ -
Subtotal			\$ -	\$ -	\$ -	\$ 13,177.39	\$ 81,000.00	\$ -	\$ -	\$ -
Other Charges										
28900000	47740	Travel, Training & Dues	\$ 1,241.25	\$ 1,702.42	\$ 803.41	\$ -	\$ 5,500.00	\$ 5,500.00	\$ 5,500.00	\$ -
28900000	47760	Uniforms & Safety Items	3,401.76	3,163.11	4,725.62	2,594.89	6,300.00	6,675.00	6,700.00	-
28900000	47790	Interest Lease Expense	1,409.19	3,646.96	5,752.87	1,586.68	3,400.00	7,800.00	7,800.00	-
Subtotal			\$ 6,052.20	\$ 8,512.49	\$ 11,281.90	\$ 4,181.57	\$ 15,200.00	\$ 19,975.00	\$ 20,000.00	\$ -
Building Services Fund Total			\$ 843,929.14	\$ 976,145.28	\$ 1,021,048.02	\$ 643,605.60	\$ 1,133,700.00	\$ 2,022,256.00	\$ 1,116,000.00	\$ -
Non Budgeted Expense										
28900000	42272	GASB 87 Principal Lease Payments	\$ -	\$ (14,339.11)	\$ (16,417.78)	\$ -	\$ -	\$ -	\$ -	\$ -
28900000	47776	Parts Cost of Sales Variance	(32,859.74)	(39,156.95)	(38,119.07)	(37,749.31)	-	-	-	-
28900000	47780	Depreciation Expense	-	-	-	-	-	-	-	-
28900000	47795	Lease Amortization Expense	-	13,979.83	15,239.23	-	-	-	-	-
Total (Audited)			\$ 811,069.40	\$ 936,629.05	\$ 981,750.40	\$ 605,856.29	\$ 1,133,700.00	\$ 2,022,256.00	\$ 1,116,000.00	\$ -

(S) indicates those line items that reimburse Internal Service Funds.



VILLAGE OF ALGONQUIN
GENERAL SERVICES ADMINISTRATION

- M E M O R A N D U M -

DATE: February 10, 2025

TO: Committee of the Whole

FROM: Tim Schloneger, Village Manager

SUBJECT: Proposed Budget – 2025/2026 – Vehicle Maintenance Service Fund

The Vehicle Maintenance Service Fund is established to account for all the vehicle and equipment maintenance necessary across all departments of the Village. Fuel, parts, and labor expenses incurred in the Village’s annual vehicle maintenance are estimated and then allocated to each department based on the service needed to maintain vehicles and equipment. In addition, this service fund has similar overhead expenditures of “contractual services,” “supplies,” “maintenance,” and “training,” as do other department budgets. The Vehicle Maintenance Fund coordinates the daily maintenance of approximately 330 vehicles and various other equipment (i.e., mowers and other maintenance equipment) that comprise the Village’s fleet and equipment. The number of vehicles and equipment includes the fleet maintenance service to the Algonquin/Lake in the Hills Fire Protection District.

ANTICIPATED REVENUE - \$1,337,400

There are four sources of revenue for this fund. They include payments from (1) all Village departments for maintenance of their vehicles and equipment (\$921,400); (2) the purchase of fuel by each department of the Village (\$240,000); (3) the purchase of fuel by the Algonquin/Lake in the Hills Fire Protection District (\$76,000); and (4) outsourced fleet maintenance billings to the Algonquin/Lake in the Hills Fire Protection District (\$100,000).

PROPOSED EXPENDITURES - \$1,303,000

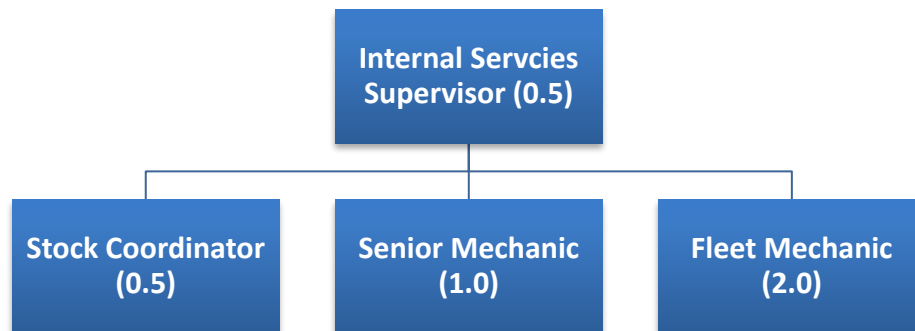
PERSONNEL - \$526,800

The line items under this category cover the statutory rates for IMRF, FICA, and unemployment tax and the appropriate distributions of health insurance costs for employees within the Vehicle Maintenance Service Fund. Salaries and overtime are based on the division of Public Works’ existing staffing levels.

Responsibilities include the following:

- A. Operations: maintenance of vehicles, equipment and fixed equipment, parts, facilities management, fuel and lubricants management, and repair policies and strategies.
- B. Asset Management: needs determination, research acquisition, utilization, replacement, and disposal of the vehicle, equipment, and fixed equipment, and parts.

- C. Financial Management: budgeting, cost recovery, fleet operating purchasing, vehicle replacement funding, and record keeping.
- D. Risk Management: workplace safety management, vehicle damage, contract compliance, regulatory compliance, and security.
- E. Environmental Management: Shop best practices and regulatory compliance.



CONTRACTUAL SERVICES – \$34,400

The line items under contractual services include those services that the Village contracts with outside vendors. These line items cover the Vehicle Maintenance Division’s portion of utility expenses, cleaning services, publications (such as shop-repair manuals), and printing.

SUPPLIES AND MATERIALS - \$635,200

These line items cover the purchase of fuel, parts, supplies, lubricants, batteries, etc., needed to upkeep all vehicles and equipment the Village uses. These products are purchased within the service fund as inventory. When the products are used for any of the Village’s fleet vehicles, the parts and labor are charged to the particular department (via a shop ticket) as a vehicle maintenance expense. Each department will be contributing its share of the cost for these parts and materials, which are accounted for in the revenue side of the Vehicle Maintenance Service Fund.

MAINTENANCE \$127,700

These line items (except for item 44440) cover the maintenance expenses for the vehicles and equipment used within the Vehicle Maintenance Division. Line item 44440 (outsourced vehicle and equipment maintenance) covers the costs of sending fleet vehicles or equipment to an outside vendor for repairs. As with in-house repairs, the specific department will be charged for outsourcing the repair for their vehicles.

CAPITAL EXPENDITURES - \$0

No funds are budgeted.

OTHER CHARGES - \$13,300

Other charges include the Division’s share of travel, training, and dues for professional organizations, as well as uniforms and safety equipment needed by the mechanics.

SUMMARY - VEHICLE MAINTENANCE SERVICE FUND

The Vehicle Maintenance Service Fund is a self-balancing fund, with expenditures offset by the revenues (reimbursements) generated from each department of the village. The charges to each department are based on that specific department's fleet vehicles and equipment maintenance needs. The costs of fuel and automotive parts and supplies likewise are difficult to predict, but savings in more efficient cars are helping to offset the increasing fuel costs. Quality vehicle maintenance of an aging fleet can adequately maintain vehicle and equipment

reliability. The solid reliability of the Village's vehicles and equipment has resulted in reduced "downtime" and has provided more efficient use of the Village's personnel and equipment. This will translate into improved public services for the citizens of the village.

Vehicle Maintenance Service Fund

Revenues

			FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 24/25	FY 25/26
			Actual	Actual	Actual	Q2	Budget	Budget
29	33160	Donations	\$ 170.00	\$ 100.00	\$ 162.50	\$ 77.50	\$ -	\$ -
29	34900	Maintenance Billings	708,530.42	755,936.74	816,868.57	382,988.78	887,000.00	921,400.00
29	34920	Fuel Billings	219,352.27	271,559.30	236,760.40	89,174.51	246,000.00	240,000.00
29	34921	Fire District Fuel Billings	67,529.80	84,701.99	69,141.06	38,831.50	70,000.00	76,000.00
29	34922	IGA - Fleet Maintenance	116,063.58	104,404.93	105,104.60	40,809.69	100,000.00	100,000.00
29	37710	Insurance Claims	-	421.72	-	-	-	-
29	37905	Sale of Surplus Property	19,680.64	6,925.63	-	-	-	-
Vehicle Maintenance Service Fund Total			\$ 1,131,326.71	\$ 1,224,050.31	\$ 1,228,037.13	\$ 551,881.98	\$ 1,303,000.00	\$ 1,337,400.00

Vehicle Maintenance Service Fund

Expenses

			FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 24/25	FY 25/26	FY 25/26	FY 25/26
			Actual	Actual	Actual	Q2 YTD	Budget	Dept.	Manager	Budget
Personnel										
29900000	41103	IMRF	\$ 33,607.70	\$ 28,932.20	\$ 28,359.47	\$ 14,195.11	\$ 33,000.00	\$ 35,000.00	\$ 35,000.00	\$ -
29900000	41104	FICA	23,160.97	23,986.68	25,795.43	13,454.69	29,000.00	30,000.00	30,000.00	-
29900000	41105	Unemployment Tax	402.56	544.35	570.82	-	800.00	800.00	800.00	-
29900000	41106	Health Insurance	55,577.62	58,181.36	60,106.65	31,706.01	68,000.00	73,000.00	73,000.00	-
29900000	41110	Salaries	312,973.86	324,402.39	344,255.50	178,869.74	366,000.00	380,000.00	380,000.00	-
29900000	41140	Overtime	4,037.23	4,382.88	7,697.39	3,910.76	8,000.00	8,000.00	8,000.00	-
Subtotal			\$ 429,759.94	\$ 440,429.86	\$ 466,785.26	\$ 242,136.31	\$ 504,800.00	\$ 526,800.00	\$ 526,800.00	\$ -
Contractual Services										
29900000	42210	Telephone	\$ 5,347.55	\$ 5,675.34	\$ 4,042.79	\$ 1,753.03	\$ 5,700.00	\$ 5,235.00	\$ 5,300.00	\$ -
29900000	42211	Natural Gas	-	-	-	-	-	-	-	-
29900000	42215	Radio Communications	8,748.12	10,279.84	6,795.06	(716.27)	3,200.00	3,685.00	3,700.00	-
29900000	42234	Professional Services	6,248.02	5,839.79	7,755.01	3,195.00	10,800.00	12,300.00	12,300.00	-
29900000	42242	Publications	2,969.55	3,094.09	2,960.00	2,960.00	5,900.00	6,200.00	6,200.00	-
29900000	42243	Printing & Advertising	-	-	50.00	-	600.00	600.00	600.00	-
29900000	42260	Physical Exams	212.50	295.00	-	-	200.00	200.00	200.00	-
29900000	42270	Equipment Rental	1,844.14	1,555.40	1,205.30	1,205.30	3,000.00	3,000.00	3,000.00	-
29900000	42272	Principal Lease Payments	2,156.50	2,735.03	3,057.51	1,566.29	3,100.00	3,100.00	3,100.00	-
Subtotal			\$ 27,526.38	\$ 29,474.49	\$ 25,865.67	\$ 9,963.35	\$ 32,500.00	\$ 34,320.00	\$ 34,400.00	\$ -
Supplies & Materials										
29900000	43308	Office Supplies	\$ -	\$ 99.00	\$ -	\$ -	\$ 300.00	\$ 225.00	\$ 300.00	\$ -
29900000	43317	Postage	45.19	83.19	87.18	52.24	400.00	400.00	400.00	-
29900000	43320	Tools, Equipment & Supplies	7,721.20	10,805.69	20,100.91	11,600.61	15,900.00	10,400.00	10,400.00	-
29900000	43332	Office Furniture & Equipment	-	2,216.63	-	-	-	-	-	-
29900000	43333	IT Equipment	1,657.97	2,935.75	7,900.00	-	-	-	1,600.00	-
29900000	43340	Fuel (S)	1,911.61	2,558.78	1,935.64	673.21	3,000.00	3,000.00	3,000.00	-
29900000	43350	Fleet Parts/Fluids (S)	227,734.52	251,147.54	310,834.55	123,357.19	285,500.00	303,500.00	303,500.00	-
29900000	43351	Fuel - Cost of Sales (S)	281,187.17	355,062.05	310,101.73	118,193.37	316,000.00	316,000.00	316,000.00	-
Subtotal			\$ 520,257.66	\$ 624,908.63	\$ 650,960.01	\$ 253,876.62	\$ 621,100.00	\$ 633,525.00	\$ 635,200.00	\$ -
Maintenance										
29900000	44420	Vehicle Maintenance (S)	\$ 4,338.56	\$ 6,077.51	\$ 4,648.68	\$ 2,742.46	\$ 6,200.00	\$ 5,000.00	\$ 5,000.00	\$ -
29900000	44421	Equipment Maintenance (S)	1,250.03	2,275.13	1,411.02	568.32	2,000.00	2,000.00	2,000.00	-
29900000	44423	Building Services (S)	45,846.94	54,686.63	50,815.57	32,305.00	65,000.00	60,000.00	60,000.00	-
29900000	44426	Office Equipment Maint.	485.77	600.72	590.40	299.80	600.00	2,220.00	700.00	-
29900000	44440	Outsourced Maintenance (S)	43,657.65	49,756.74	41,338.37	14,993.28	60,000.00	60,000.00	60,000.00	-
Subtotal			\$ 95,578.95	\$ 113,396.73	\$ 98,804.04	\$ 50,908.86	\$ 133,800.00	\$ 129,220.00	\$ 127,700.00	\$ -
Capital Expenditures										
29900000	43335	Vehicles & Equipment	\$ 3,219.65	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
29900000	45590	Capital Purchase	-	-	-	-	-	-	-	-
Subtotal			\$ 3,219.65	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Other Charges										
29900000	47740	Travel, Training & Dues	\$ 7,528.95	\$ 6,629.95	\$ 1,491.53	\$ 2,205.00	\$ 5,600.00	\$ 6,200.00	\$ 6,200.00	\$ -
29900000	47760	Uniforms & Safety Items	4,173.21	2,803.85	2,364.67	1,116.01	4,000.00	5,925.00	5,900.00	-
29900000	47790	Interest Lease Expense	485.85	1,054.08	1,275.00	542.64	1,200.00	1,200.00	1,200.00	-
Subtotal			\$ 12,188.01	\$ 10,487.88	\$ 5,131.20	\$ 3,863.65	\$ 10,800.00	\$ 13,325.00	\$ 13,300.00	\$ -
Vehicle Maintenance Service Fund Total			\$ 1,088,530.59	\$ 1,218,697.59	\$ 1,247,546.18	\$ 560,748.79	\$ 1,303,000.00	\$ 1,337,190.00	\$ 1,337,400.00	\$ -
Non Budgeted Expense										
29900000	42272	GASB 87 Principal Lease Payments	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
29900000	47775	Fuel Inventory Variance	(9,220.80)	14,390.54	(2,316.96)	-	-	-	-	-
29900000	47776	Parts/Fluid Inventory Variance	35,969.92	23,537.62	(21,439.09)	(8,866.81)	-	-	-	-
29900000	47780	Depreciation Expense	16,047.00	16,047.00	4,247.00	-	-	-	-	-
Total (Audited)			\$ 1,131,326.71	\$ 1,272,672.75	\$ 1,228,037.13	\$ 551,881.98	\$ 1,303,000.00	\$ 1,337,190.00	\$ 1,337,400.00	\$ -

(S) indicates those line items that reimburse the Internal Service Funds.



Village of Algonquin

The Gem of the Fox River Valley

MEMORANDUM

TO: Tim Schloneger, Village Manager
FROM: Stacey VanEnkevort, Recreation Director
DATE: February 7, 2025
SUBJECT: Lions Armstrong Memorial Pool Splashpad Update

The Recreation Department continuously monitors the condition of the Lions Armstrong Memorial Pool and Splash Pad to ensure all features remain in working order. Over the past several years, we have repaired and replaced various components in the pump room and throughout the facility to maintain this valued community amenity.

However, the splash pad has exceeded its useful life and is now operating at less than 50% capacity. Unfortunately, replacement parts for this system are no longer manufactured. Last year, we enlisted Aquatic Design Partners to conduct a facility inspection. Based on the current design and engineering, they provided us with potential options for moving forward.

A short presentation of some options will be presented.

C: Michael Kumbera, Deputy Village Manager



VILLAGE OF ALGONQUIN
PUBLIC WORKS DEPARTMENT

– M E M O R A N D U M –

DATE: February 18, 2025

TO: Tim Schloneger, Village Manager
Committee of the Whole

FROM: Jake Benner, Engineer II

SUBJECT: Recommendation to Award the Bid for Broadsmore Drive and Stonegate Road Phase 2 Improvements to Schroeder Asphalt Services, Inc. and Agreement for Construction Oversight with Civiltech Engineering, Inc.

The Broadsmore Drive and Stonegate Road Phase 2 Improvements project aims to address the distressed and failing roadway in the southeast corner of Longmeadow Parkway and Randall Road. The second phase of this project will include Broadsmore Drive, Stonegate Road and its cul-de-sacs from Broadsmore Drive to Grandview Drive, Bitter Spring Court, and Rose Hill Court. This comes to a total of 0.79 miles. Highlighted below is the comprehensive scope of this project:

- Full-depth reclamation (FDR) and new asphalt pavement on Broadsmore Drive and Stonegate Road
- Two-inch asphalt resurfacing on the cul-de-sacs
- ADA compliance at sidewalk crossings
- New on-street bike lane on Stonegate Road from Broadsmore Drive to Grandview Drive & new off-street multi-use path on the south side of Broadsmore Drive to Broadsmore Park
- Curb & gutter, sidewalk, and driveway apron removal and replacement where needed
- Underground utility repairs and replacements to improve overall street drainage

Upon completion of the design in early winter, the project was advertised for bid during January and February. Bids were opened on February 11th, 2025, with nine (9) bids received. Schroeder Asphalt Services, Inc. was the low bidder in the amount of \$1,291,690.03, which is below the engineer's estimate of \$1,556,221.00. The Village has sufficient funding from the Street Improvement fund to cover the cost of the project.

The Village has worked with Schroeder Asphalt Services, Inc. on previous projects, such as the High Hill Street Improvements project and the Village's annual pavement patching program. Given the track record of Schroeder Asphalt Services, Inc., staff recommends the Committee of the Whole take necessary action to move forward with the award of this

project to the Village Board for approval in the amount of \$1,291,690.03 to Schroeder Asphalt, Inc.

To manage this project, staff requested the attached proposal from Civiltech Engineering, Inc. to perform construction oversight. Civiltech provided construction oversight on Phase 1 of this project last fall. This project will require an experienced professional with excellent communication skills. Staff is confident that Civiltech will deliver a quality product for the Village on this project. The submitted proposal is a fee in the amount of \$128,317.00, which is under the budgeted amount of \$135,000.00.

Staff recommends that the Committee of the Whole take the necessary action to move forward on the agreement with Civiltech Engineering, Inc. to provide construction oversight on the Broadsmore Drive and Stonegate Road Phase 2 Improvements project.

Summary

1. The recommended low bidder was Schroeder Asphalt Services, Inc., who has successfully completed projects for the Village.
2. Construction oversight is being proposed by Civiltech Engineering, Inc., who performed these services on Phase 1 of this project last fall.
3. Sufficient funds are proposed within the Street Improvement Fund to cover both the construction and construction oversight for this project.



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

February 13, 2025

Village of Algonquin
110 Mitchard Way
Algonquin, IL 60102

Attention: Clifton V. Ganek, P.E.

Subject: Broadsmore Drive and Stonegate Road Phase 2 Improvements
(CBBEL Project No. 070273.00143)

Dear Mr. Ganek,

On Tuesday, February 10th at 10:00 a.m., bids were received and opened for the subject project. Nine (9) bids were received, and they have been summarized below.

<u>COMPANY</u>	<u>BID (AS READ)</u>
ENGINEER'S ESTIMATE	\$1,556,221.00
SCHROEDER ASPHALT SERVICES, INC.	\$1,291,690.03
BROTHERS ASPHALT PAVING, INC.	\$1,319,794.50
BUILDERS PAVING, LLC	\$1,345,688.23
EVERLAST BLACKTOP, INC.	\$1,419,154.77
CURRAN CONTRACTING COMPANY	\$1,469,699.08*
ABBEY CONSTRUCTION CO., INC.	\$1,516,920.00
MANEVAL CONSTRUCTION CO., INC.	\$1,526,269.00*
COPENHAVER CONSTRUCTION, INC.	\$1,639,982.98
A LAMP CONCRETE CONTRACTORS, INC.	\$1,648,893.96

*Calculated bid differs from the as-read or reported bid amount

Schroeder Asphalt Services, Inc. is the low bidder with a bid amount of \$1,291,690.03. Schroeder Asphalt Services, Inc. has performed satisfactory work for the Village in the past, most recently on the High Hill project.

Schroeder Asphalt Services, Inc.'s bid of \$1,291,690.03 is below the Engineer's Estimate of \$1,556,221.00. The largest discrepancies between the Engineer's Estimate and Schroeder Asphalt Services, Inc.'s bid primarily comes from the pay items for HMA Surface and Binder Course (\$73,511.00), Traffic Control and Protection (\$41,500.00), and Sidewalk Removal (\$19,380.00). Our office believes the contractor's bid unit prices to be within an acceptable range of fair costs of completing the work.

CBBEL has reviewed Schroeder Asphalt Services, Inc.'s bid and believes it to be in order..Multiple references provided by Schroeder Asphalt Services, Inc. have been contacted and provided positive feedback. Therefore, our office recommends accepting Schroeder Asphalt Services, Inc's bid for the bid amount of \$1,291,690.03.

Enclosed for your review are the bid results matrix, the calculated bid tabulations, and the phone log reference checks. If you have any further questions, please do not hesitate to contact me at (847) 823-0500.

Sincerely,

A handwritten signature in blue ink, appearing to read "D. Kleinwachter", with a stylized flourish at the end.

David J. Kleinwachter, P.E., CPESC, CFM
Project Manager, Civil Engineering Design

cc: Orion Galey – CBBEL (letter only)
Kevin Wilson – CBBEL (letter only)

Christopher B. Burke Engineering, Ltd.
 9575 West Higgins Road, Suite 600
 Rosemont, Illinois 60018
 (CBBEL Project Number: 070273.00143)

VILLAGE OF ALGONQUIN
 BROADSMORE AND STONEGATE PHASE 2 IMPROVEMENTS

BID TABULATION
 Date: February 11, 2025

BID TABULATION

SP	CODE	PAY ITEM DESCRIPTION	UNIT	QUANTITY	ENGINEER'S ESTIMATE		SCHROEDER ASPHALT SERVICES, INC		BROTHERS ASPHALT PAVING, INC.		BUILDERS PAVING, LLC		EVERLAST BLACKTOP, INC.		CURRAN CONTRACTING COMPANY		ABBEY CONSTRUCTION CO., INC.		MANEVAL CONSTRUCTION CO, INC.		COPENHAVER CONSTRUCTION, INC.	
					UNIT COST	COST	UNIT COST	COST	UNIT COST	COST	UNIT COST	COST	UNIT COST	COST	UNIT COST	COST	UNIT COST	COST	UNIT COST	COST	UNIT COST	COST
	20100110	TREE REMOVAL (6 TO 15 UNITS DIAMETER)	UNIT	137	\$ 41.00	\$ 5,617.00	\$ 40.00	\$ 5,480.00	\$ 37.80	\$ 5,178.60	\$ 36.00	\$ 4,932.00	\$ 29.00	\$ 3,973.00	\$ 28.00	\$ 3,836.00	\$ 50.00	\$ 6,850.00	\$ 31.00	\$ 4,247.00	\$ 30.00	\$ 4,110.00
	20100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	16	\$ 65.00	\$ 1,040.00	\$ 52.00	\$ 832.00	\$ 50.40	\$ 806.40	\$ 48.00	\$ 768.00	\$ 45.00	\$ 720.00	\$ 45.00	\$ 720.00	\$ 110.00	\$ 1,760.00	\$ 50.00	\$ 800.00	\$ 60.00	\$ 960.00
	20101200	TREE ROOT PRUNING	EACH	40	\$ 130.00	\$ 5,200.00	\$ 140.00	\$ 5,600.00	\$ 189.00	\$ 7,560.00	\$ 180.00	\$ 7,200.00	\$ 230.00	\$ 9,200.00	\$ 110.00	\$ 4,400.00	\$ 115.00	\$ 4,600.00	\$ 121.00	\$ 4,840.00	\$ 10.00	\$ 400.00
	20200100	EARTH EXCAVATION	CU YD	434	\$ 35.00	\$ 15,190.00	\$ 34.00	\$ 14,756.00	\$ 40.00	\$ 17,360.00	\$ 8.00	\$ 3,472.00	\$ 38.00	\$ 16,492.00	\$ 27.50	\$ 11,935.00	\$ 72.27	\$ 31,365.18	\$ 44.00	\$ 19,096.00	\$ 39.00	\$ 16,926.00
	20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	316	\$ 30.00	\$ 9,480.00	\$ 10.00	\$ 3,160.00	\$ 40.00	\$ 12,640.00	\$ 10.00	\$ 3,160.00	\$ 19.00	\$ 6,004.00	\$ 33.00	\$ 10,428.00	\$ 60.00	\$ 18,960.00	\$ 48.00	\$ 15,168.00	\$ 22.00	\$ 6,952.00
	21001000	GEOTECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	1418	\$ 2.00	\$ 2,836.00	\$ 1.75	\$ 2,481.50	\$ 3.00	\$ 4,254.00	\$ 1.00	\$ 1,418.00	\$ 2.05	\$ 2,906.90	\$ 2.60	\$ 3,686.80	\$ 2.40	\$ 3,403.20	\$ 1.00	\$ 1,418.00	\$ 3.00	\$ 4,254.00
	21301084	EXPLORATION TRENCH 84" DEPTH	FOOT	80	\$ 45.00	\$ 3,600.00	\$ 53.50	\$ 4,280.00	\$ 68.25	\$ 5,460.00	\$ 65.00	\$ 5,200.00	\$ 40.00	\$ 3,200.00	\$ 50.00	\$ 4,000.00	\$ 40.59	\$ 3,247.20	\$ 12.00	\$ 960.00	\$ 20.00	\$ 1,600.00
	28000510	INLET FILTERS	EACH	32	\$ 235.00	\$ 7,520.00	\$ 160.00	\$ 5,120.00	\$ 189.00	\$ 6,048.00	\$ 200.00	\$ 6,400.00	\$ 10.00	\$ 320.00	\$ 285.00	\$ 9,120.00	\$ 235.00	\$ 7,520.00	\$ 300.00	\$ 9,600.00	\$ 200.00	\$ 6,400.00
	30201700	PORTLAND CEMENT	TON	287	\$ 200.00	\$ 57,400.00	\$ 211.00	\$ 60,557.00	\$ 205.00	\$ 58,835.00	\$ 195.00	\$ 55,965.00	\$ 208.00	\$ 59,696.00	\$ 195.00	\$ 55,965.00	\$ 195.00	\$ 55,965.00	\$ 260.00	\$ 74,620.00	\$ 225.00	\$ 64,575.00
	30300001	AGGREGATE SUBGRADE IMPROVEMENT	CU YD	316	\$ 30.00	\$ 9,480.00	\$ 20.00	\$ 6,320.00	\$ 60.00	\$ 18,960.00	\$ 25.00	\$ 7,900.00	\$ 21.00	\$ 6,636.00	\$ 38.00	\$ 12,008.00	\$ 65.00	\$ 20,540.00	\$ 40.00	\$ 12,640.00	\$ 22.00	\$ 6,952.00
	40600290	BITUMINOUS MATERIALS (TRACKLESS TACK COAT)	POUND	10151	\$ 0.75	\$ 7,613.25	\$ 0.01	\$ 101.51	\$ 1.00	\$ 10,151.00	\$ 0.01	\$ 101.51	\$ 0.02	\$ 203.02	\$ 0.01	\$ 101.51	\$ 0.15	\$ 1,522.65	\$ 0.10	\$ 1,015.10	\$ 0.01	\$ 101.51
	40603080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	1782	\$ 100.00	\$ 178,200.00	\$ 83.00	\$ 147,906.00	\$ 79.00	\$ 140,778.00	\$ 80.00	\$ 142,560.00	\$ 82.00	\$ 146,124.00	\$ 71.50	\$ 127,413.00	\$ 87.50	\$ 155,925.00	\$ 90.00	\$ 160,380.00	\$ 86.00	\$ 153,252.00
	40604060	HOT-MIX ASPHALT SURFACE COURSE, IL-9.5, MIX "D", N50	TON	1879	\$ 110.00	\$ 206,690.00	\$ 87.00	\$ 163,473.00	\$ 89.00	\$ 167,231.00	\$ 86.00	\$ 161,594.00	\$ 88.60	\$ 166,479.40	\$ 81.50	\$ 153,138.50	\$ 91.00	\$ 170,989.00	\$ 95.00	\$ 178,505.00	\$ 93.00	\$ 174,747.00
	42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH (SPECIAL)	SQ YD	537	\$ 85.00	\$ 45,645.00	\$ 90.95	\$ 48,840.15	\$ 87.15	\$ 46,799.55	\$ 88.00	\$ 47,256.00	\$ 104.00	\$ 55,848.00	\$ 85.70	\$ 46,020.90	\$ 113.63	\$ 61,019.31	\$ 99.00	\$ 53,163.00	\$ 130.00	\$ 69,810.00
	42300400	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 8 INCH (SPECIAL)	SQ YD	96	\$ 90.00	\$ 8,640.00	\$ 107.00	\$ 10,272.00	\$ 97.65	\$ 9,374.40	\$ 98.00	\$ 9,408.00	\$ 114.00	\$ 10,944.00	\$ 100.75	\$ 9,672.00	\$ 114.50	\$ 10,992.00	\$ 121.00	\$ 11,616.00	\$ 140.00	\$ 13,440.00
	42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH (SPECIAL)	SQ FT	5844	\$ 11.00	\$ 64,284.00	\$ 10.45	\$ 61,069.80	\$ 10.50	\$ 61,362.00	\$ 10.50	\$ 61,362.00	\$ 10.00	\$ 58,440.00	\$ 11.90	\$ 69,543.60	\$ 10.48	\$ 61,245.12	\$ 11.00	\$ 64,284.00	\$ 12.00	\$ 70,128.00
	42400800	DETECTABLE WARNINGS	SQ FT	379	\$ 42.00	\$ 15,918.00	\$ 38.00	\$ 14,402.00	\$ 40.00	\$ 15,160.00	\$ 38.00	\$ 14,402.00	\$ 52.00	\$ 19,708.00	\$ 40.50	\$ 15,349.50	\$ 24.58	\$ 9,315.82	\$ 55.00	\$ 20,845.00	\$ 35.00	\$ 13,265.00
	44000100	PAVEMENT REMOVAL	SQ YD	32	\$ 45.00	\$ 1,440.00	\$ 20.00	\$ 640.00	\$ 15.75	\$ 504.00	\$ 20.00	\$ 640.00	\$ 18.00	\$ 576.00	\$ 25.00	\$ 800.00	\$ 9.00	\$ 288.00	\$ 27.00	\$ 864.00	\$ 20.00	\$ 640.00
	44000157	HOT-MIX ASPHALT SURFACE REMOVAL, 2"	SQ YD	3276	\$ 3.50	\$ 11,466.00	\$ 2.55	\$ 8,353.80	\$ 3.10	\$ 10,155.60	\$ 6.50	\$ 21,294.00	\$ 4.90	\$ 16,052.40	\$ 6.00	\$ 19,656.00	\$ 5.60	\$ 18,345.60	\$ 3.00	\$ 9,828.00	\$ 6.00	\$ 19,656.00
	44000166	HOT-MIX ASPHALT SURFACE REMOVAL, 4 1/4"	SQ YD	12729	\$ 4.75	\$ 60,462.75	\$ 3.50	\$ 44,551.50	\$ 3.10	\$ 39,459.90	\$ 5.50	\$ 70,009.50	\$ 3.90	\$ 49,643.10	\$ 4.35	\$ 55,371.15	\$ 7.88	\$ 100,304.52	\$ 7.00	\$ 89,103.00	\$ 4.00	\$ 50,916.00
	44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	863	\$ 22.00	\$ 18,986.00	\$ 16.25	\$ 14,023.75	\$ 20.00	\$ 17,260.00	\$ 30.00	\$ 25,890.00	\$ 12.00	\$ 10,351.58	\$ 30.00	\$ 25,890.00	\$ 15.66	\$ 13,514.58	\$ 17.00	\$ 14,671.00	\$ 17.00	\$ 14,671.00
	44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	2994	\$ 7.00	\$ 20,958.00	\$ 6.25	\$ 18,712.50	\$ 7.35	\$ 20,005.90	\$ 7.00	\$ 20,958.00	\$ 6.80	\$ 20,359.20	\$ 10.00	\$ 29,940.00	\$ 2.47	\$ 7,395.18	\$ 7.00	\$ 20,958.00	\$ 7.00	\$ 20,958.00
	44000600	SIDEWALK REMOVAL	SQ FT	11400	\$ 3.00	\$ 34,200.00	\$ 1.30	\$ 14,820.00	\$ 1.20	\$ 13,680.00	\$ 2.00	\$ 22,800.00	\$ 1.65	\$ 18,810.00	\$ 3.70	\$ 42,180.00	\$ 1.06	\$ 12,084.00	\$ 1.50	\$ 17,100.00	\$ 2.00	\$ 22,800.00
	550A0050	STORM SEWERS, CLASS A, TYPE 1 12"	FOOT	6	\$ 95.00	\$ 570.00	\$ 202.00	\$ 1,212.00	\$ 257.25	\$ 1,543.50	\$ 245.00	\$ 1,470.00	\$ 120.00	\$ 720.00	\$ 185.00	\$ 1,110.00	\$ 77.00	\$ 462.54	\$ 58.00	\$ 348.00	\$ 300.00	\$ 1,800.00
	56400510	FIRE HYDRANTS TO BE REMOVED AND REPLACED	EACH	1	\$ 9,000.00	\$ 9,000.00	\$ 12,500.00	\$ 12,500.00	\$ 14,700.00	\$ 14,700.00	\$ 14,000.00	\$ 14,000.00	\$ 12,100.00	\$ 12,100.00	\$ 11,550.00	\$ 11,550.00	\$ 13,050.79	\$ 13,050.79	\$ 12,050.00	\$ 12,050.00	\$ 14,000.00	\$ 14,000.00
	60108100	PIPE UNDERDRAINS 4" (SPECIAL)	FOOT	19	\$ 38.00	\$ 722.00	\$ 73.50	\$ 1,396.50	\$ 68.25	\$ 1,296.75	\$ 65.00	\$ 1,292.00	\$ 140.00	\$ 712.50	\$ 68.00	\$ 712.50	\$ 37.50	\$ 712.50	\$ 57.00	\$ 1,083.00	\$ 50.00	\$ 950.00
	60108204	PIPE UNDERDRAINS, TYPE 2, 4"	FOOT	30	\$ 40.00	\$ 1,200.00	\$ 73.50	\$ 2,205.00	\$ 47.25	\$ 1,417.50	\$ 45.00	\$ 1,350.00	\$ 92.00	\$ 2,760.00	\$ 68.00	\$ 2,040.00	\$ 32.85	\$ 985.50	\$ 44.00	\$ 1,320.00	\$ 30.00	\$ 900.00
	67100100	MOBILIZATION	L SUM	1	\$ 45,000.00	\$ 45,000.00	\$ 30,000.00	\$ 30,000.00	\$ 16,500.00	\$ 16,500.00	\$ 16,500.00	\$ 57,933.78	\$ 103,363.20	\$ 103,363.20	\$ 100,000.00	\$ 100,000.00	\$ 42,125.49	\$ 42,125.49	\$ 169,847.40	\$ 169,847.40	\$ 107,000.00	\$ 107,000.00
	70307100	TEMPORARY PAVEMENT MARKING LETTERS AND SYMBOLS - TYPE IV TAPE	SQ FT	185	\$ 4.50	\$ 832.50	\$ 5.00	\$ 925.00	\$ 10.00	\$ 1,850.00	\$ 0.01	\$ 1.85	\$ 5.00	\$ 925.00	\$ 3.60	\$ 666.00	\$ 13.50	\$ 2,497.50	\$ 1.00	\$ 185.00	\$ 16.00	\$ 2,960.00
	70307120	TEMPORARY PAVEMENT MARKING - LINE 4" - TYPE IV TAPE	FOOT	288	\$ 1.50	\$ 432.00	\$ 2.00	\$ 576.00	\$ 5.00	\$ 1,440.00	\$ 0.01	\$ 2.88	\$ 1.00	\$ 296.00	\$ 1.20	\$ 288.00	\$ 4.50	\$ 1,296.00	\$ 1.00	\$ 288.00	\$ 5.00	\$ 1,440.00
	70307130	TEMPORARY PAVEMENT MARKING - LINE 6" - TYPE IV TAPE	FOOT	647	\$ 1.75	\$ 1,132.25	\$ 3.00	\$ 1,941.00	\$ 5.00	\$ 3,235.00	\$ 0.01	\$ 6.47	\$ 2.00	\$ 1,294.00	\$ 1.55	\$ 1,002.85	\$ 6.75	\$ 4,367.25	\$ 0.50	\$ 323.50	\$ 8.00	\$ 5,176.00
	70307160	TEMPORARY PAVEMENT MARKING - LINE 12" - TYPE IV TAPE	FOOT	407	\$ 3.50	\$ 1,424.50	\$ 5.50	\$ 2,238.50	\$ 5.00	\$ 2,035.00	\$ 0.01	\$ 4.07	\$ 3.00	\$ 1,221.00	\$ 3.60	\$ 1,465.20	\$ 13.50	\$ 5,494.50	\$ 0.50	\$ 323.50	\$ 15.00	\$ 6,105.00
	70307210	TEMPORARY PAVEMENT MARKING - LINE 24" - TYPE IV TAPE	FOOT	45	\$ 7.00	\$ 315.00	\$ 10.00	\$ 450.00	\$ 5.00	\$ 225.00	\$ 0.01	\$ 0.45	\$ 4.00	\$ 180.00	\$ 7.20	\$ 324.00	\$ 27.00	\$ 1,215.00	\$ 2.00	\$ 90.00	\$ 31.00	\$ 1,395.00
	78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	482	\$ 7.25	\$ 3,494.50	\$ 6.00	\$ 2,892.00	\$ 5.25	\$ 2,530.50	\$ 5.50	\$ 2,651.00	\$ 8.60	\$ 4,145.20	\$ 5.50	\$ 2,651.00	\$ 5.50	\$ 2,651.00	\$ 13.00	\$ 6,266.00	\$ 10.00	\$ 4,820.00
	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	2460	\$ 2.10	\$ 5,166.00	\$ 1.55	\$ 3,813.00	\$ 1.57	\$ 3,862.20	\$ 1.41	\$ 3,468.60	\$ 1.70	\$ 3,690.00	\$ 1.41	\$ 3,468.60	\$ 1.50	\$ 3,690.00	\$ 2.00	\$ 4,920.00	\$ 3.00	\$ 7,380.00
	78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	728	\$ 2.50	\$ 1,820.00	\$ 2.39	\$ 1,739.92	\$ 2.10	\$ 1,528.80	\$ 2.19	\$ 1,594.32	\$ 2.00	\$ 1,456.00	\$ 2.19	\$ 1,594.32	\$ 2.34	\$ 1,703.52	\$ 3.00	\$ 2,184.00	\$ 4.00	\$ 2,912.00
	78000600	THERMOPLASTIC PAVEMENT MARKING - LINE 12"	FOOT	513	\$ 3.50	\$ 1,795.50	\$ 4.77	\$ 2,447.01	\$ 3.15	\$ 1,615.95	\$ 4.37	\$ 2,241.81	\$ 3.65	\$ 1,274.45	\$ 4.37	\$ 2,078.01	\$ 4.67	\$ 2,395.71	\$ 6.00	\$ 3,078.00	\$ 7.00	\$ 3,591.00
	78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	106	\$ 7.00	\$ 742.00	\$ 9.55	\$ 1,012.30	\$ 5.25	\$ 566.50	\$ 8.74	\$ 926.44	\$ 7.00	\$ 742.00	\$ 8.74	\$ 926.44	\$ 9.35	\$ 991.10	\$ 11.00	\$ 1,166.00	\$ 14.00	\$ 1,484.00
	78011000	GROOVING FOR RECESSED PAVEMENT MARKING, LETTERS AND SYMBOLS	SQ FT	185	\$ 3.10	\$ 573.50	\$ 2.20	\$ 407														

Christopher B. Burke Engineering, Ltd.
 9575 West Higgins Road, Suite 600
 Rosemont, Illinois 60018
 (CBBEL Project Number: 070273.00143)

VILLAGE OF ALGONQUIN
 BROADSMORE AND STONEGATE PHASE 2 IMPROVEMENTS

BID TABULATION
 Date: February 11, 2025

BID TABULATION				A LAMP CONCRETE CONTRACTORS, INC.	
CODE	PAY ITEM DESCRIPTION	UNIT	QUANTITY	UNIT COST	COST
20100110	TREE REMOVAL (6 TO 15 UNITS DIAMETER)	UNIT	137	\$ 25.00	\$ 3,425.00
20100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	16	\$ 35.00	\$ 560.00
20101200	TREE ROOT PRUNING	EACH	40	\$ 15.00	\$ 600.00
20200100	EARTH EXCAVATION	CU YD	434	\$ 51.00	\$ 22,134.00
20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	316	\$ 25.00	\$ 7,900.00
21001000	GEOTECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	1418	\$ 2.00	\$ 2,836.00
21301084	EXPLORATION TRENCH 84" DEPTH	FOOT	80	\$ 25.00	\$ 2,000.00
28000510	INLET FILTERS	EACH	32	\$ 15.00	\$ 480.00
30201700	PORTLAND CEMENT	TON	287	\$ 205.00	\$ 58,835.00
30300001	AGGREGATE SUBGRADE IMPROVEMENT	CU YD	316	\$ 25.00	\$ 7,900.00
40600290	BITUMINOUS MATERIALS (TRACKLESS TACK COAT)	POUND	10151	\$ 0.01	\$ 101.51
40603080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	1782	\$ 83.25	\$ 148,351.50
40604060	HOT-MIX ASPHALT SURFACE COURSE, IL-9.5, MIX "D", N50	TON	1879	\$ 90.50	\$ 170,049.50
42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH (SPECIAL)	SQ YD	537	\$ 102.00	\$ 54,774.00
42300400	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 8 INCH (SPECIAL)	SQ YD	96	\$ 139.00	\$ 13,344.00
42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH (SPECIAL)	SQ FT	5844	\$ 11.50	\$ 67,206.00
42400800	DETECTABLE WARNINGS	SQ FT	379	\$ 30.00	\$ 11,370.00
44000100	PAVEMENT REMOVAL	SQ YD	32	\$ 33.00	\$ 1,066.00
44000157	HOT-MIX ASPHALT SURFACE REMOVAL, 2"	SQ YD	3276	\$ 3.25	\$ 10,647.00
44000166	HOT-MIX ASPHALT SURFACE REMOVAL, 4 1/4"	SQ YD	12729	\$ 4.65	\$ 59,189.85
44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	863	\$ 16.00	\$ 13,808.00
44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	2994	\$ 7.50	\$ 22,455.00
44000600	SIDEWALK REMOVAL	SQ FT	11400	\$ 1.90	\$ 21,660.00
550A0050	STORM SEWERS, CLASS A, TYPE 1 12"	FOOT	6	\$ 150.00	\$ 900.00
56400510	FIRE HYDRANTS TO BE REMOVED AND REPLACED	EACH	1	\$ 25,900.00	\$ 25,900.00
60108100	PIPE UNDERDRAINS 4" (SPECIAL)	FOOT	19	\$ 50.00	\$ 950.00
60108204	PIPE UNDERDRAINS, TYPE 2, 4"	FOOT	30	\$ 60.00	\$ 1,800.00
67100100	MOBILIZATION	L SUM	1	\$ 98,900.00	\$ 98,900.00
70307100	TEMPORARY PAVEMENT MARKING LETTERS AND SYMBOLS - TYPE IV TAPE	SQ FT	185	\$ 1.00	\$ 185.00
70307120	TEMPORARY PAVEMENT MARKING - LINE 4" - TYPE IV TAPE	FOOT	288	\$ 1.00	\$ 288.00
70307130	TEMPORARY PAVEMENT MARKING - LINE 6" - TYPE IV TAPE	FOOT	647	\$ 1.25	\$ 808.75
70307160	TEMPORARY PAVEMENT MARKING - LINE 12" - TYPE IV TAPE	FOOT	407	\$ 1.50	\$ 610.50
70307210	TEMPORARY PAVEMENT MARKING - LINE 24" - TYPE IV TAPE	FOOT	45	\$ 5.00	\$ 225.00
78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	482	\$ 5.00	\$ 2,410.00
78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	2460	\$ 1.50	\$ 3,690.00
78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	728	\$ 2.00	\$ 1,456.00
78000600	THERMOPLASTIC PAVEMENT MARKING - LINE 12"	FOOT	513	\$ 3.00	\$ 1,539.00
78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	106	\$ 5.00	\$ 530.00
78011000	GROOVING FOR RECESSED PAVEMENT MARKING, LETTERS AND SYMBOLS	SQ FT	185	\$ 2.00	\$ 370.00
78011025	GROOVING FOR RECESSED PAVEMENT MARKING 5"	FOOT	2460	\$ 0.70	\$ 1,722.00
78011035	GROOVING FOR RECESSED PAVEMENT MARKING 7"	FOOT	728	\$ 0.90	\$ 655.20
78011065	GROOVING FOR RECESSED PAVEMENT MARKING 13"	FOOT	513	\$ 1.50	\$ 769.50
78011125	GROOVING FOR RECESSED PAVEMENT MARKING 25"	FOOT	106	\$ 2.00	\$ 212.00
A2002924	TREE, CELTIS OCCIDENTALIS (COMMON HACKBERRY), 3" CALIPER, BALLED AND BURLAPPED	EACH	2	\$ 750.00	\$ 1,500.00
A2004424	TREE, GINKGO BILOBA (GINKGO), 3" CALIPER, BALLED AND BURLAPPED	EACH	2	\$ 750.00	\$ 1,500.00
A2005024	TREE, GYMNOCLADUS DIOICUS (KENTUCKY COFFEETREE), 3" CALIPER, BALLED AND BURLAPPED	EACH	2	\$ 750.00	\$ 1,500.00
A2005424	TREE, LIRIODENDRON TULIPIFERA (TULIP TREE), 3" CALIPER, BALLED AND BURLAPPED	EACH	2	\$ 750.00	\$ 1,500.00
A2007724	TREE, TAXODIUM DISTICHUM SHAWNEE BRAVE (SHAWNEE BRAVE BALD CYPRESS), 3" CALIPER	EACH	2	\$ 750.00	\$ 1,500.00
X0327036	BIKE PATH REMOVAL	SQ YD	256	\$ 17.25	\$ 4,416.00
X2080250	TRENCH BACKFILL (SPECIAL)	CU YD	210	\$ 1.00	\$ 210.00
X4021000	TEMPORARY ACCESS (PRIVATE ENTRANCE)	EACH	14	\$ 325.00	\$ 4,550.00
X4022000	TEMPORARY ACCESS (COMMERCIAL ENTRANCE)	EACH	3	\$ 500.00	\$ 1,500.00
Z0004514	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 4"	SQ YD	193	\$ 45.00	\$ 8,685.00
Z0004522	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 6"	SQ YD	37	\$ 63.00	\$ 2,331.00
Z0013796	CONSTRUCTION LAYOUT	L SUM	1	\$ 9,800.00	\$ 9,800.00
Z1	CATCH BASINS, TYPE C, EJ 7065	EACH	1	\$ 3,900.00	\$ 3,900.00
Z2	CLASS D PATCHES, 10" (SPECIAL)	SQ YD	328	\$ 50.00	\$ 16,400.00
Z3	CLASS D PATCHES, 12" (SPECIAL)	SQ YD	637	\$ 55.00	\$ 35,035.00
Z4	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12 (SPECIAL)	FOOT	2994	\$ 39.50	\$ 118,263.00
Z5	CONSTRUCT NEW MULTI-USE PATH	SQ YD	1636	\$ 72.50	\$ 118,610.00
Z6	CONSTRUCTION ENTRANCE	SQ YD	747	\$ 23.50	\$ 17,554.50
Z7	CURB BOX ADJUSTMENT	EACH	8	\$ 350.00	\$ 2,800.00
Z8	CURB BOX REPLACEMENT	EACH	2	\$ 1,500.00	\$ 3,000.00
Z9	FIRE HYDRANT REPAIR	EACH	2	\$ 2,425.00	\$ 4,850.00
Z10	FRAMES AND GRATES	EACH	10	\$ 500.00	\$ 5,000.00
Z11	FULL DEPTH RECLAMATION, 12"	SQ YD	12729	\$ 8.35	\$ 106,287.15
Z12	ITEMS AS ORDERED BY THE ENGINEER	UNIT	50000	\$ 1.00	\$ 50,000.00
Z13	LANDSCAPE REPLACEMENT	SQ YD	6	\$ 100.00	\$ 600.00
Z14	LANDSCAPE RESTORATION	SQ YD	2112	\$ 12.50	\$ 26,400.00
Z15	PRECONSTRUCTION VIDEO TAPING	LSUM	1	\$ 1,700.00	\$ 1,700.00
Z16	SAW AND SEAL CURB	EACH	87	\$ 40.00	\$ 3,480.00
Z17	SILTATION CONTROL FENCE	FOOT	3910	\$ 1.00	\$ 3,910.00
Z18	STRUCTURES TO BE ADJUSTED	EACH	42	\$ 900.00	\$ 37,800.00
Z19	STRUCTURES TO BE ADJUSTED (SPECIAL)	EACH	7	\$ 1,100.00	\$ 7,700.00
Z20	STRUCTURES TO BE REHABILITATED	EACH	4	\$ 2,100.00	\$ 8,400.00
Z21	TEMPORARY CONSTRUCTION FENCE FOR TREE PROTECTION	EACH	34	\$ 1.00	\$ 34.00
Z22	TEMPORARY CONSTRUCTION FENCE FOR TREE PROTECTION (LINEAR)	FOOT	575	\$ 1.00	\$ 575.00
Z23	TRAFFIC CONTROL AND PROTECTION, (SPECIAL)	LSUM	1	\$ 190,000.00	\$ 190,000.00
Z24	TREE, LIQUIDAMBAR STYRACIFLUA BROTZMAN (BROTZMAN SWEETGUM), 3" CALIPER, BALLED	EACH	1	\$ 750.00	\$ 750.00
Z25	TREE, LIQUIDAMBAR STYRACIFLUA WORPLESDON (WORPLESDON SWEETGUM), 3" CALIPER, BA	EACH	1	\$ 750.00	\$ 750.00
Z26	TREE, PLATANUS X ACERIFOLIA MORTON CIRCLE (EXCLAMATION LONDON PLANETREE), 3" CAL	EACH	2	\$ 750.00	\$ 1,500.00
				TOTAL=	\$ 1,648,893.96

Indicates discrepancy between the reported bid and the calculated bid price.



Village of Algonquin

The Gem of the Fox River Valley

CONTRACT

BROADSMORE DRIVE AND STONEGATE ROAD PHASE 2 IMPROVEMENTS PROJECT

SIGNATURE FORM

This AGREEMENT is made and entered into this 4th day of March, 2025, by and between the Village of Algonquin, 2200 Harnish Drive, Algonquin, IL, 60102 (VILLAGE) and Schroeder Asphalt Services, Inc., P.O. Box 831, Huntley, IL 60142 (CONTRACTOR).

WITNESSETH

Whereas, the VILLAGE has prepared certain plans and specifications dated January 20, 2025 for the Broadsmore Drive and Stonegate Road Phase 2 Improvements Project – under the terms and conditions fully stated and set forth, and;

Whereas, said plans, specifications, and BID fully describe the terms and conditions upon which the CONTRACTOR offers to perform and furnish all labor, materials, insurance, bonds, and equipment, to complete the work specified:

NOW, THEREFORE, IT IS AGREED:

1. VILLAGE hereby accepts the BID of the CONTRACTOR for the work in the sum of \$1,291,690.03 (ONE MILLION TWO HUNDRED NINETY-ONE THOUSAND SIX HUNDRED NINETY DOLLARS AND THREE CENTS)
2. CONTRACTOR agrees to complete **ALL** work within/by **April 1, 2025 – July 18, 2025**.
3. This Contract consists of the following component parts which are made a part of this agreement and Contract as fully and absolutely as if they were set out in detail in the Contract:
 - a. Broadsmore Drive and Stonegate Road Phase 2 Improvements Project plans prepared by the VILLAGE, prepared by Christopher B. Burke Engineering, Ltd., dated January 20, 2025.
 - b. The State of Illinois Standard Specifications for Road and Bridge Construction, adopted January 1, 2022, the Supplemental Specifications and applicable Special Provisions effective on the date of the BID and the Standard Specifications for Sewer and Watermain Construction in Illinois, 8th Edition, as well as the Village of Algonquin Standard Specifications & Details Guide for Public Improvements, June 25, 2022, except as modified by these documents
 - c. All Bidding Documents
4. Two (2) copies of this Contract shall be fully executed by all of the parties hereto.

Continued on next page.



Village of Algonquin
The Gem of the Fox River Valley
CONTRACT

In Witness Whereof, the following parties have signed this Contract effective on the date first written above.

VILLAGE OF ALGONQUIN:

CONTRACTOR:

By: _____
Debby Sosine, Village President

By: _____
(Signature)

(Print Name)

(Title)

ATTEST:

ATTEST:

By: _____
Fred Martin, Village Clerk

By: _____
(Company Official)

(SEAL)

(NOTARY)



Village of Algonquin

The Gem of the Fox River Valley

CONTRACT

BROADSMORE DRIVE AND STONEGATE ROAD PHASE 2 IMPROVEMENTS PROJECT

INSURANCE CERTIFICATE

ATTACH CERTIFICATE(S)

&

ANY REQUIRED ENDORSEMENT(S)



Village of Algonquin

The Gem of the Fox River Valley

CONTRACT

Broadsmore Drive and Stonegate Road Phase 2 Improvements Project

BOND No.

PAYMENT & PERFORMANCE BOND

Know all men and women by these presents that
Schroeder Asphalt Services, Inc.
P.O. Box 830
Huntley, Illinois 60142

as Principal, hereinafter called the CONTRACTOR, and

as Surety, hereinafter called the SURETY, are held and firmly bound unto the
Village of Algonquin
2200 Harnish Drive
Algonquin, IL 60102

as Obligee, hereinafter called the VILLAGE, in the amount of
\$1,291,690.03 (ONE MILLION TWO HUNDRED NINETY-ONE THOUSAND SIX HUNDRED NINETY
DOLLARS AND THREE CENTS)
that represents 100% of the Contract Price for the payment whereof CONTRACTOR & SURETY bind
themselves, their heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these
presents.

Whereas, the CONTRACTOR has by written agreement dated (March 4, 2025) entered into a contract with the
VILLAGE for the project known as for Broadsmore Drive and Stonegate Road Improvements Project in
accordance with drawings, and specifications prepared by the VILLAGE, which Contract is by reference made
a part hereof, and is hereinafter referred to as the CONTRACT.

Now, therefore, the conditions of this obligation are such that if the CONTRACTOR shall promptly and
faithfully perform said CONTRACT, then the obligation of this bond shall be null and void; otherwise, it shall
remain in full force and effect.

- A. The SURETY hereby waives notice of any alteration or extension of time made by the VILLAGE
- B. Whenever CONTRACTOR shall be and is declared by the VILLAGE to be in default under the
CONTRACT, the VILLAGE having performed VILLAGE's obligations there under, the SURETY may
promptly remedy the default, or shall promptly:



Village of Algonquin

The Gem of the Fox River Valley

CONTRACT

1. Complete the CONTRACT in accordance with its terms and conditions, or
2. Obtain a bid or bids for submission to VILLAGE for completing the CONTRACT in accordance with its terms and conditions, and upon determination by VILLAGE and SURETY of the lowest responsible bidder, arrange for a contract between such bidder and VILLAGE, and make available as work progresses (even though there should be a default or a succession of defaults under the CONTRACT or CONTRACTS of completion arranged under this paragraph) sufficient funds to pay the cost of completion less the balance of the CONTRACT price. The term "balance of the CONTRACT price", as used in this paragraph shall mean the total amount payable by VILLAGE to CONTRACTOR. It is the intention of this undertaking that the total cost and expenditure by VILLAGE shall not exceed the CONTRACT price.

C. No right of action shall accrue to or for the use of any person or corporation other than the VILLAGE named herein or the heirs, executors, administrators or successors of the VILLAGE

It is a further condition of this obligation that the CONTRACTOR and SURETY shall pay to all person, firms, or corporations having contracts directly with the CONTRACTOR or with subcontractors, all just claims due them for labor performed or materials furnished in the performance of the CONTRACT on account of which this bond is given

Signed and Sealed this _____ day of _____, __2025, A.D.

In the Presence of:

Witness (Print)

Principal (Signature)

Witness (Signature)

Title

Surety (Signature)

Surety (Print)

Title

Local Public Agency	LOCAL AGENCY  Illinois Department of Transportation Construction Engineering Services Agreement For Federal Participation	CONSULTANT	Consultant
Village of Algonquin			Civiltech Engineering, Inc.
County			Address
Kane			Two Pierce Place, Suite 1400
Section			City
Project No.			Itasca
Job No.	State	Illinois	
Contact Name/Phone/E-mail Address	Zip Code	60143	
Clifton V. Ganek; 847.658-1605	Contact Name/Phone/E-mail Address	James D. Ewers; 630.773.3900	
CliftonGanek@algonquin.org		jewers@civiltechinc.com	

THIS AGREEMENT is made and entered into this _____ day of _____, 2025 between the above Local Public Agency (LPA) and Consultant (ENGINEER) and covers certain professional engineering services in connection with the PROJECT described herein. Federal-aid funds allotted to the LPA by the state of Illinois under the general supervision of the Illinois Department of Transportation (STATE) will be used entirely or in part to finance engineering services as described under AGREEMENT PROVISIONS.

WHEREVER IN THIS AGREEMENT or attached exhibits the following terms are used, they shall be interpreted to mean:

Regional Engineer	Deputy Director Division of Highways, Regional Engineer, Department of Transportation
Resident Construction Supervisor In Responsible Charge	Authorized representative of the LPA in immediate charge of the engineering details of the PROJECT
Contractor	A full time LPA employee authorized to administer inherently governmental PROJECT activities Company or Companies to which the construction contract was awarded

Project Description

Name Broadsmore Dr. and Stonegate Rd. - Ph 2 Route N/A Length 0.73 mi Structure No. N / A

Termini Various

Description: This project consists of the reconstruction using full depth reclamation as well as resurfacing with HMA. The project also includes curb & gutter / driveway removal and replacement, sidewalk R&R, sewer and watermain, structure adjustments, pavement markings, landscape restoration and all related appurtenances and accessories necessary to complete the work.

Agreement Provisions

I. THE ENGINEER AGREES,

1. To perform or be responsible for the performance of the engineering services for the LPA, in connection with the PROJECT hereinbefore described and checked below:
 - a. Proportion concrete according to applicable STATE Bureau of Materials and Physical Research (BMPR) Quality Control/Quality Assurance (QC/QA) training documents or contract requirements and obtain samples and perform testing as noted below.
 - b. Proportion hot mix asphalt according to applicable STATE BMPR QC/QA training documents and obtain samples and perform testing as noted below.
 - c. For soils, to obtain samples and perform testing as noted below.
 - d. For aggregates, to obtain samples and perform testing as noted below.

NOTE: For 1a. through 1d. the ENGINEER is to obtain samples for testing according to the STATE BMPR "Project Procedures Guide", or as indicated in the specifications, or as attached herein by the LPA; test according to the STATE BMPR "Manual of Test Procedures for Materials", submit STATE BMPR inspection reports; and verify compliance with contract specifications.

- e. Inspection of all materials when inspection is not provided at the sources by the STATE BMPR, and submit inspection reports to the LPA and the STATE in accordance with the STATE BMPR "Project Procedures Guide" and the policies of the STATE.
 - f. For Quality Assurance services, provide personnel who have completed the appropriate STATE BMPR QC/QA trained technician classes.
 - g. Inspect, document and inform the LPA employee In Responsible Charge of the adequacy of the establishment and maintenance of the traffic control.
 - h. Geometric control including all construction staking and construction layouts.
 - i. Quality control of the construction work in progress and the enforcement of the contract provisions in accordance with the STATE Construction Manual.
 - j. Measurement and computation of pay items.
 - k. Maintain a daily record of the contractor's activities throughout construction including sufficient information to permit verification of the nature and cost of changes in plans and authorized extra work.
 - l. Preparation and submission to the LPA by the required form and number of copies, all partial and final payment estimates, change orders, records, documentation and reports required by the LPA and the STATE.
 - m. Revision of contract drawings to reflect as built conditions.
 - n. Act as resident construction supervisor and coordinate with the LPA employee In Responsible Charge.
2. Engineering services shall include all equipment, instruments, supplies, transportation and personnel required to perform the duties of the ENGINEER in connection with the AGREEMENT.
 3. To furnish the services as required herein within twenty-four hours of notification by the LPA employee In Responsible Charge.
 4. To attend meetings and visit the site of the work at any reasonable time when requested to do so by representatives of the LPA or STATE.
 5. That none of the services to be furnished by the ENGINEER shall be sublet, assigned or transferred to any other party or parties without the written consent of the LPA. The consent to sublet, assign or otherwise transfer any portion of the services to be furnished by the ENGINEER shall not be construed to relieve the ENGINEER of any responsibility for the fulfillment of this AGREEMENT.
 6. The ENGINEER shall submit invoices, based on the ENGINEER's progress reports, to the LPA employee In Responsible Charge, no more than once a month for partial payment on account for the ENGINEER's work completed to date. Such invoices shall represent the value, to the LPA of the partially completed work, based on the sum of the actual costs incurred, plus a percentage (equal to the percentage of the construction engineering completed) of the fixed fee for the fully completed work.
 7. That the ENGINEER is qualified technically and is entirely conversant with the design standards and policies applicable to improvement of the SECTION; and that the ENGINEER has sufficient properly trained, organized and experienced personnel to perform the services enumerated herein.
 8. That the ENGINEER shall be responsible for the accuracy of the ENGINEER's work and correction of any errors, omissions or ambiguities due to the ENGINEER'S negligence which may occur either during prosecution or after acceptance by the LPA. Should any damage to persons or property result from the ENGINEER's error, omission or negligent act, the ENGINEER shall indemnify the LPA, the STATE and their employees from all accrued claims or liability and assume all restitution and repair costs arising from such negligence. The ENGINEER shall give immediate attention to any remedial changes so there will be minimal delay to the contractor and prepare such data as necessary to effectuate corrections, in consultation with and without further compensation from the LPA.
 9. That the ENGINEER will comply with applicable federal statutes, state of Illinois statutes, and local laws or ordinances of the LPA.
 10. The undersigned certifies neither the ENGINEER nor I have:
 - a) employed or retained for commission, percentage, brokerage, contingent fee or other considerations, any firm or person (other than a bona fide employee working solely for me or the above ENGINEER) to solicit or secure this AGREEMENT;
 - b) agreed, as an express or implied condition for obtaining this AGREEMENT, to employ or retain the services of any firm or person in connection with carrying out the AGREEMENT or

- c) paid, or agreed to pay any firm, organization or person (other than a bona fide employee working solely for me or the above ENGINEER) any fee, contribution, donation or consideration of any kind for, or in connection with, procuring or carrying out the AGREEMENT.
 - d) are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from covered transactions by any Federal department or agency;
 - e) have not within a three-year period preceding the AGREEMENT been convicted of or had a civil judgment rendered against them for commission of fraud or criminal offense in connection with obtaining, attempting to obtain or performing a public (Federal, State or local) transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements or receiving stolen property;
 - f) are not presently indicted for or otherwise criminally or civilly charged by a government entity (Federal, State or local) with commission of any of the offenses enumerated in paragraph (e) of this certification; and
 - g) have not within a three-year period preceding this AGREEMENT had one or more public transactions (Federal, State or local) terminated for cause or default.
11. To pay its subconsultants for satisfactory performance no later than 30 days from receipt of each payment from the LPA.
 12. To submit all invoices to the LPA within one year of the completion of the work called for in this AGREEMENT or any subsequent Amendment or Supplement.
 13. To submit BLR 05613, Engineering Payment Report, to the STATE upon completion of the work called for in the AGREEMENT.
 14. To be prequalified with the STATE in Construction Inspection when the ENGINEER or the ENGINEER's assigned staff is named as resident construction supervisor. The onsite resident construction supervisor shall have a valid Documentation of Contract Quantities certification.
 15. Will provide, as required, project inspectors that have a valid Documentation of Contract Quantities certification.

II. THE LPA AGREES,

1. To furnish a full time LPA employee to be In Responsible Charge authorized to administer inherently governmental PROJECT activities.
2. To furnish the necessary plans and specifications.
3. To notify the ENGINEER at least 24 hours in advance of the need for personnel or services.
4. To pay the ENGINEER as compensation for all services rendered in accordance with this AGREEMENT, on the basis of the following compensation formulas:

Cost Plus Fixed Fee Formulas

- FF = 15.0%[DL + R(DL) + OH(DL) + IHDC], or
- FF = 15.0%[(2.3 + R)DL + IHDC]

Where: DL = Direct Labor
 IHDC = In House Direct Costs
 OH = Consultant Firm's Actual Overhead Factor
 R = Complexity Factor
 FF=Fixed Fee
 SBO = Services by Others

Total Compensation = DL +IHDC+OH+FF+SBO

- Specific Rate Direct Labor Multiplier of 2.8
- Lump Sum _____

5. To pay the ENGINEER using one of the following methods as required by 49 CFR part 26 and 605 ILCS 5/5-409:

With Retainage

- a) **For the first 50% of completed work**, and upon receipt of monthly invoices from the ENGINEER and the approval thereof by the LPA, monthly payments for the work performed shall be due and payable to the ENGINEER, such payments to be equal to 90% of the value of the partially completed work minus all previous partial payments made to the ENGINEER.
- b) **After 50% of the work is completed**, and upon receipt of monthly invoices from the ENGINEER and the approval thereof by the LPA, monthly payments covering work performed shall be due and payable to the ENGINEER, such payments to be equal to 95% of the value of the partially completed work minus all previous partial payments made to the ENGINEER.
- c) **Final Payment** – Upon approval of the work by the LPA but not later than 60 days after the work is completed and reports have been made and accepted by the LPA and the STATE, a sum of money equal to the basic fee as determined in this AGREEMENT less the total of the amounts of partial payments previously paid to the ENGINEER shall be due and payable to the ENGINEER.

Without Retainage

- a) **For progressive payments** – Upon receipt of monthly invoices from the ENGINEER and the approval thereof by the LPA, monthly payments for the work performed shall be due and payable to the ENGINEER, such payments to be equal to the value of the partially completed work minus all previous partial payments made to the ENGINEER.
 - b) **Final Payment** – Upon approval of the work by the LPA but not later than 60 days after the work is completed and reports have been made and accepted by the LPA and STATE, a sum of money equal to the basic fee as determined in this AGREEMENT less the total of the amounts of partial payments previously paid to the ENGINEER shall be due and payable to the ENGINEER.
6. The recipient shall not discriminate on the basis on the basis of race, color, national origin or sex in the award and performance of any DOT-assisted contract or in the administration of its DBE program or the requirements of 49 CFR part 26. The recipient shall take all necessary and reasonable steps under 49 CFR part 26 to ensure nondiscrimination in the award and administration of DOT-assisted contracts. The recipient's DBE program, as required by 49 CFR part 26 and as approved by DOT, is incorporated by reference in this agreement. Implementation of this program is a legal obligation and failure to carry out its terms shall be treated as violation of this agreement. Upon notification to the recipient of its failure to carry out its approved program, the Department may impose sanctions as provided for under part 26 and may, in appropriate cases, refer the matter for enforcement under 18 U.S.C. 1001 and/or the Program Fraud Civil Remedies Act of 1986 (31U.S.C. 3801 et seq.).
7. To submit approved form BC 775 (Exhibit C) and BC 776 (Exhibit D) with this AGREEMENT.
8. To certify by execution of this AGREEMENT that the selection of the ENGINEER was performed in accordance with the Local Government Professional Services Selection Act 50 ILCS 510, the Brooks Act 40USC 11, and Procurement, Management, and Administration of Engineering and Design related Services (23 CFR part 172). Exhibit C is required to be completed with this agreement.

III. It is Mutually Agreed,

1. That the ENGINEER and the ENGINEER's subcontractors will maintain all books, documents, papers, accounting records and other evidence pertaining to cost incurred and to make such materials available at their respective offices at all reasonable times during the AGREEMENT period and for three years from the date of final payment under this AGREEMENT, for inspection by the STATE, Federal Highway Administration or any authorized representatives of the federal government and copies thereof shall be furnished if requested.
2. That all services are to be furnished as required by construction progress and as determined by the LPA employee In Responsible Charge. The ENGINEER shall complete all services specified herein within a time considered reasonable to the LPA, after the CONTRACTOR has completed the construction contract.
3. That all field notes, test records and reports shall be turned over to and become the property of the LPA and that during the performance of the engineering services herein provided for, the ENGINEER shall be responsible for any loss or damage to the documents herein enumerated while they are in the ENGINEER's possession and any such loss or damage shall be restored at the ENGINEER's expense.
4. That this AGREEMENT may be terminated by the LPA upon written notice to the ENGINEER, at the ENGINEER's last known address, with the understanding that should the AGREEMENT be terminated by the LPA, the ENGINEER shall be paid for any services completed and any services partially completed. The percentage of the total services which have been rendered by the ENGINEER shall be mutually agreed by the parties hereto. The fixed fee stipulated in numbered paragraph 4d of Section II shall be multiplied by this percentage and added to the ENGINEER's actual costs to obtain the earned value of work performed. All field notes, test records and reports completed or partially completed at the time of termination shall become the property of, and be delivered to, the LPA.
5. That any differences between the ENGINEER and the LPA concerning the interpretation of the provisions of this AGREEMENT shall be referred to a committee of disinterested parties consisting of one member appointed by the ENGINEER, one member appointed by the LPA, and a third member appointed by the two other members for disposition and that the committee's decision shall be final.

6. That in the event the engineering and inspection services to be furnished and performed by the LPA (including personnel furnished by the ENGINEER) shall, in the opinion of the STATE be incompetent or inadequate, the STATE shall have the right to supplement the engineering and inspection force or to replace the engineers or inspectors employed on such work at the expense of the LPA.
7. That the ENGINEER has not been retained or compensated to provide design and construction review services relating to the contractor's safety precautions, except as provided in numbered paragraph 1f of Section I.
8. This certification is required by the Drug Free Workplace Act (30ILCS 580). The Drug Free Workplace Act requires that no grantee or contractor shall receive a grant or be considered for the purpose of being awarded a contract for the procurement of any property or service from the State unless that grantee or contractor will provide a drug free workplace. False certification or violation of the certification may result in sanctions including, but not limited to, suspension of contract or grant payments, termination of a contract or grant and debarment of contracting or grant opportunities with the State for at least one (1) year but no more than five (5) years.

For the purpose of this certification, "grantee" or "contractor" means a corporation, partnership or other entity with twenty-five (25) or more employees at the time of issuing the grant, or a department, division or other unit thereof, directly responsible for the specific performance under a contract or grant of \$5,000 or more from the State, as defined in the Act.

The contractor/grantee certifies and agrees that it will provide a drug free workplace by:

- (a) Publishing a statement:
 - (1) Notifying employees that the unlawful manufacture, distribution, dispensing, possession or use of a controlled substance, including cannabis, is prohibited in the grantee's or contractor's workplace.
 - (2) Specifying the actions that will be taken against employees for violations of such prohibition.
 - (3) Notifying the employee that, as a condition of employment on such contract or grant, the employee will:
 - (A) abide by the terms of the statement; and
 - (B) notify the employer of any criminal drug statute conviction for a violation occurring in the workplace no later than five (5) days after such conviction.
 - (b) Establishing a drug free awareness program to inform employees about:
 - (1) the dangers of drug abuse in the workplace;
 - (2) the grantee's or contractor's policy of maintaining a drug free workplace;
 - (3) any available drug counseling, rehabilitation and employee assistance program; and
 - (4) the penalties that may be imposed upon an employee for drug violations.
 - (c) Providing a copy of the statement required by subparagraph (a) to each employee engaged in the performance of the contract or grant and to post the statement in a prominent place in the workplace.
 - (d) Notifying the contracting or granting agency within ten (10) days after receiving notice under part (B) of paragraph (3) of subsection (a) above from an employee or otherwise receiving actual notice of such conviction.
 - (e) Imposing a sanction on, or requiring the satisfactory participation in a drug abuse assistance or rehabilitation program by, any employee who is convicted, as required by section S of the Drug Free Workplace Act.
 - (f) Assisting employees in selecting a course of action in the event drug counseling, treatment and rehabilitation is required and indicating that a trained referral team is in place.
 - (g) Making a good faith effort to continue to maintain a drug free workplace through implementation of the Drug Free Workplace Act.
9. The ENGINEER or subconsultant shall not discriminate on the basis of race, color, national origin or sex in the performance of this AGREEMENT. The ENGINEER shall carry out applicable requirements of 49 CFR part 26 in the administration of DOT-assisted contracts. Failure by the ENGINEER to carry out these requirements is a material breach of this AGREEMENT, which may result in the termination this AGREEMENT or such other remedy as the LPA deems appropriate.
 10. When the ENGINEER is requested to complete work outside the scope of the original AGREEMENT, a supplemental AGREEMENT will be required. Supplements will also be required for the addition or removal of subconsultants, direct costs, the use of previously unspecified staff, and other material changes to the original AGREEMENT.

**Exhibit A - Construction Engineering
 COST ESTIMATE OF CONSTRUCTION SERVICES
 PHASE III ENGINEERING SERVICES
 Broadsmore Dr. and Stonegate Rd. Roadway Improvements - Phase 2
 Village of Algonquin**

Route: Broadsmore Dr. and Stonegate Rd. Roadway Improvements - Phase 2
 Local Agency: Village of Algonquin
 DCEO No.:
 Project No.:
 Job No.:
 County: Kane

*Includes hourly rates for 2025
 **Direct Labor Multiplier = 2.8
 Complexity factor (R=0.00)

Consultant: Civiltech Engineering, Inc.

Prepared: 1/13/2025

ITEM	Employee Classification	Total Number of Manhours	Percent of Total	DOLLARS (\$)			
				Payroll Rate*	Payroll Costs	Payroll, Burden & Fringe Costs; Overhead & Fee **(Labor x 2.8)	TOTAL
Construction Engineering:	Senior Res. Engr.	0	0.00%	\$ 61.25	\$ -	\$ -	\$ -
	Res. Engr.	563	71.18%	\$ 53.50	\$ 30,121	\$ 84,339	\$ 84,339
	Engr. (Inspector)	170	21.49%	\$ 39.15	\$ 6,656	\$ 18,637	\$ 18,637
	Technician (Intern)	0	0.00%	\$ 21.00	\$ -	\$ -	\$ -
	Chief Layout Specialist	44	5.56%	\$ 44.75	\$ 1,969	\$ 5,513	\$ 5,513
	Structural Engr.	0	0.00%	\$ 49.50	\$ -	\$ -	\$ -
	Proj . Mngr.	14	1.77%	\$ 78.00	\$ 1,092	\$ 3,058	\$ 3,058
							SUBTOTAL
							\$ 111,547
Direct Expenses:							
1.) Vehicle Expense							\$ 5,525
2.) Material Testing							\$ 11,000
3.) Soils Monitoring							\$ -
4.) Printing Expense							\$ 145
5.) Photography							\$ 100
TOTALS		791	100.00%		\$ 39,838	\$ 111,547	\$ 128,317

- 1.) 85 Days @ \$65.00/Day
- 2.) Material Testing (Midland Standard Engineering & Testing, Inc.)
- 3.) Soils Monitoring (Huff & Huff)
- 4.) Estimated printing expense for Record Drawings
- 5.) Estimated photography expense

Broadsmore Dr. and Stonegate Rd. Roadway Improvements - Phase 2 Summary of Direct Costs

Route: Broadsmore Dr. and Stonegate Rd. Roadway Improvements - Phase 2
Local Agency: Village of Algonquin
Section No.:
Contract No.:
Job No.:
County: Kane

Direct Costs:

Printing Expense

Assume 2 large sets for working drawings & 1 set for final "As-Builts"

Bond Prints: 3 sets X 56 sheets/set X \$0.87 per sheet = \$146.16

Total = \$146.16

Say: \$145.00

Photography Expense

Assume 10 sets of developed digital pictures @ \$10.00 ea. = \$100.00

Total: \$100.00

Vehicle Expense

85 vehicle days required @ \$65.00 per day = \$5,525.00

Total: \$5,525.00



VILLAGE OF ALGONQUIN
PUBLIC WORKS DEPARTMENT

– M E M O R A N D U M –

DATE: February 18, 2025

TO: Tim Schloneger, Village Manager

FROM: Cliff Ganek, P.E., Village Engineer

SUBJECT: Recommendation to Approve the Design Engineering Services Agreement with Christopher B. Burke Engineering for the Willoughby Farms Subdivision Section 3 Improvements

Attached is a proposal from Christopher B. Burke Engineering, LTD (CBBEL) to provide design engineering services for the Willoughby Farms Subdivision Section 3 Improvements. This section of Willoughby Farms includes the remaining section of the subdivision located east of Sleepy Hollow Road and north of Longmeadow Parkway as identified on the attached map. Public Works staff have identified the streets in this subdivision that need repair. The project scope including full-depth reclamation (FDR), roadway resurfacing, selective sidewalk and curb and gutter replacement, ADA ramp upgrades, and utility structure adjustments and looping the dead-end water main on Notting Hill Road.

The streets in this subdivision were constructed 30 years ago and the current pavement conditions of the 2.2 miles of roadway in this section of Willoughby Farms are in extremely poor condition with significant cracking and evidence of base failure. The Pavement Condition Index from 2021 for the streets ranges from 8-36, which indicates base failure in many areas. As a result, staff recommend 12-inch FDR on collector streets and 10-inch FDR on lower volume streets. The streets in fairer condition or cul-de-sacs that have lower traffic volumes will receive resurfacing at a depth of two inches.

Village staff anticipates design to begin this March and the final set of plans and specifications to be ready for bid in the spring of 2026. Construction is expected to begin in May 2026. The services from CBBEL will include a topographic survey, geotechnical investigation, preliminary engineering, water main modeling, and the preparation of plans and specifications. The not-to-exceed fee for these services is \$268,298, approximately 10% of the estimated construction cost. Funds are proposed to cover the full amount of the proposal in the Street and Water & Sewer funds in FY26.

Summary

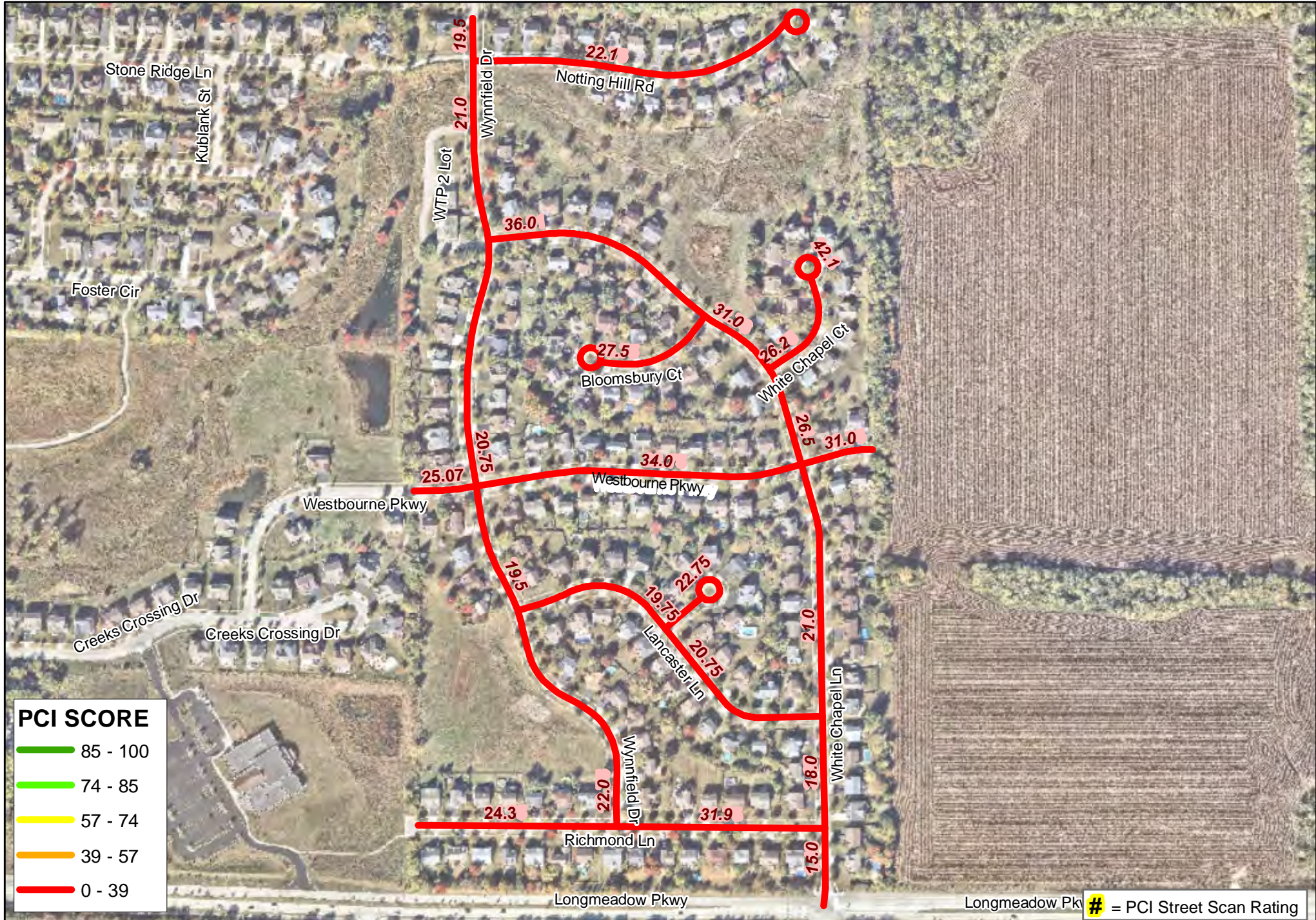
1. This agreement will allow CBBEL to provide engineering services for the Willoughby Farms Subdivision Section 3 Improvements.
2. The work will address the poor condition of the streets, non-compliant ADA sidewalks and ramps, and design a water main loop on Notting Hill Road to improve reliability and provide redundancy.

3. Sufficient funds are proposed in the FY2025-26 Street and Water & Sewer Funds currently in consideration by the Village Board.

Therefore, it is our recommendation that the Committee of the Whole take action to move this matter forward to the Village Board for approval of the agreement with CBBEL to provide design engineering services for the Willoughby Farms Subdivision Section 3 Improvements in the amount of \$268,298.

Willoughby Farms Subdivision - Section 3

2.15 Miles



Consulting Engineering
Master Agreement Work Order Form

I. Incorporation of Master Agreement

All terms and conditions contained within the Village Engineer Master Agreement executed between the parties shall be applicable to the work to be performed under this Work Order and shall be deemed to be fully incorporated as if fully set forth herein.

II. Project Understanding

A. General Understanding/Assumptions

CBBEL understands the Village of Algonquin would like to complete full depth reclamation on the roadways within the project limits of the Willoughby Farms Section 3 subdivision, located north of Longmeadow Parkway and east of Sedgewood Trail in the Village of Algonquin. The total length of roadway work is approximately 2.04 miles for the residential neighborhood. The following is our understanding of the scope of work:

- 4.25” Grind and Full Depth Reclamation (base stabilization) 12”:
 - Wynnfield Drive (2,550 ft.)
 - White Chapel Lane (2,500 ft.)
- 4” Grind and Full Depth Reclamation (base stabilization) 10”:
 - Westbourne Parkway (1,400 ft.)
 - Lancaster Lane (1,050 ft.)
 - Notting Hill Road (1,000 ft.)
 - Richmond Lane (1,230 ft.)
- 1-3/4” or 2” HMA Grind and Overlay (dependent on pavement cores):
 - Bloomsbury Court (430 ft.)
 - White Chapel Court (400 ft.)
 - Lancaster Court (200 ft.)
- Spot curb and gutter removal and replacement
- Spot PCC sidewalk removal and replacement
- Spot driveway apron removal and replacement
- Drainage and utility structure adjustments
- Spot drainage and utility removal and replacement
- Multi-Use Path re-alignment and updated crossing at Wynnfield Road and Notting Hill Road.
- Improved Notting Hill Cul-De-Sac drainage improvements
- Notting Hill Drive water main (discussed further below)
- ADA ramp assessment and design
- Landscape restoration, as necessary

We understand that the Village has collected information on the existing sidewalks, curb and gutter, and drainage and utilities. It is our understanding that the Village will

provide an asset condition report for these facilities, and a list of locations where areas of removal, replacement, or rehabilitation of these facilities are necessary.

Also included within the scope of this project is a new water main along Notting Hill Road from the intersection of Wynnfield Drive to its terminus to the east, a distance of approximately 1,000 feet. The purpose of this work is to address the long length of dead-end water main, creating a looped water main to maintain adequate flows in the main as well as a system of redundancy for any future maintenance or water main repairs. The new water main is assumed to be 8" diameter, but will need to be verified in the water model to confirm fire flows are maintained on areas towards the north. It is assumed all water service lines will remain connected to the existing water main, and water service line adjustments will be incorporated to construct the new proposed water main. In addition to the proposed water main, this work will include a reconfiguration of the existing water main routing and connections near the intersection of Notting Hill Road and Wynnfield Drive in an effort to reduce the number of existing bends.

Construction staging may be necessary to limit the residential impacts as part of the improvements. CBBEL understands that local funds will be used for all construction costs, as well as all design and construction engineering fees.

Construction for sewer repairs may impact side or rear residential yards. Work for sewer repairs will consist either of spot repairs at various locations, or cured-in-place pipe lining. CBBEL will design these locations with minimal impact in mind, and no work will be done outside of public right-of-way or Village/utility easements.

All water main work shall be broken out and separated so that the Village may decide on having a separate contract for the costs associated with the water main work.

CBBEL will review all signage on dead-end streets to verify conformance with MUTCD guidelines. No geometric changes will take place to existing dead-end streets, and no new easements will be acquired.

The following tasks are not included in the scope of this project:

- Intersection improvements on Longmeadow Parkway
- Storm water review
- Water main improvements outside of Notting Hill Road

It is our understanding the project will be designed in the summer of 2025, and construction beginning in May of 2026. CBBEL will coordinate with the Village to evaluate construction phasing, if appropriate, to reduce residential impacts. The Village has indicated that the project has the potential to be split into two separate construction contracts based on the final costs. The work to complete the split of the contract will be considered included in the scope of this contract.

B. Design Criteria

Village of Algonquin/IDOT design criteria will be utilized for this project.

III. Scope of Services

A. Surveying and Geotechnical Services

CBBEL will perform topographic survey based on the following tasks.

Task A.1 – Topographic Survey of Project

The Topographic Survey within Willoughby Farms Sec. 3 of twenty eight (28) sidewalk ramps at eleven (11) intersection crossings for special ADA ramp design will be performed within the project limits (as per attached ADA scope exhibit). No topographic survey will be performed for the Longmeadow Parkway Area. No topographic survey will be performed for Notting Hill Road, as it was previously completed under Willoughby Farms Section 2 projected in 2024.

Horizontal and Vertical Control: Utilizing state plane coordinates, CBBEL will set recoverable primary control utilizing state of the art GPS equipment.

Topographic Survey: CBBEL will field locate all pavements, driveways, curb and gutters (curb, gutter flow line, and edge of pavement/ face of curb), pavement markings, signs, Manholes or Utility Vaults on sidewalks and parkways and within 10 feet of pavement area adjacent to the curb, drainage structures, driveway culverts, cross road culverts, Fences, Traffic Signals, Signs, traffic cameras, parking meters, and pay boxes, Trees (including DBH) & Bushes, Light and Power Poles , Sidewalks (back and face of sidewalks) and pavement . Elevations every approximately 10 feet along sidewalks, curbs, gutters, building or property line, doorway stoops or steps as applicable and shown on the attached shall be taken. Elevations of roadway 5 feet from edge of pavement to be included.

Base Mapping: All of the above information will be compiled into one base map representative of existing conditions of the project corridor at a scale of 1"=20' for use in all design and engineering work.

Task A.2 – JULIE Coordination

CBBEL will coordinate with JULIE to retrieve atlas information for all applicable underground utilities including water main, gas, electric, cable, etc. CBBEL will compile all Utility Atlas information into the base map. Locations of existing utilities /obstructions / systems shown on the base map are the compilation of available utility plans provided by utility owners and JULIE Utility Coordination. All utilities /obstructions / systems may not be shown. Contractor shall be responsible for locating and protecting all underground utilities /obstructions / systems whether or not shown on base map. JULIE Utility Coordination Atlas information is typically isolated to Public Right-of-Way (off-site) & limited areas adjacent to Public Right-of-Way. Identification & location of all private subsurface utilities within project area (on-site) is the responsibility of the client.

Task A.3 – Geotechnical Investigation

A Geotechnical Investigation will be performed by CBBEL's subconsultant, Rubino Engineering. The Geotechnical Investigation will include nineteen (19) pavement cores, at a maximum depth of 5 feet, to determine the existing structure of the pavement and condition of subgrade materials.

Rubino will sawcut two (2) representative existing pavement sections at locations to be determined with the least amount of observable gravel base. Material will be collected approximately 12-inches below the existing pavement, and then will be returned to the laboratory for Full Depth Reclamation Mix Design testing. FDR Mix design will be performed in accordance with the IDOT Special Provision for Full Depth Reclamation with Cement or Cement Slurry, which references the IDOT Geotechnical Manual. Two (2) composite tests will be performed for unconfined compression testing. Upon completion of the field and laboratory work, Rubino will prepare a Full Depth Reclamation Mix Design (FDRMD) Report using the collected data. The report will include the following:

- Summary of client-provided project information and report basis
- Core Location Plan
- Photo documentation of field conditions and core specimens
- Subbase stone thickness and material
- Full Depth Reclamation Mix Design recommendations

Additionally, eight (8) Soil Borings will be prepared as part of the geotechnical investigation, at a maximum depth of 10 feet, to determine the characteristics of underlying soil material below the roadway subbase. Analytical testing of the soils will be conducted to determine expansiveness of the underlying clay, frost susceptibility, moisture content, and other attributes. One soil boring on Notting Hill Road will be tested for soils obtained within the 6 to 7-1/2 feet below existing grade sample following DIPRA guidelines. This testing will be conducted to determine the suitability of using ductile iron pipe for water mains and to assess the risk of long term corrosion. The findings of the soil analysis, frost susceptibility, and corrosivity testing will be included in the final geotechnical report.

The boring study will determine whether the associated laboratory analysis provide a basis for Rubino to sign IEPA Form LPC-663, Unincorporated Soil Certification by a Licensed Professional Engineer. A summary report will be prepared which describes the sampling procedures followed and presents results of the analytical laboratory testing. If all analytical results meet their respective MACs, Form LPC-663 will be filled out and signed by a Licensed Professional Engineer or Geologist. The report will be provided, and will be addressed to Christopher B. Burke Engineering, Ltd.

B. Engineering Services

Task B.1 – Field Reconnaissance

CBBEL Staff will perform a Field Reconnaissance of all roadways within the project limits with Village staff. The purpose of the Field Reconnaissance will be to determine the locations, limits, and estimated quantities of drainage structure, driveway apron, curb and gutter, and sidewalk removal and replacement, in addition to documenting field conditions, deficient appurtenances, or other unknowns. The results of the Field Reconnaissance will be included in the Preliminary Plans. The results of the Field Reconnaissance will be reviewed with the Department of Public Works and compared to previous estimates to determine their impact on the estimated construction cost.

Task B.2 – Stormwater Review

CBBEL will complete a detailed review of drainage problems, inlet locations, storm sewers, and existing drainage patterns throughout the project corridor to provide recommendations for additional inlets or potential storm sewer improvements. Special attention will be given to the following location, which was identified by the Village to have documented drainage problems:

- Notting Hill Road Cul-De-Sac

Task B.3 – Water Main Modeling Review

CBBEL will complete a detailed review of water main flows as it relates to the proposed improvements. The existing water main network will be analyzed to determine existing available fire flows to serve as a basis of comparison to proposed flows. The proposed water main improvements along Notting Hill Road will be added to the network, including anticipated valves, bends, and connections, and reanalyzed to determine available fire flows after the improvements. It is anticipated that several iterations may be required in order to meet existing fire flows. The results of the analysis will be shared with the Village and be used as the calculation source for the proposed conditions.

Task B.4 – Plans, Specifications and Estimates

CBBEL will prepare engineering plans, specifications, and estimates utilizing local funds for the following sheets:

- Cover Sheet
- General Notes Sheets
- Summary of Quantities
- Alignment Ties and Benchmarks
- Existing and Proposed Typical Sections
- Existing Conditions and Removal Plans
- Proposed Roadway Plans
- Multi-Use Path Realignment Plan
- Water Main Plan and Profiles
- ADA Ramp Plans
- Construction Details

CBBEL will draft the Plan base sheets at a scale of 1"=20' for use during design. We anticipate three submittals as part of the process: Preliminary, PreFinal, and Final Plan submittals.

This work will include breaking the project into two separate construction bid sets, if necessary, pending overall project costs.

CBBEL will assist the Village in bidding and recommendations of the bids.

C. Meetings/Coordination

2 Meetings with Village, 1 Public Information Meeting (optional)
CBBEL will provide letter; Village will perform mailing.

D. Deliverables

PDF of Preliminary, PreFinal, and Final Engineering Plans, Specifications and Estimates; and up to 2 construction document packages for bid, if necessary.

E. Services by Others

N/A

F. Information to be Provided by Client

Existing design plans
Village asset condition report and analysis of the existing sidewalk, curb and gutter, sanitary and storm sewer condition, and other existing features

IV. Staff-Hour & Fee Summary

A. Survey

Task A.1 Topographic Survey of Project			
Survey V	6 hrs x \$208/hr	=	\$1,248
Survey IV	12 hrs x \$196/hr	=	\$2,352
Survey III	16 hrs x \$179/hr	=	\$2,864
Survey II	72 hrs x \$140/hr	=	\$10,080
Survey I	72 hrs x \$119/hr	=	\$8,568
CAD Manager	36 hrs x \$187/hr	=	\$6,732
			<u>\$31,844</u>
Task A.2 JULIE Coordination			
CAD Manager	24 hrs x \$187/hr	=	\$4,488
Task A.3 Geotechnical Investigation			
Rubino Engineering		=	<u>\$27,500</u>
	Subtotal Task A		\$63,832

B. Engineering Services

Task B.1 Field Reconnaissance			
Engineer IV	16 hrs x \$175/hr	=	\$2,800
Engineer III	20 hrs x \$157/hr	=	<u>\$3,140</u>
			\$5,940

Task B.2 Stormwater Review				
Engineer IV	6 hrs x \$175/hr	=		\$1,050

Task B.3 Water Main Modeling Review				
Engineer V	6 hrs x \$208/hr	=		\$ 1,248
Engineer IV	30 hrs x \$175/hr	=		\$ 5,250
Engineer III	58 hrs x \$157/hr	=		\$ 9,106
Engineer I/II	40 hrs x \$135/hr	=		<u>\$ 5,400</u>
				\$21,004

Task B.4 Plans, Specifications and Estimates				
Engineer VI	54 hrs x \$242/hr	=		\$13,068
Engineer V	87 hrs x \$208/hr	=		\$18,096
Engineer IV	182 hrs x \$175/hr	=		\$31,850
Engineer III	250 hrs x \$157/hr	=		\$39,250
Engineer I/II	260 hrs x \$135/hr	=		\$35,100
CAD Manager	108 hrs x \$187/hr	=		\$20,196
CAD II	121 hrs x \$136/hr	=		<u>\$16,456</u>
				\$174,016

Subtotal Task B				\$202,010
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C. Meetings/Coordination

Engineer IV	4 hrs x \$175/hr	=		\$ 700
Engineer III	8 hrs x \$157/hr	=		<u>\$1,256</u>
Subtotal Task C				\$ 1,956

Subtotal				\$267,798
Direct Costs				<u>\$500</u>
Not-to Exceed Fee		=		\$268,298

VILLAGE OF ALGONQUIN

Accepted by: _____

Title: _____

Date: _____

CHRISTOPHER B. BURKE ENGINEERING, LTD.

Accepted by:  _____

Title: President _____

Date: 2/10/2025 _____

N:\PROPOSALS\ADMIN\2025\Algonquin - Willoughby Farms Section 3 Rehabilitation\Algonquin Willoughby Farms Section 3_021025.docx

CHRISTOPHER B. BURKE ENGINEERING, LTD.
STANDARD CHARGES FOR PROFESSIONAL SERVICES
VILLAGE OF ALGONQUIN

<u>Personnel</u>	<u>Charges</u> <u>(\$/Hr)</u>
Engineer VI.....	242
Engineer V.....	208
Engineer IV.....	175
Engineer III.....	157
Engineer I/II.....	135
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Survey III.....	179
Survey II.....	140
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Engineering Technician IV.....	170
Engineering Technician III.....	123
Engineering Technician I/II.....	95
CAD Manager.....	187
CAD II.....	136
CAD I.....	119
GIS Specialist III.....	157
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Landscape Designer III.....	136
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Environmental Resource Specialist V.....	208
Environmental Resource Specialist IV.....	170
Environmental Resource Specialist III.....	145
Environmental Resource Specialist I/II.....	110
Environmental Resource Technician.....	123
Bus Ops Department.....	120
Engineering Intern.....	81

Updated January 13, 2025



VILLAGE OF ALGONQUIN
PUBLIC WORKS DEPARTMENT

– M E M O R A N D U M –

DATE: February 18, 2025

TO: Tim Schloneger, Village Manager

FROM: Cliff Ganek, P.E., Village Engineer

SUBJECT: Recommendation to Approve the Design Engineering Services Agreement with Christopher B. Burke Engineering for the Neubert Water Main Replacement project

Attached is a proposal from Christopher B. Burke Engineering, LTD (CBBEL) to provide design engineering services for the Neubert Water Main Replacement project. Neubert Elementary School is currently fed with 6-inch ductile iron water main, installed in 1983. The ongoing update to the Water System Master Plan has identified this project as a critical upgrade necessary to improve fire flows and reliability for the school and local residents.

The upgrade will address two major issues. First, the current 6-inch main is undersized to provide sufficient fire flows to the school. Schools require higher fire flow demands and based on information provided in the Water System Master Plan, the current fire flows are insufficient. Upsizing the pipe diameter from a six to a 12-inch addresses this issue. Second, this project will improve reliability by looping the main around the west side of the school, up Stoney Brook Court with a connection to the 10-inch water main on Huntington Drive. Upon approval of the proposal, staff will begin coordination with District 300 and Neubert Elementary to discuss the project timeline and ensure disruptions are minimized.

Village staff expects design to begin in March, with final plans and specifications ready for bid in the fall. Construction will take place in fall and winter, with final restoration in spring 2026. CBBEL's services include surveying for easements, geotechnical investigation, coordination, and preparing final plans and specifications. The not-to-exceed fee is \$108,446, covered by Water & Sewer funds in FY26 as part of the new Annual Water Main Replacement Program.

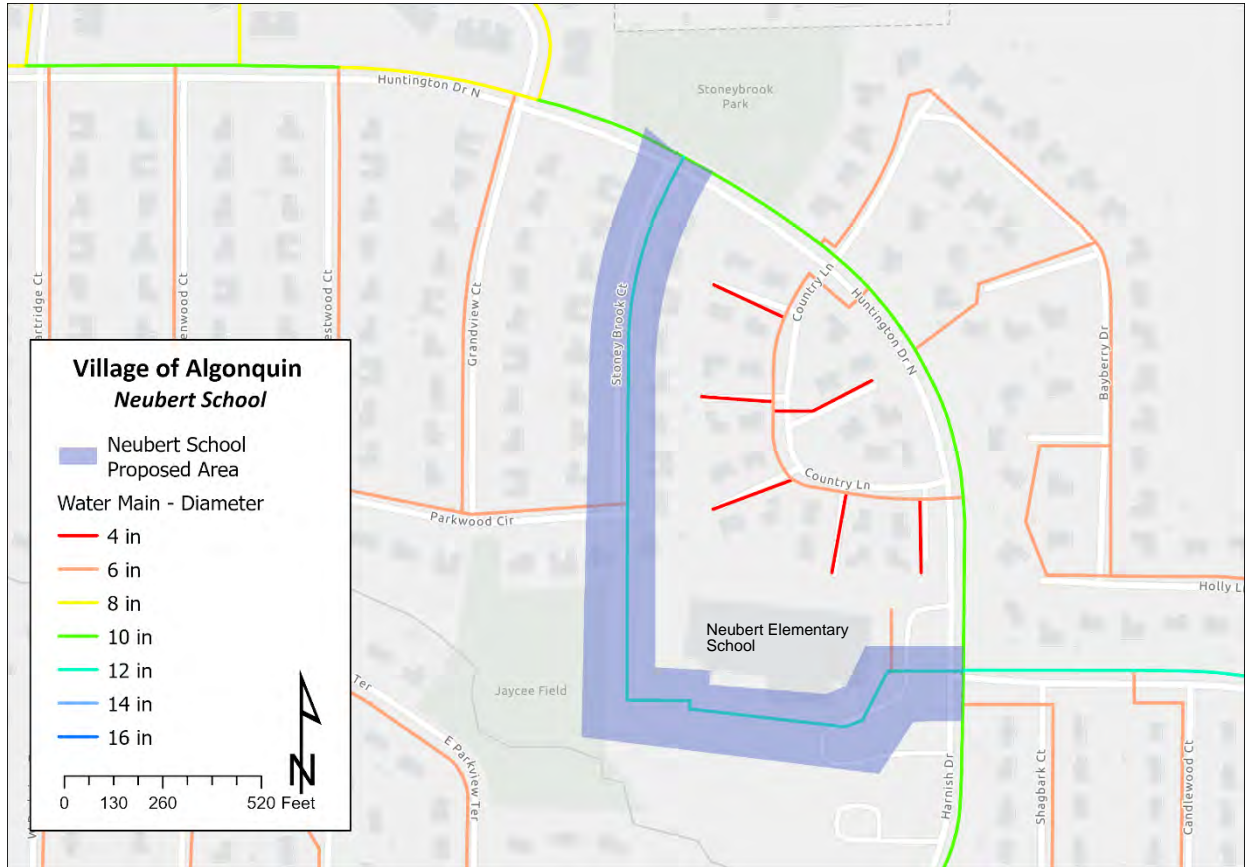
Summary

1. The work will address poor fire flows in a high-demand area and improve reliability for the school and local residents.
2. Sufficient funds are proposed in the FY2025-26 Water & Sewer Funds.

Therefore, it is our recommendation that the Committee of the Whole take action to move this matter forward to the Village Board for approval of the agreement with CBBEL to provide design engineering services for the Neubert Water Main Replacement project in the amount of \$108,446.00.

4.1.3 Neubert School

The Neubert School water main along Stoney Brook Ct is currently served by a 6-inch main. The proposed area is served within pressure Zone 4 and were constructed between the 1970's and 1980's. Historically, there has been a few occasions of water main breaks reported. Due to the higher fire flow demand for schools, it is vital that any fire flow issues are addressed. The proposed main improvement aims to upsize the current 6-inch main to a 12-inch main as well as connect Stoney Brook Ct to Harnish drive, crossing the Nubert Elementary School. The proposed area is shown below.



Neubert School Proposed Main

Fire flow conditions around the area mainly provide between 1,000 to 3,000 gpm of available fire flow. Concentrated areas within the Neubert school area between County Ln and Stoney Brook Ct were found to be on the lower end of the available fire flows. The proposed main upsizing and connection between Stoney Brook Ct was modeled and analyzed in WaterCAD V8i. Results of the analysis showed an increase in available fire flows of 3,000+ gpm as shown in the figures on the following page.

Consulting Engineering
Master Agreement Work Order Form

I. Incorporation of Master Agreement

All terms and conditions contained within the Village Engineer Master Agreement executed between the parties shall be applicable to the work to be performed under this Work Order and shall be deemed to be fully incorporated as if fully set forth herein.

II. Project Understanding

A. General Understanding/Assumptions

The purpose of this project is to complete partial improvements identified in the 2023 Water Utility Master Plan completed by Trotter Construction, Inc. at the Neubert Elementary School. Based on the Master Plan, it is our understanding that a new, 12” diameter water main would add a significant increase to available fire flows to the Neubert School area.

The project includes the installation of approximately 2,400 linear feet of a new 12-inch water main from the Huntington Drive & Harnish Drive intersection, west through Neubert Elementary School property, north and west around Jaycee Field, north to Parkwood Circle, east to Stoneybrook Ct, and north along Stoneybrook Ct to terminate at Huntington Drive. New valve vaults and fire hydrants will be constructed at locations designated by Public Works and the Fire Department. This proposal of services does not include other water main improvements along Huntington Drive or Harnish Drive as identified in Trotter’s 2023 Water Utility Master Plan.

Any water shutdowns to Neubert Elementary school will be coordinated to be performed while school is out for Thanksgiving break, holiday break or on weekends. All water main construction below paved areas across Huntington Drive, school parking lots or drives, Parkwood Circle, or Stoneybrook Ct are to be completed prior to asphalt plants closing down for the season so suitable HMA patching can be constructed over the trench.

The assumed proposed water main alignment is shown on the attached exhibit. Additional analysis of alternative alignments is included in the scope of work for Village approval. It is our understanding the Neubert Elementary School has a 6” water service line serving dual purpose as a fire suppression and public water supply. This proposal assumes the single water service line will be maintained.

It was discussed that roadway resurfacing, driveway apron replacement, sidewalk replacement, or other roadway improvements will not be included as part of this project. The Village has short term plans to resurface and/or reconstruct Stoney Brook Ct, Parkwood Circle, Huntington Drive, and Harnish drive in the next 3-10 years. All roadway improvements included in this project will consist of HMA pavement patches and replacements of only surface features that are directly impacted by the construction of the

water main. It is assumed that the full width of the HMA path around Jaycee Park will be removed and replaced due to the anticipated water main alignment.

It is understood that this project will not require topographic survey. Engineering plans for the installation of the water main and connections to existing water mains will be based on available Village GIS data, including Valve Vault rim and invert information, water main sizes, and other available information obtained via atlas and record drawings. Topographic survey was completed in 2019 as part of the Ratt Creek project which is adjacent to and overlapping with the proposed project limits, and therefore will also be used as a supplement for existing ground surface elevations and utility information. Topographic surface elevations for the full project area will be derived from McHenry County 1' contours and available topography from the Village GIS database.

It is our understanding that boundary survey may be required to establish property boundaries adjacent to the installation of the water main. The specific property boundaries to be confirmed may vary significantly depending on the ultimate water main alignment. Therefore, boundary survey is not included in the scope of this work, and will be submitted under a separate work order if required based on need.

This proposal assumes one permanent easement will be required on Community Unit School District 300 property for the construction and perpetual maintenance of the proposed water main.

It is our understanding the project will be designed in Summer 2025 with construction occurring in October or November of 2025. Local funds will be used for construction costs, as well as all design and construction engineering fees.

B. Design Criteria
Village/IDOT

III. Scope of Services

A. Surveying and Geotechnical Services

Task A.1 – J.U.L.I.E. Utility Coordination

CBBEL will coordinate with JULIE to retrieve atlas information for all applicable underground utilities including water main, gas, electric, cable, etc. CBBEL will compile all Utility Atlas information into the base map. Locations of existing utilities /obstructions / systems shown on the base map are the compilation of available utility plans provided by utility owners and JULIE Utility Coordination. All utilities /obstructions / systems may not be shown. Contractor shall be responsible for locating and protecting all underground utilities /obstructions / systems whether or not shown on base map. JULIE Utility Coordination Atlas information is typically isolated to Public Right-of-Way (off-site) & limited areas adjacent to Public Right-of-Way. Identification & location of all private subsurface utilities within project area (on-site) is the responsibility of the client.

Task A.2 – Easement Exhibit and Legal Descriptions

It is assumed that one permanent easement will be required from the Community Unit School District 300 for the construction and permanent maintenance due to contiguous ownership of the two private parcels affected by the new proposed water main. The following subtasks are included in the work to complete the Easement Exhibit and Legal Description:

1. Initial coordination with Client.
2. Research with the Mchenry County Recorder's Office.
3. Office calculations and plotting of field and record data.
4. CAD drafting of the easement exhibit for the proposed easement areas.
5. Write legal descriptions for the proposed easement areas.
6. Final review and submittal by an Illinois Professional Land Surveyor.

This task assumes the client is responsible for recording the plat of easement with the County Recorder's office.

Task A.3 – Geotechnical Investigation

A Geotechnical Investigation will be performed by CBBEL's subconsultant, Rubino Engineering, Inc. The Geotechnical Investigation will include seven (7) soil borings to a depth of 10 feet to determine the existing condition of subgrade soil materials and characteristics. The objectives of the investigation are to determine whether the associated laboratory analysis and PIP Evaluation provides a basis for Rubino to sign the IEPA Form LPC-663 for clean construction debris certification, the Unincorporated Soil Certification. A summary report will be prepared which describes the sampling procedures followed and presents results of the analytical laboratory testing. If all analytical results meet their respective MACs, Form LPC-663 will be filled out and signed by a Licensed Professional Engineer or Geologist. The report will be provided, and will be addressed to Christopher B. Burke Engineering, Ltd.

Two additional sets of 10-point corrosivity testing will also be performed on soils obtained within the 6 to 7-1/2 feet below existing grade sample following DIPRA guidelines. This testing will be conducted to determine the suitability of using ductile iron pipe for water mains and to assess the risk of long term corrosion.

B. Engineering Services

Task B.1 – Field Reconnaissance

CBBEL Staff will perform a Field Reconnaissance of the project limits with Village staff. The purpose of the Field Reconnaissance will be to verify the limits and alignment of the water main. The results of the Field Reconnaissance will be included in the Preliminary Plans. The results of the Field Reconnaissance will be

reviewed with the Department of Public Works and compared to previous estimates to determine their impact on the estimated construction cost.

Task B.2 – Water Main Alignment Investigation

CBBEL will prepare up to 3 water main alignment alternatives for the Village, showcasing benefits and considerations of each. Exhibits will be prepared for each alternative, in addition to a conceptual cost estimate and factors to consider. Factors for consideration may include:

- School operations
- Fire Department operations
- Constructability
- Residential disturbance
- Tree impacts
- Traffic impacts
- Cost

A detailed water main review will be completed as part of this task once a preferred alignment is selected for compliance with state and federal requirements, anticipated valve vault locations, fire hydrant locations, and water main connection details.

Task B.3 – Plans, Specifications and Estimates

Following the water main alignment investigation, CBBEL will prepare detailed engineering plans, specifications and estimates and preparation of bid documents. Engineering plan sheets are anticipated as follows:

- Cover Sheet
- General Notes Sheets
- Summary of Quantities
- Existing and Proposed Typical Sections
- Alignment Ties and Benchmarks
- Existing Conditions and Removals Plans
- Proposed Improvements Plans
- Proposed Water Main Plan and Profiles
- Landscaping and SESC Plans
- Soil Erosion and Sediment Control Notes and Details, as applicable
- Construction Details

CBBEL will draft the Plan base sheets at a scale of 1"=20' for use during design. We anticipate three submittals as part of the process: Preliminary, PreFinal, and Final Plan submittals.

In addition to bid documents outlined above, CBBEL will prepare a detailed construction schedule for planning and to aid in coordination with CUSD 300 for the anticipated water shutdowns.

CBBEL will assist the Village in bidding and recommendations of the bids.

Task B.4 – Permitting

CBBEL will submit the water main plans and specifications to IEPA for permit.

It is assumed that the total disturbed area of the proposed improvements will be less than one acre, therefore a NPDES SWPPP and NOI are not anticipated and not included in the scope of this work order.

C. Meetings/Coordination

The following coordination meetings are assumed:

2 Meetings with the Village

2 Meetings with CUSD 300

D. Deliverables

PDFs Water Main Alignment Alternatives and Analysis

PDFs of Preliminary, Prefinal, & Final Engineering Plans, Specifications and Estimates

E. Services by Others

N/A

F. Information to be Provided by Client

Private utilities on CUSD 300 property (electrical, fiber optic, etc).

GIS database

G. Not included in Work Order

Supplemental Topographic Survey

Boundary Survey

Roadway resurfacing, sidewalk & driveway replacement, and utility repairs

Stormwater analysis and design

Any water main improvements along Huntington Drive or Harnish Drive as identified in Trotter’s 2023 Water Utility Master Plan.

IV. Staff-Hour & Fee Summary

A. Surveying and Geotechnical Services

Task A.1 J.U.L.I.E. Utility Coordination

Survey III 26 hrs x \$179/hr = \$ 4,654

Task A.2 Easement Exhibit and Legal Descriptions

Survey V 1 hrs x \$208/hr = \$ 208

Survey IV 9 hrs x \$196/hr = \$ 1,764

Survey III 3 hrs x \$179/hr = \$ 537

CAD Manager 8 hrs x \$187/hr = \$ 1,496

\$ 4,005

Task A.3 Geotechnical Investigation		=	<u>\$11,870</u>
Rubino Engineering, Inc			
	Subtotal Task A		\$20,529
B.	<u>Engineering Services</u>		
Task B.1 Field Reconnaissance			
Engineer V	6 hrs x \$208/hr	=	\$ 1,248
Engineer III	8 hrs x \$157/hr	=	<u>\$ 1,256</u>
			\$ 2,504
Task B.2 Water Main Alignment Investigation			
Engineer IV	6 hrs x \$175/hr	=	\$ 1,050
Engineer III	6 hrs x \$157/hr	=	\$ 942
Engineer I/II	10 hrs x \$135/hr	=	\$ 1,350
CAD II	4 hrs x \$136/hr	=	<u>\$ 544</u>
			\$ 3,886
Task B.3 Plans, Specifications, and Estimates			
Engineer VI	10 hrs x \$242/hr	=	\$ 2,420
Engineer V	24 hrs x \$208/hr	=	\$ 4,992
Engineer IV	84 hrs x \$175/hr	=	\$14,700
Engineer III	107 hrs x \$157/hr	=	\$16,799
Engineer I/II	118 hrs x \$135/hr	=	\$15,930
Engineer Tech. III	44 hrs x \$123/hr	=	\$ 5,412
CAD Manager	48 hrs x \$187/hr	=	\$ 8,976
CAD II	36 hrs x \$136/hr	=	<u>\$ 4,896</u>
			\$74,125
Task B.4 Permitting			
Engineer IV	8 hrs x \$175/hr	=	\$ 1,400
Engineer I/II	16 hrs x \$135/hr	=	<u>\$ 2,160</u>
			\$ 3,560
	Subtotal Task B		\$84,075
C.	<u>Meetings/Coordination</u>		
Engineer IV	6 hrs x \$175/hr	=	\$ 1,050
Engineer III	6 hrs x \$157/hr	=	\$ 942
Engineer I/II	10 hrs x \$135/hr	=	<u>\$ 1,350</u>
	Subtotal Task C		\$ 3,342
	Subtotal		\$107,946
	Direct Costs		<u>\$ 500</u>
	Not-to Exceed Fee	=	\$108,446


VILLAGE OF ALGONQUIN

Accepted by: _____

Title: _____

Date: _____

CHRISTOPHER B. BURKE ENGINEERING, LTD.

Accepted by:  _____

Title: President _____

Date: 2/10/2025 _____

CHRISTOPHER B. BURKE ENGINEERING, LTD.
STANDARD CHARGES FOR PROFESSIONAL SERVICES
VILLAGE OF ALGONQUIN

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Updated January 13, 2025



VILLAGE OF ALGONQUIN
PUBLIC WORKS DEPARTMENT

- M E M O R A N D U M -

DATE: February 18, 2025

TO: Tim Schloneger, Village Manager
Committee of the Whole

FROM: Jake Benner, Engineer II

SUBJECT: Agreement Between Community Unit School District 300 and the Village of Algonquin for Permanent Easement on Eastgate Drive

The Eastgate Drive Water Main and Roadway Improvements project aims to address the aging water main and distressed roadway from Illinois Route 62 to Algonquin Middle School. To facilitate this improvement, the Village has reached an agreement with Community Unit School District 300 (D300) to obtain a permanent easement on their property where Eastgate Drive meets the northern side of Algonquin Middle School, as seen in the attached exhibit. This will allow the Village to construct and maintain new storm sewer and structures, new sidewalk, and work on a drainage ditch. There are existing drainage easements on either side of the Eastgate Drive right-of-way on D300 property, so this agreement also closes the gap for future maintenance.

Staff recommends that the Committee of the Whole take the necessary action to move forward on the agreement with D300 to obtain a permanent easement for the construction of storm sewer and other improvements as part of the Eastgate Drive Water Main and Roadway Improvements project.

Summary

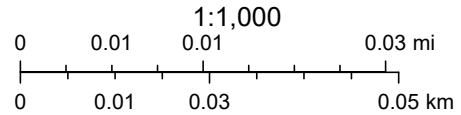
1. The Village has reached an agreement with D300 to obtain a permanent easement to construct and maintain new storm sewer, storm structures, sidewalk, and ditching.
2. This work will be part of the Eastgate Drive Water Main and Roadway Improvements project, taking place this spring.

Easement Location



2/12/2025, 9:04:55 AM

- Road Centerlines
- Tax Parcels
- Not in Village
- Waterlines
- Boundaries - Village Limit
- Building Floor Plans
- Liens
- Municipal Court



PERMANENT EASEMENT AGREEMENT

This Permanent Easement Agreement ("Agreement"), by and between the Board of Education of Community Unit School District 300, a district organized and existing under the laws of the State of Illinois ("Grantor"), and the Village of Algonquin, an Illinois home rule municipal corporation ("Grantee").

Recitals

WHEREAS, Grantor owns real property as legally described in "**Exhibit A**" attached hereto ("Property") where the parties agree the Improvements may be located (as defined in Section 1 below) will pass; and

WHEREAS, Grantee has determined that its Improvements (as defined in Section 1 below) must be constructed, installed, and maintained within the Property;

NOW, THEREFORE, in consideration of the promises, mutual covenants and agreements contained herein, and other good and valuable consideration, the receipt of which is hereby acknowledged, the Parties agree as follows:

Agreement

1. **Conveyance of Permanent Easement.** Grantor hereby grants to the Grantee a perpetual, irrevocable, non-exclusive permanent easement to enter, occupy, and use the real property legally described in "**Exhibit A**" attached hereto, to construct, reconstruct, install, use, operate, maintain, repair, replace, and upgrade the manholes, sidewalk, roadway, or any other utility structures, and all necessary underground appurtenances thereto, including, but not limited to, storm sewer and surface appurtenances ("Improvements") and to make any modifications necessary to the performance of such work, in, on, under, through, over and across such real property ("Permanent Easement"). The surface shall be restored pursuant to paragraph 11 herein.
2. **Easement Map.** "**Exhibit B**" attached hereto is a graphic representation of the Permanent Easement. In the event of an ambiguity in **Exhibit A**, **Exhibit B** may be used to resolve said ambiguity.
3. **Ingress and Egress.** Grantee shall have the perpetual right of reasonable ingress and egress in, on, to, through, over, under, and across the Permanent Easement, as described in **Exhibit A**, and that portion of the Property north of the Permanent Easement with vehicles and equipment as Grantee deems appropriate for actives and uses allowed under this Agreement. To the maximum practicable extent, Grantee shall use existing gates, roads, trails or facilities to avoid disruption of Grantor's operations on the Property.
4. **Coordination of Easement Activities.** The Parties shall reasonably cooperate in coordination of the easement activities to minimize any adverse impact on Grantor's use of the Property. Grantee shall notify Grantor at least seven days prior to access to the Property. To the extent there will be construction on the Property, Grantee shall provide Grantor with a copy of the construction schedule and otherwise give Grantor reasonable advance notice of any planned activities on the Property that may affect Grantor's conduct of its normal activities and use of the Property. Grantor in its reasonable discretion may delay Grantee's access to the Property and Grantor's right to access the Property shall always take precedence. The Grantee shall be responsible for (i) ensuring

that any work it conducts associated with this Easement Agreement does not infringe on or interrupt student activities and (ii) taking all appropriate safety measures, including fencing all construction areas, to ensure that Grantor students, staff, and other users are not at an increased risk for injury because of any work associated with the easement granted by this Agreement.

5. **Grantee Use.** The easement shall be used and enjoyed solely by Grantee and its duly authorized employees, agents, contractors, subcontractors, and material suppliers (collectively, the "Grantee Group") for the Easement Activities, and Grantee shall not assign its Easement rights in whole or in part or grant permission to traverse, enter upon or otherwise use the Property to any person or entity other than the Grantee Group. Grantee shall conduct and shall require its employees, agents, and contractors to conduct, the easement activities in a safe and sound manner to avoid damage to the Property, and in full compliance with all applicable federal, state, and local laws, rules, regulations, codes, and ordinances. Grantee shall likewise obtain, at its sole costs and expense, or shall require its employees, agents, and Grantees to obtain, all necessary permits, licenses, inspections, and government approvals for the easement activities. The Property and surrounding areas shall be kept free of accumulations of debris, waste and garbage resulting from the easement activities.
6. **Hold Harmless.** Grantee shall conduct its operations on the Property entirely at its own risk. To the fullest extent permitted by the laws of the State of Illinois, Grantee hereby forever waives, relinquishes, discharges, and holds harmless Grantor, its officers, employees and agents, from any and all claims of every nature whatsoever which Grantee may have at any time against Grantor, its officers, employees and/or agents, including without limitation claims for personal injury or property damage sustained or incurred by Grantee or any person claiming by, through or under Grantee, relating directly or indirectly to Grantee's (including its employees, agents, contractors, and subcontractors) easement activities, excepting those negligent acts or omissions of the Grantor.
7. **Additional Construction.** Grantee shall have the right to construct, reconstruct, install, use, operate, maintain, repair, patrol, replace, upgrade, or remove at any time or from time to time, one or more additional Improvements and appurtenances thereto within the Permanent Easement. Such right shall be perpetual, and Grantor shall not stop, hinder, or impede construction of such additional Improvements or limit the same within the Permanent Easement except to the extent provided in this Agreement.
8. **Grantor's Rights Unaffected.** Except as provided in Section 9 below, Grantor shall retain the right to make full use of the Permanent Easement, except for such use as might endanger or interfere with the rights of Grantee in the Permanent Easement. Grantor reserves use of the Permanent Easement, whether longitudinal or otherwise, for installing the following: pavement, curbs, gutters, sidewalks, storm manholes, storm sewer and associated curb cuts, fences (except fences which cannot be reasonably removed and erected again, such as, but not limited to: stone, brick, or other masonry type fences or walls), and low-height landscaping; provided however, that the exercise of such rights, in the reasonable opinion of Grantee, does not injure or interfere with, now or in the future, any of the Grantee's rights in the Permanent Easement including, but not limited to, Grantee's rights of maintenance and reasonable access.

9. **Installations within Permanent Easement.** Grantor shall not construct or place any permanent structure or building on any part of the Permanent Easement including, but not limited to: posts, poles, fences (as allowed in Paragraph 8), dwellings, garages, barns, sheds, storage structures of any kind, lean-tos, play houses or other play structures, outbuildings, gazebos, hot tubs, swimming pools, concrete patios, decks, basketball/sports courts, retaining wall, or any edifice projections such as, but not limited to: balconies, verandas, porches, building overhangs, or bay windows. Without liability for damages, Grantee may remove any structure or building constructed or placed within the Permanent Easement. If Grantor constructs, places or permits any structure or building within the Permanent Easement, then Grantor shall reimburse Grantee for all expenses (including, but not limited to removal, court, collection, and attorneys' fees and costs if such litigation is successful pursuant to paragraph 14 below) associated with or arising from removing such structure or building. Despite anything herein to the contrary, if the Grantee approves a projection into the Permanent Easement, then the Projection Approval shall be considered Grantee's prior written consent to Grantor's encroachment into the Permanent Easement as described in that Projection Approval. Moreover, in no event shall Grantor:

- a. construct or place, longitudinally along or otherwise within the Permanent Easement any tree, underground pipeline, cable, wire, conduit, valve, stub, storm water drainage pipeline facilities or other utility or appurtenance without the prior written consent of Grantee, which shall not be unreasonably withheld; or
- b. change, by excavation or filling, the present grade or ground level of the Permanent Easement without the prior written consent of Grantee, which shall not be unreasonably denied. Despite anything herein to the contrary, if the Grantee approves Grantor's grading plan for the Property ("Grading Plan Approval"), then the Grading Plan Approval shall be considered Grantee's prior written consent to change the grade of the Permanent Easement as described in that Grading Plan Approval, provided that no Improvements exist within the Permanent Easement. Further, if Grantee determines that (as a result of the Grading Plan Approval) it is necessary to relocate any existing Improvements, then Grantor acknowledges that such relocation shall be at the Grantor's sole expense, regardless of the Grading Plan Approval, and Grantor shall grant to Grantee any permanent easements required for the relocated Improvements.

Grantor shall prevent the construction or alteration of landfills, wetlands, land excavations, water impoundments including storm water quality features or facilities, and other land uses within the Permanent Easement unless the prior written consent of Grantee is provided. Additionally, Grantor shall not construct any new, or alter any existing landfills, wetlands, water impoundments, and other similar uses within or near the Permanent Easement, which might, in Grantee's reasonable discretion, endanger or interfere with any Improvements, including, but not limited to, Grantee's rights of maintenance and reasonable access, without the prior written consent of Grantee.

10. **Surface Restoration to Land.** Following the exercise by the Grantee of any easement rights granted by this Easement Agreement, the Grantee shall, at its sole cost, promptly repair and restore any damage to the Property if such damage is caused by Grantee's construction, reconstruction, use, operation, maintenance, repair, replacement, upgrading, additional construction as defined Paragraph 5, or removal of its Improvements. In the construction, reconstruction, installation, use, operation, maintenance, repair, replacement, upgrading, additional construction as defined in

Paragraph 4, removal of its Improvements, or for any ingress on the Property by Grantee or anyone on behalf of the Grantee, Grantee shall promptly restore, replace, or repair the surface of the Property to as close to its condition immediately prior to such work as may be reasonably possible. Despite anything contained herein to the contrary, Grantee shall not be liable for damage to, nor shall it be obligated to repair or replace, any structures, buildings, or any other articles whatsoever, which are constructed, installed, or otherwise existing within the Permanent Easement, were not constructed by Grantee, and are in violation of the terms of this Agreement including, but not limited to, any tree(s) that interfere with the Improvements or Grantee's rights in the Permanent Easement. If the Grantee fails to repair or restore Property damaged by the Grantee within 21 days after receipt of written notice from the Grantor requesting the repairs and restoration, then the Grantor may utilize its own forces or a third party to repair and restore the Property, and the Grantee shall pay for all repair and restoration costs incurred by the Grantor within 30 days after the Grantee' receipt of a written demand for payment from the Grantor. Upon termination of the Easement by expiration or otherwise, Grantee shall, at its sole cost and expense, repair all damage caused by the Grantee to the Property, any improvements located thereon, and any other affected portions of the Property, and replace all lost or destroyed items. All restoration, repair and replacement shall be completed to the reasonable satisfaction of Grantor within thirty (60) days after termination of the Easement Agreement.

11. **Maintenance of Permanent Easement.** Grantee shall have the perpetual right to cut, trim, control, and remove trees, brush, and other obstructions which injure or interfere with the Grantee's use or occupation of the Permanent Easement, or Grantee's right to construct, reconstruct, install, use, operate, maintain, repair, replace, upgrade, or remove its Improvements, without liability for damages arising there from.
12. **Indemnification.** Grantee shall defend, indemnify and hold harmless Grantor, its officers, employees, and agents (the "Grantor Group") against and from any and all liabilities, claims, losses, costs, damages, and expenses of every nature whatsoever, including without limitation reasonable attorneys' and paralegal fees (collectively, "Claims"), suffered, incurred or sustained by any member of the Grantor Group, including without limitation liabilities for the death of or injury to any person or the loss, destruction or theft of or damage to any property, relating directly or indirectly to, or arising directly or indirectly from, the exercise by the Grantee (including its employees, agents, contractors, and subcontractors), or any other person acting on their behalf or with their authority or permission, of the rights and privileges granted Grantee under this Agreement. Grantee shall defend, indemnify, and hold harmless the Grantor Group against and from all claims, losses, costs, damages, and expenses, including without limitation reasonable legal fees, suffered, sustained, or incurred by the Grantor Group because of Grantee's breach of any provision of this Agreement or otherwise incurred by the Grantor Group in enforcing the terms of this Agreement.
13. **Insurance.** During the term of this Agreement, the Grantee (including its contractors and subcontractors), at its sole cost and expense, and for the benefit of the Grantor, shall carry and maintain the following insurance:
 - Comprehensive general liability and property damage insurance, insuring against all liability of the Grantee related to this Agreement, with a minimum combined single limit of One Million Dollars (\$1,000,000.00) per occurrence and Two Million Dollars (\$2,000,000) general aggregate;

- Automobile liability Insurance with a combined single limit of One Million Dollars (\$1,000,000);
- Workers' Compensation Insurance covering all costs, statutory benefits, and liabilities under State Workers' Compensation and similar laws for the Grantee's respective employees. The Workers' Compensation Insurance must provide an alternative employer endorsement; and
- Umbrella liability insurance with a minimum combined single limit of Three Million dollars (\$3,000,000.00) per occurrence and Three Million Dollars (\$3,000,000) general aggregate.

All insurers shall be licensed by the State of Illinois and rated A-VII or better by A.M. Best or comparable rating service. The comprehensive general liability, property damage, auto liability, and umbrella liability insurance policy shall name the Grantor, its Board, Board members, employees, and agents as an additional insured on a primary noncontributory basis with a waiver of subrogation in favor of the Grantor (the waiver of subrogation shall also apply to the workers' compensation insurance). The Grantee shall provide the Grantor with certificates of insurance reasonably acceptable to the Grantor evidencing the existence of the coverage described above, including form and deductibles, during the duration of this Agreement. The failure to provide acceptable insurance shall be deemed a breach of this Agreement entitling the Grantor to terminate this Agreement immediately. All policies of insurance shall provide by endorsement that no coverage may be canceled, terminated, or reduced by the insuring company without the insuring company having first given at least 30 days prior written notice to the Grantor by certified mail, return receipt requested.

14. **Liens.** Grantee shall not cause or suffer or permit to be created any mechanics' or material men's liens or claims against the Property. Grantee shall defend, indemnify, and hold harmless Grantor from and against any such claims or liens.
15. **Subjacent and Lateral Support.** Grantor shall not impair any lateral or subjacent support for the Improvements.
16. **Nature of Easement.** The Permanent Easement is perpetual and runs with the land and binds the successors and assigns of the Grantors and the Grantees. It also is deemed to touch and concern the land. The exercise of any rights in the Permanent Easement other than those retained by Grantor shall be within the sole discretion of Grantee and limited to rights that are delineated in paragraph 1.
17. **Warranty of Title.** Grantor specially warrants that it has good and merchantable title to the Property, and specially warrants it has the full right and lawful authority to grant the Permanent Easement. Further, Grantor warrants, promises, and agrees to defend Grantee in the exercise of Grantee's rights hereunder against any defect in title created by Grantor after Grantor received title to the Property or Grantor's right to grant the Permanent Easement.
18. **Remedies.** Grantee shall have the right to enforce by proceedings at law or in equity the covenants herein set forth including, without limitation, the right to enforce, through legal process or in equity the use and maintenance of the Permanent Easement.

19. **Waiver.** The failure of either Party to insist, in any one or more instances, upon a strict performance of any of the obligations, covenants, or agreements herein contained, or the failure of either Party in any one or more instances to exercise any option, privilege, or right herein contained, shall in no way be construed to constitute a waiver, relinquishment or release of such obligations, covenants, or agreements, and no forbearance by either Party of any default hereunder shall in any manner be construed as constituting a waiver of such default.
20. **Governing Law and Jurisdiction.** This Agreement shall be governed and construed in accordance with the laws of the State of Illinois. Jurisdiction and venue for all disputes shall be the Circuit Court located in Kane County, Illinois, or the federal district court for the Northern District of Illinois.
21. **Binding Effect.** Each and every one of the benefits and burdens of this Agreement shall inure to and be binding upon the respective legal representatives, heirs, executors, administrators, successors, transfers, agents, and assigns of the Parties.
22. **No Third Party Beneficiaries.** Except as expressly provided otherwise, this Permanent Easement is intended to be solely for the benefit of the Parties and shall not otherwise be deemed to confer upon or give to any other person or third party any remedy, claim, cause of action or other right.
23. **Severability.** The provisions of this Agreement are severable. Illegality or unenforceability of any provision herein shall not affect the validity or enforceability of the remaining provisions in this Agreement.
24. **Incorporation of Exhibits.** All exhibits described in and attached to this Agreement are herein incorporated by reference.
25. **Entire Agreement.** This Agreement represents the entire agreement between the Parties and no additional or different oral representation, promise or agreement, oral or otherwise, shall be binding on any of the Parties hereto with respect to the subject matter of this instrument, unless stated in writing explicitly referring to this Permanent Easement Agreement and signed by the Parties.
26. **Authority to Execute.** The individual officers of Grantor and Grantee who have executed this Agreement represent and warrant that they have the full power and lawful authority to execute this Agreement and perform and fulfill the obligations and responsibilities contemplated hereunder on behalf of and in the name of their respective governing boards.
27. **Effective Date.** This Easement shall be deemed dated and become effective on the date the last of the parties executes the Agreement as set forth below.

IN WITNESS WHEREOF, the District and the Village have caused this Intergovernmental Agreement to be executed as of the date first above written.

COMMUNITY UNIT SCHOOL
DISTRICT 300

VILLAGE OF ALGONQUIN

By: _____
Dr. David Scarpino
Board President

By: _____
Debby Sosine
Village President

Attest: _____
Dr. Martina Smith
Superintendent

Attest: _____
Fred Martin
Village Clerk

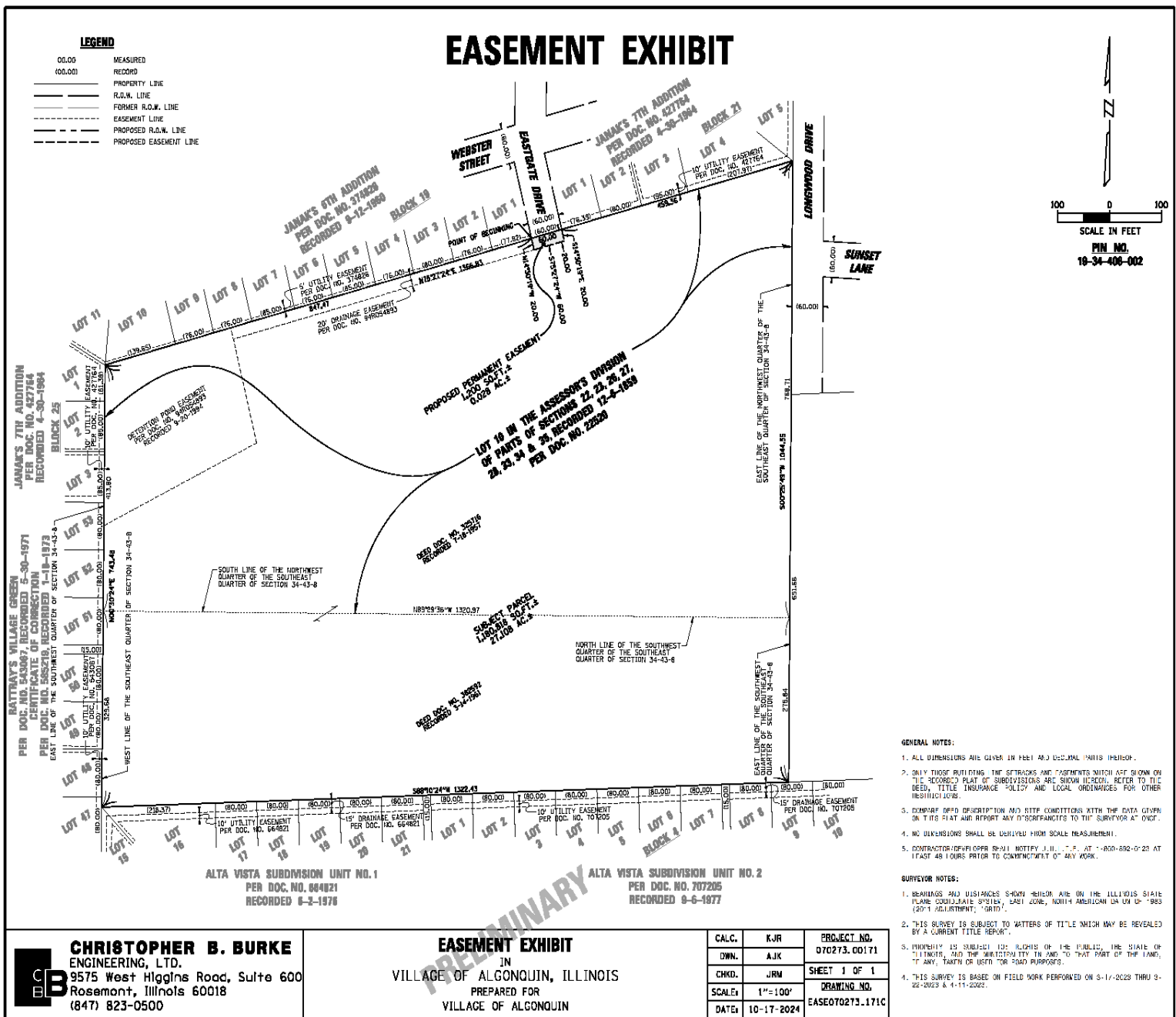
Exhibit A
Legal Description of Easement Property

LEGAL DESCRIPTION (PERMANENT EASEMENT):

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 43 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, ALSO BEING PART OF LOT 10 IN THE ASSESSOR'S DIVISION OF PARTS OF SECTIONS 22, 23, 26, 27, 28, 33, 34 AND 35 IN SAID TOWNSHIP 43 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN RECORDED AS DOCUMENT NO. 22520, DECEMBER 6, 1859 IN MCHENRY COUNTY, ILLINOIS, BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 1 IN BLOCK 19 IN JANAK'S 6TH ADDITION TO ALGONQUIN, BEING A SUBDIVISION IN THE SOUTH HALF OF SAID SECTION 34 ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 12, 1960 AS DOCUMENT NO. 374826, SAID SOUTHEAST CORNER OF LOT 1 BEING A POINT ON THE NORTHERLY LINE OF SAID LOT 10 IN THE ASSESSOR'S DIVISION OF PARTS OF SECTIONS 22, 23, 26, 27, 28, 33, 34 AND 35; THENCE NORTHEASTERLY ALONG SAID NORTHERLY LINE OF LOT 10 HAVING AN ILLINOIS COORDINATE SYSTEM (EAST ZONE) GRID BEARING OF NORTH 75 DEGREES 27 MINUTES 24 SECONDS EAST A DISTANCE OF 60.00 FEET TO THE SOUTHWEST CORNER OF LOT 1 IN BLOCK 21 IN JANAK'S 7TH ADDITION TO ALGONQUIN, BEING A SUBDIVISION IN SAID SOUTHEAST QUARTER OF SECTION 34 ACCORDING TO THE PLAT THEREOF RECORDED APRIL 30, 1964 AS DOCUMENT NO. 427764; THENCE SOUTH 14 DEGREES 30 MINUTES 19 SECONDS EAST, 20.00 FEET ALONG THE SOUTHERLY EXTENSION OF THE WESTERLY LINE OF SAID LOT 1 IN BLOCK 21 IN JANAK'S 7TH ADDITION TO ALGONQUIN TO A POINT ON A LINE 20.00 FEET SOUTHERLY OF AND PARALLEL WITH SAID NORTHERLY LINE OF LOT 10 IN THE ASSESSOR'S DIVISION OF PARTS OF SECTIONS 22, 23, 26, 27, 28, 33, 34 AND 35; THENCE SOUTH 75 DEGREES 27 MINUTES 24 SECONDS WEST, 60.00 FEET TO A POINT ON THE SOUTHERLY EXTENSION OF THE EASTERLY LINE OF SAID LOT 1 IN BLOCK 19 IN JANAK'S 6TH ADDITION TO ALGONQUIN; THENCE NORTH 14 DEGREES 30 MINUTES 19 SECONDS WEST, 20.00 FEET ALONG SAID SOUTHERLY EXTENSION TO THE POINT OF BEGINNING.

Exhibit B
Easement Exhibit of Subject Property



CHRISTOPHER B. BURKE
ENGINEERING, LTD.
9575 West Higgins Road, Suite 600
Rosemont, Illinois 60018
(847) 823-0500

EASEMENT EXHIBIT
IN
VILLAGE OF ALGONQUIN, ILLINOIS
PREPARED FOR
VILLAGE OF ALGONQUIN

CALC.	KJR	PROJECT NO.
DWN.	AJK	070273.00171
CHKD.	JRM	SHEET 1 OF 1
SCALE	1"=100'	DRAWING NO.
DATE	10-17-2024	EASE070273.171C

N:\ALGONQUIN\070273\070273\ALGONQUIN\EASE070273.171C.DWG